



**AGENDA
CITY OF HALF MOON BAY
COMMUNITY DEVELOPMENT DIRECTOR HEARING**

WEDNESDAY, JUNE 6, 2018

2:00 PM

Half Moon Bay City Hall
501 Main Street
Half Moon Bay, California 94019

Community Development Director: Jill Ekas

This agenda contains a brief description of each item to be considered. Those wishing to address the Community Development Director on any matter not listed on the Agenda, but within the jurisdiction of the Community Development to resolve, may come forward during the Public Comment portion of the Agenda and will have a maximum of three minutes to discuss their item. Those wishing to speak on a Public Hearing matter will be called forward at the appropriate time during the Public Hearing consideration.

Please Note: Please Provide a Copy of Prepared Presentations to the Planning Division.

Copies of written documentation relating to each item of business on the Agenda are on file in the Office of the City Clerk at City Hall where they are available for public inspection. If requested, the agenda shall be available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132.) Information may be obtained by calling 650-726-8271.

In compliance with the Americans with Disabilities Act, special assistance for participation in this meeting can be obtained by contacting the City Clerk's Office at 650-726-8271. A 48-hour notification will enable the City to make reasonable accommodations to ensure accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II).

I. CALL TO ORDER

II. PUBLIC COMMENT

III. PUBLIC HEARING ITEMS

ITEM 1:

Project:	Approve an application for a Coastal Development Permit and Architectural Review to allow construction of a new 300 sq. ft. addition to an existing one-story 2,950 sq. ft. single-family residence on a 9,675 sq. ft. site.
File Number	PDP-18-020
Requested Permits/Approvals	Coastal Development Permit & Architectural Review
Site Location	540 Terrace Avenue
Applicant/Property Owner	Jim Campi/Stephanie Campi
Project Planner	Brittney Cozzolino bcozzolino@hmbcity.com (650) 750-2014
Zoning District	R-1 B-2 Single Family Residential
LCP Land Use Plan Designation	Residential Medium Density

IV. ADJOURNMENT

COMMUNITY DEVELOPMENT DIRECTOR RESOLUTION CDR-18-____
RESOLUTION FOR APPROVAL
PDP-18-020

A RESOLUTION OF THE COMMUNITY DEVELOPMENT DIRECTOR OF THE CITY OF HALF MOON BAY APPROVING A COASTAL DEVELOPMENT PERMIT AND ARCHITECTURAL REVIEW TO ALLOW THE CONSTRUCTION OF A NEW 300 SQUARE-FOOT ADDITION TO AN EXISTING ONE-STORY 2,950 SQUARE-FOOT SINGLE FAMILY RESIDENCE ON A 9,675 SQUARE-FOOT LOT AT 540 TERRACE AVENUE IN THE R-1 B-2 SINGLE FAMILY RESIDENTIAL ZONING DISTRICT AND THE RESIDENTIAL-MEDIUM DENSITY GENERAL PLAN DESIGNATION (APN 056-061-190)

WHEREAS, an application was submitted requesting approval of Coastal Development Permit and Architectural Review to allow the construction of a new 300 square-foot addition to an existing single-family residence on a 9,675 square-foot lot at 540 Terrace Avenue in the R-1 B-2 Single Family Residential Zoning District and the Residential Medium Density General Plan designation (APN 056-061-190); and

WHEREAS, the procedures for processing the application have been followed as required by law; and

WHEREAS, the Community Development Director conducted an administrative review of the requested Coastal Development Permit and Architectural Review on June 6, 2018, of which notice was provided to the applicant and surrounding property owners in conformance with 18.20.060 of the Half Moon Bay Municipal Code, at which time all those desiring to be heard on the matter were given an opportunity to be heard; and

WHEREAS, the Community Development Director considered all written and oral testimony presented for consideration; and

WHEREAS, the Community Development Director has determined that the requested Coastal Development Permit for the construction of a new 300 square-foot addition to the existing single-family residence is exempt from CEQA pursuant to California Code of Regulations Section 15301(e), which exempts minor alterations or additions to existing structures; and

WHEREAS, the Community Development Director has made the required findings for approval of the project, set forth in Exhibit A to this resolution;

NOW, THEREFORE, BE IT RESOLVED that, based upon the Findings in Exhibit A and subject to the Conditions of Approval contained in Exhibit B, the Community Development Director approves PDP-18-020.

PASSED AND ADOPTED by the City of Half Moon Bay Community Development Director on June 6, 2018.

APPROVED:

Jill Ekas, Community Development Director

EXHIBIT A
FINDINGS AND EVIDENCE
Community Development Director Resolution CDR-18-__
PDP-18-020

Coastal Development Permit – Findings for Approval

The required Coastal Development Permit for this project may be approved or conditionally approved only after the approving authority has made the following findings per Municipal Code Section 18.20.070:

1. **Local Coastal Program** – *The development as proposed or as modified by conditions, conforms to the Local Coastal Program.*

Evidence: The project consists of construction of a new 300 square-foot addition to an existing single-family residence on an infill site in an existing neighborhood where public services and infrastructure are currently provided to the site. The project conforms to all City requirements, will not impact coastal resources and is consistent with the policies of the City's Land Use Plan (LUP).

Coastal Act 30240(b) and Policy 3-3 (b): *Development in areas adjacent to environmentally sensitive habitat areas shall be sited and designed to prevent impacts which would significantly degrade such areas, and shall be compatible with the continuance of such habitat areas.*

Compliance: The subject site is not adjacent to a mapped environmentally sensitive habitat area.

Policy 7-1: *The City will establish regulations to protect the scenic corridor of Highway 1, including setbacks for new development, screening of commercial parking and landscaping associated with new development. The minimum standards shall include all areas within 200 yards of State Highway 1 which are visible from the road.*

Compliance: The subject site is located within 200 yards of State Highway 1 but is located on the east side of the Highway and is not visible from the road. In addition, Highway 1 is not designated a Scenic Highway within the City limits of Half Moon Bay.

Policy 7-5: *All new development, including additions and remodeling, shall be subject to design review.*

Compliance: The proposed residence has been subject to design review by the Community Development Director.

Policy 7-11: *New development along primary access routes from Highway 1 to the beach, as*

designated on the Land Use Map, shall be designed and sited so as to maintain and enhance the scenic quality of such routes, including building setbacks, maintenance of low height of structures, and landscaping which establishes a scenic gateway and corridor.

Compliance: The existing single-family residence is not located along a primary access route from Highway 1 and the proposed development will not affect coastal access.

Coastal Act 30244: *Where development would adversely impact archaeological or paleontological resources as identified by the State Historic Preservation Officer, reasonable mitigation measures shall be required.*

Compliance: The proposed addition to the existing single-family residence is not located at or near identified archaeological or paleontological resources. If cultural resources or paleontological resources are unexpectedly encountered during subsurface excavation, the permit has been conditioned to require that construction halt until the find can be evaluated and appropriate mitigation identified.

2. **Growth Management System** – *The development is consistent with the annual population limitation system established in the Land Use Plan and Zoning Ordinance.*

Evidence: The project consists of an addition to an existing single-family residence and does not include a new dwelling unit. Therefore, the proposed project is exempt from the requirements of the City's growth management system.

3. **Zoning Provisions** – *The development is consistent with the use limitations and property development standards of the base district as well as the other requirements of the Zoning Ordinance.*

Evidence: The proposed residence conforms to the requirements of the R-1 B-2 Single Family Residential Zoning District, which allows residential uses. The proposed setbacks, lot coverage, height, parking and open space meet the requirements of the R-1 B-2 Zoning District and other relevant provisions of the Zoning Code.

4. **Adequate Services** – *The proposed development will be provided with adequate services and infrastructure in a manner that is consistent with the Local Coastal Program.*

Evidence: The site is located in an existing developed neighborhood where utilities and services are provided to the site and are sufficient to allow for the new addition.

5. **California Coastal Act** – *Any development to be located between the sea and the first public road parallel to the sea conforms to the public access and public recreation policies of Chapter 3 of the California Coastal Act.*

Evidence: The subject property is not located between the sea and the first public road parallel to the sea, and the proposed development will have no impact on public access and recreation.

6. **Design Review Criteria** – *The community development director, planning commission, or city council has reviewed and considered each specific case and any and all of the following criteria in determining that the architectural and site design standards identified in Municipal Code Sections 14.37.035 and 18.20.070 (F) have been satisfactorily addressed.*

Evidence: The Community Development Director has reviewed the design of the proposed project and has determined that the design review criteria of Municipal Code Subsection 18.20.070(F) have been satisfactorily addressed. The proposed addition design (including scale, massing, detailing, colors, and materials) conforms to all requirements of the Zoning Code and are consistent with the recommendations of the Residential Design Guidelines.

Architectural Site and Design Review – Findings

The required Architectural and/or Site and Design Review for this project may be approved or conditionally approved only after the approving authority has made the findings per Municipal Code Section 14.37.040. In making these findings, the Community Development Director has considered the design approval criteria set forth in Municipal Code Section 14.37.035.

1. *That such buildings, structures, planting, paving and other improvements shall be so designed and constructed that they will not be of unsightly or obnoxious appearance to the extent that they will hinder the orderly and harmonious development of the city;*

Evidence: The proposed project has been designed in conformance with the requirements of the R-1 B-2 Single-Family Residential Zoning District. The project is also in substantial conformance with the Single-Family Residential Design Guidelines, the objectives of which include ensuring compatible design with the existing residence and within the surrounding neighborhood context. The proposed addition will not be visible from the street and has been sited and designed to minimize visibility and privacy concerns from the neighboring properties.

2. *That such buildings, structures, planting, paving and other improvements will not impair the desirability or opportunity to attain the optimum use and the value of the land and the improvements, or otherwise impair the desirability of living or working conditions in the same or adjacent areas; and*

Evidence: Zoning Code Section 18.06.010 states that the intent of the residential chapter is to establish residential districts and guide the orderly development within each district. It further states that the residential district regulations are intended to ensure provision of adequate light, air, privacy and open space for each dwelling by establishing reasonable development standards for the mass, scale and location on a building site for all new

residential construction and to achieve a high standard of site and building design and design compatibility with surrounding neighborhoods. The proposed project has been designed in conformance with the requirements of the R-1 B-2 Single-Family Residential Zoning District. The project is also in substantial conformance with the Single-Family Residential Design Guidelines, the objectives of which include maintaining strong property values, compatible neighborhoods, and a healthy environment.

3. *The project has been designed in conformance and consistency with the Single-Family Residential Design Guidelines (where applicable).*

Evidence: The design of the proposed residential addition conforms to the recommendations of the Residential Design Guidelines in regard to design, massing and scale, roof form, privacy, window design, and materials and colors because the addition is an extension of the existing residence. The fenestration of the new addition also reflects the style and grid of the main house, in conformance with the Design Guidelines.

Environmental Review – Finding

CEQA – The project will not have a significant effect on the environment.

Evidence: The project is Categorically Exempt pursuant to California Code of Regulations Section 15301(e) in that the project consists of the construction of a minor addition to a single-family residence.

EXHIBIT B
CONDITIONS OF APPROVAL
Community Development Director Resolution CDR-18-___
PDP-18-020

A. The following Conditions shall apply to the subject site to the satisfaction of the Community Development Director:

1. CONFORMANCE WITH APPROVED PLANS. Development of the site shall conform to the approved plans entitled "Campi Residence" with a City date stamp of April 23, 2018. The Community Development Director shall review and may approve any deviation from the approved plans that is determined minor in nature. Any other change shall require the submittal of a major modification application and fees and shall be subject to a public hearing as required by Title 18. (Planning)
2. CONFORMANCE WITH CONDITIONS OF APPROVAL. The Community Development Director shall review and may approve any deviation from the Conditions of Approval that is determined minor in nature. Any other change shall require the submittal of a major modification application and fees and shall be subject to a public hearing as required by Title 18. (Planning)
3. CONFORMANCE WITH THE MUNICIPAL CODE. No part of this approval shall be construed to permit a violation of any part of the Half Moon Bay Municipal Code. (Planning)
4. LIGHTING. All exterior lighting shall be fully shielded so that no light source is visible from outside the property, except as otherwise expressly approved. (Planning)
5. SIDEWALK MAINTANENCE AND LIABILITY. It shall be the duty of the Property Owner(s) whose property is adjacent to any portion of a public street or place to maintain any sidewalks along the project frontage in a safe and non-dangerous condition. Sidewalk maintenance shall include removal and replacement of concrete to eliminate tripping hazards; and pruning and trimming of trees, shrubs, ground cover and other landscaping within the public right-of-way. The Property Owner has the primary and exclusive duty to fund and perform such maintenance and repair, whether or not the City has notified the property owner of the need for such maintenance or repairs or has performed similar maintenance or repairs in the past, pursuant to §12.18.020 and §12.18.030 of the Half Moon Bay Municipal Code. (Engineering)
6. LANDSCAPE MAINTENANCE. The applicant/owner shall ensure that all landscaped areas and/or fences are continuously maintained, and all plant material is maintained free of refuse and weeds and in a healthy growing condition. (Planning)

B. The following Conditions shall be fulfilled to the satisfaction of the Community Development Director prior to the issuance of building permits:

1. SIGNED CONDITIONS OF APPROVAL. The applicant/owner shall submit a signed copy of the conditions of approval to the Planning Division prior to issuance of a building permit.
(Planning)
2. CONSTRUCTION PLANS. File Number PDP-18-020 and the Conditions of Approval for this project shall be provided on the cover page of the building permit application plan submittal. All plans, specifications, engineering calculations, diagrams, reports, and other data for construction of the building and required improvements shall be submitted with the appropriate permit application to the City's Building and Engineering Divisions for review and approval. Computations and back-up data will be considered a part of the required plans. Structural calculations and engineering calculations shall be prepared, wet-stamped and signed by an engineer or architect licensed by the State of California. The plans must show the location of the sewer connection and property line sewer cleanout.
(Planning)
3. COPPER BUILDING ELEMENTS. Prior to issuance of building permits, the building plans shall specify that all copper building elements will be pre-patinated at the factory, or if patination will occur on the site, the plans shall identify best management practices in conformance with the *San Mateo Countywide Water Pollution Prevention Program Requirements for Architectural Copper*, to the satisfaction of the City Engineer.
4. STORMWATER RUNOFF. No increase in runoff should result from the project. Stormwater from roof added impervious surfaces (roofs, etc.) should be drained across planted areas and not flow offsite to street or neighboring properties. (Engineering)
5. STORMWATER MANAGEMENT-TREATMENT (FOR NON-REGULATED PROJECTS). Non-regulated projects consist of single-family residences and other small projects that create and/or replace less than 5,000 square feet of impervious surface. Prior to the issuance of building permits, a storm water management-treatment plan shall be submitted showing implementation of at least one of the six Low Impact Development (LID) measures listed below:
 - a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use;
 - b. Direct roof runoff into vegetated areas;
 - c. Direct runoff from sidewalks, walkways, and/or patios into vegetated areas;
 - d. Direct runoff from driveways and /or uncovered parking lots into vegetated areas;
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces; or

- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.
6. FIRE CLEARANCE REQUIREMENTS. The permittee shall comply with all applicable fire and building codes and standards relating to fire and panic safety as identified by the Coastside Fire Protection District during the building permit process. (Fire)
7. COASTSIDE COUNTY WATER DISTRICT - REGULATIONS. The project shall comply with all applicable regulations and requirements of the Coastside County Water District. Water service shall not be in the same trench as other utilities. (Water District)

C. The following conditions shall be implemented to the satisfaction of the Community Development Director prior to and during construction:

1. AIR QUALITY BEST MANAGEMENT PRACTICES. The project shall implement the following standard BAAQMD dust control measures during all phases of construction on the project site:
 - All active construction areas shall be watered twice daily or more often if necessary. Increased watering frequency shall be required whenever wind speeds exceed 15 miles-per-hour.
 - Pave, apply water three times daily, or apply non-toxic soil stabilizers on all unpaved access roads and parking and staging areas at construction sites.
 - Cover stockpiles of debris, soil, sand, and any other materials that can be windblown. Trucks transporting these materials shall be covered.
 - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day or as often as necessary to keep them free of dust and debris associated with site construction. The use of dry power sweeping is prohibited.
 - Subsequent to clearing, grading, or excavating, exposed portions of the site shall be watered, landscaped, treated with soil stabilizers, or covered as soon as possible. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas and previously graded areas inactive for 10 days or more.
 - Installation of sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - Replanting of vegetation in disturbed areas as soon as possible after completion of construction.
 - Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes. Clear signage shall be provided for construction workers at all access points.
 - All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.

- Post a publicly visible sign with the telephone number and person to contact at the City of Half Moon Bay regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.
2. HAZARDOUS MATERIALS. Any materials deemed hazardous by the San Mateo County Department of Health that are uncovered or discovered during the course of work under this permit shall be disposed in accordance with regulations of the San Mateo County of Health. (Building)
 3. COMPLIANCE WITH CBC. All structures shall be constructed in compliance with the standards of the 2016 California Codes of Regulations Title 24, including Building Code, Residential Code, Administrative Code, Mechanical Code, Plumbing Code, Electrical Code, Energy Code, Fire Code and Green Building Code to the satisfaction of the Building Official. (Building)
 4. CONSTRUCTION HOURS. Construction work shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday; 8:00 a.m. to 6:00 p.m. Saturdays; and 10:00 a.m. to 6:00 p.m. Sundays and holidays, except as expressly authorized by the City Engineer in conformance with Section 14.40.020 of the Half Moon Bay Municipal Code. (Engineering)
 5. NOTICE OF DISRUPTION. The permittee shall provide written notice to affected property and business owners and a copy of such notice to the City Engineer a minimum of two business days prior to any planned disruption of pedestrian or vehicular traffic, parking, or public service facilities. (Engineering)
 6. CONSTRUCTION MATERIAL STORAGE. Construction material shall not be stored in the street right-of-way without issuance of a Temporary Encroachment Permit. (Engineering)
 7. ENCROACHMENT PERMIT. No construction activity shall occur and no pedestrian and vehicular traffic control shall be installed within the City right-of-way or affecting the City's improvements prior to obtaining an encroachment permit from the City. All improvements constructed within the City right-of-way shall conform to City standards to the satisfaction of the City Engineer. Traffic control shall conform to Caltrans/MUTCD Standard Plans for Traffic Control in Construction and Maintenance Zones.

D. Validity and Expiration of Permits

1. EFFECTIVE DATE. The site is not located within the Coastal Commission Appeal Zone. This approval shall take effect after expiration of all City appeal periods. (Planning)

2. ACCURACY OF APPLICATION MATERIALS. The permittee shall be responsible for the completeness and accuracy of all forms and material submitted for this application. Any errors or discrepancies found therein may be grounds for the revocation or modification of this permit and/or any other City approvals. (Planning)
3. PERMIT EXPIRATION. The Coastal Development Permit (CDP) shall expire one year from its date of final approval if the use/development has not commenced in conformance with this permit or the applicant has not obtained an extension of the permit.
4. PERMIT EXTENSION. The Community Development Director may, at the Director's discretion, approve a Minor Amendment for a single one-year extension of this permit based on a written request and fee submitted to the Director prior to expiration of the permit. Submittal of a Building Permit application with development plans prior to expiration of the permit shall constitute an extension of this permit until the building permit is issued or until the Building Official determines the applicant is no longer diligently pursuing the required building permit. Any other extension shall require approval of a Major Permit Amendment prior to expiration of the permit. Any Major Permit Amendment Application to extend the permit shall be filed a minimum of ninety (90) days prior to permit expiration to ensure adequate processing time. (Planning)
5. PERMIT RUNS WITH THE LAND. The approval runs with the land and the rights and obligations thereunder, including the responsibility to comply with conditions of approval, shall be binding upon successors in interest in the real property unless or until such permits are expressly abandoned or revoked. (Planning)
6. HOLD HARMLESS. The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against an and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, any review by the California Coastal Commission conducted under the California Coastal Act Public Resources Code Section 30000 et seq., or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee's duty to defend the City shall not apply in

those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City. (City Attorney).

OWNER'S/PERMITTEE'S CERTIFICATION:

I have read and understand and hereby accept and agree to implement the foregoing conditions of approval of the Coastal Development Permit.

APPLICANT:

(Signature)

(Date)

PROJECT DATA

APN: 056061190
 ZONING: R1
 LOT SIZE: 9,675 SQ. FT.
 OCCUPANCY GROUP: R3/U
 TYPE OF CONSTRUCTION: VB
 EXISTING SQ. FT. LIVING: 2,130 SQ. FT.
 GARAGE: 519 SQ. FT.
 PROPOSED SQ. FT.: 300 SQ. FT.
 TOTAL SQ. FT.: 2,949 SQ. FT.
 FIRE SPRINKLER: NO

SCOPE OF WORK:
 ADDITION / ALTERATION FOR: 540 TERRACE DRIVE:
 - NEW MASTER BEDROOM
 - NEW MASTER BATH
 - NEW WALK-IN CLOSET
 - REMODEL KITCHEN
 - NEW BATH
 - NEW LAUNDRY AREA

SHEET INDEX

A1	SITE PLAN / COVER SHEET
BMP	CONSTRUCTION BEST MANAGEMENT PRACTICE
A2	EXISTING FLOOR PLAN
A3	PROPOSED FLOOR PLAN
A4	EXTERIOR ELEVATIONS
A5	SECTIONS
T24-1	TITLE 24
T24-2	TITLE 24
CG-1	CALIFORNIA GREENPOINT CHECKLIST
S1	FOUNDATION PLAN
S2	ROOF FRAMING PLAN

CONSULTANTS

TITLE 24
Bay Area Energy Compliance
 7408 Potrero Avenue
 El Cerrito, Ca. 94530
 (510) 932-5858
Frank Cuthbert

VICINITY MAP



GENERAL NOTES

All work shall comply with applicable codes and trade standards which govern each phase of work, including, but not limited to:
 2016 California Residential Code (CRC),
 2016 California Building Code
 2016 California Plumbing Code (CPC),
 2016 California Mechanical Code (CMC),
 2016 California Electrical Code (CEC),
 2016 California Energy Code,
 2016 California Green Building Standards
 2016 California Fire Code (CFC) and all other applicable Municipale and Town ordinances and regulations.

The contractor shall carefully inspect all excavation work for compliance to requirements of the prevailing building code. Should any conditions appear questionable due to excessive dampness, granular composition, sluffing, softness or other defect, the contractor shall contact the engineer or designer.

All information pertaining to the site shall be, and shall remain, the owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, position of existing improvements, soils report and all related data. These documents have been prepared on the information available to the designer.

It is the responsibility of the contractor and all subcontractors to check and verify all dimensions and conditions indicated on these drawings and make known any discrepancies prior to commencing their work.

These drawings are intended for use in a negotiated construction contract and, therefore, may not specifically detail or specify materials and/or manufacturers. The contractor shall provide all samples and/or cuts as required to assist owner or his agent in making material selections. No guarantee of quality of construction is implied or intended by the architectural documents and the contractor shall assume full responsibility for any or all construction deficiencies.

The developer and/or general contractor shall hold harmless, indemnify and defend the Architect from any action initiated by the initial owner or any subsequent owners for construction deficiencies, modifications or such conditions which may be beyond the control of the Architect.

All dimensions shown take precedence over scaled dimensions.

Contractor shall coordinate with owner prior to ordering any fixtures, equipment, cabinetry, etc. for owner's approval.

Sheet metal contractor shall provide owner with heating duct & register location prior to installation for owner's approval.

All dimensions to face of stud unless otherwise noted.

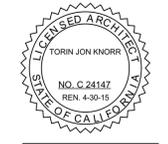
Electrical contractor to verify with owner type and locations of all electrical fixtures, outlets, switches and subpanels prior to installation.

Plumbing contractor to verify with owner type and locations of all plumbing fixtures, faucets, etc. prior to installation.

KNORR ARCHITECTURE
 1120 Palm Ave. San Mateo Ca 94401
 www.KnorrArchitecture.com
 tk@KnorrArchitecture.com

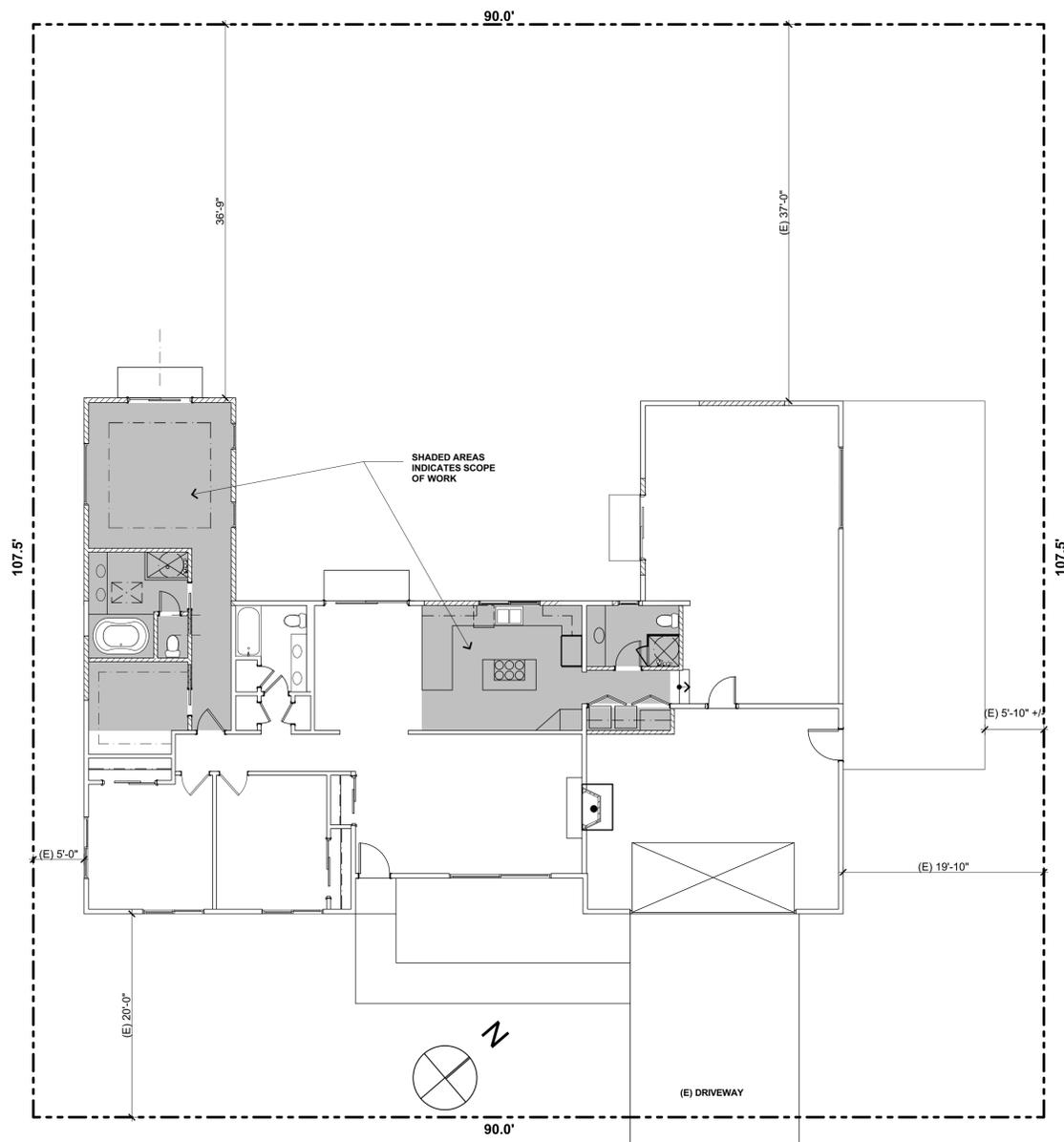
SITE PLAN
Campi RESIDENCE
 540 Terrace Drive
 HalfMoon Bay, California

A-1



REVISIONS

Date: 4/16/2018



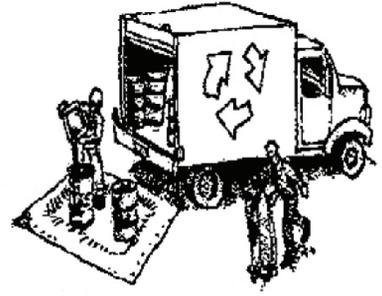


SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



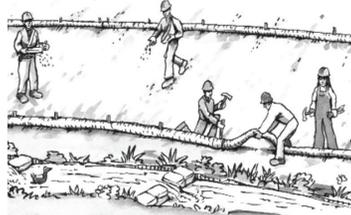
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



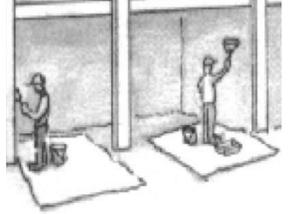
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

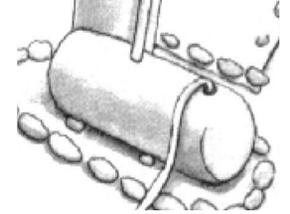
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



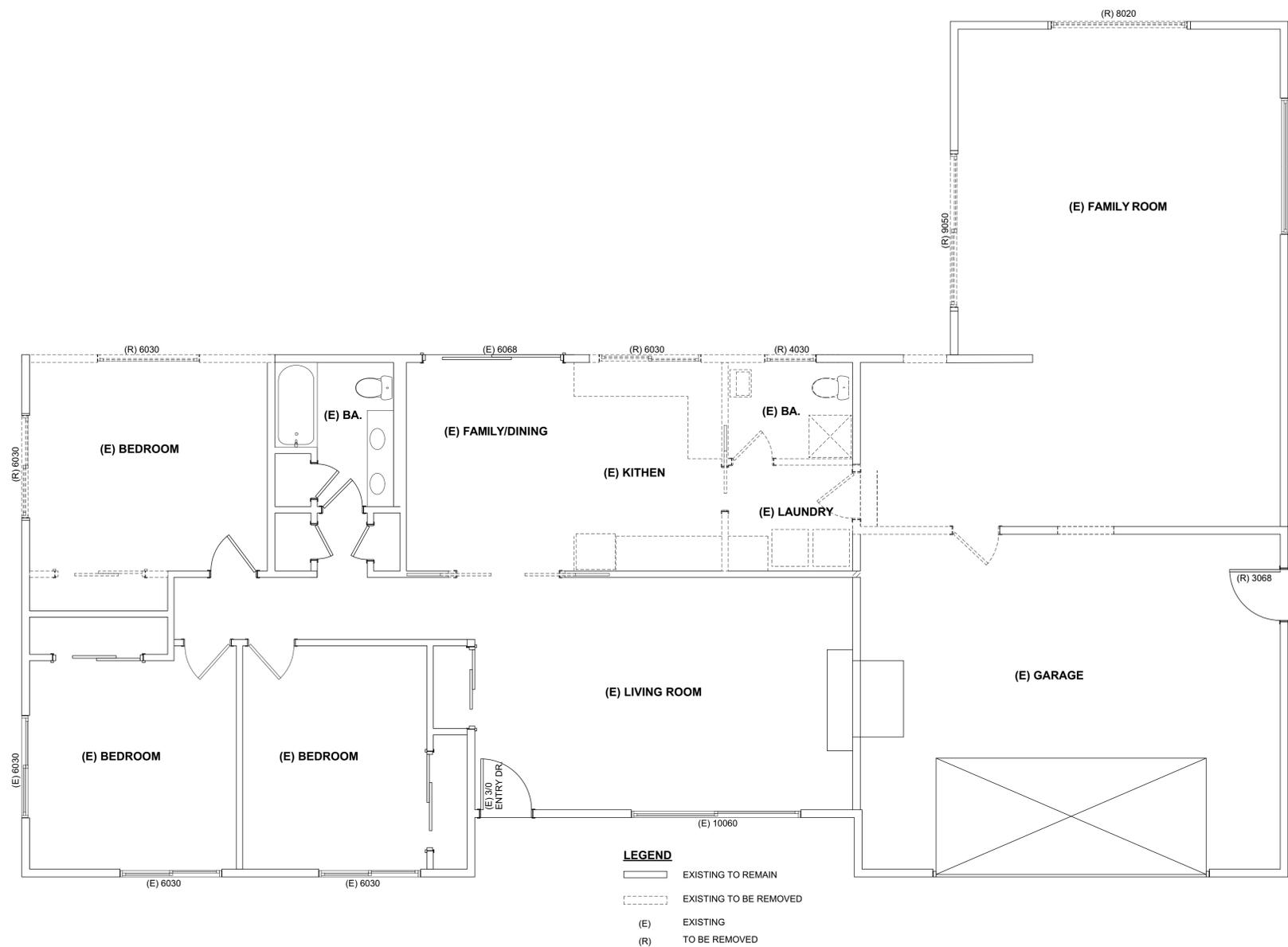
- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



REVISIONS

Date: 4/16/2018



1 EXISTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"

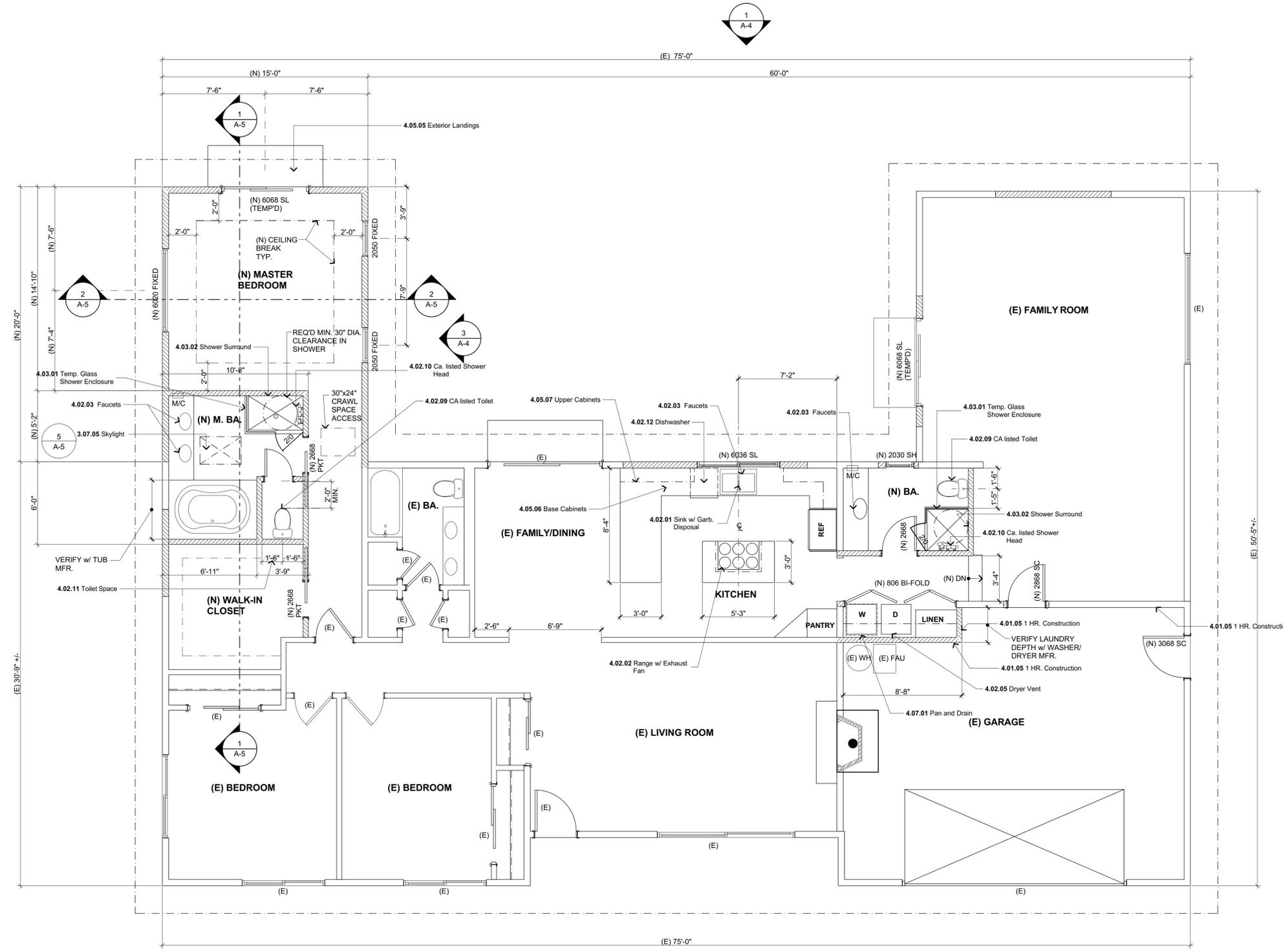
Jon Knorr
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EXISTING FLOOR PLAN
Campi RESIDENCE
 540 Terrace Drive
 HalfMoon Bay, California



REVISIONS

Date: 4/16/2018



- Notes**
- 3 Structure**
 - 3.07.05 Skylight
24"x36" "Velux" skylight. Install as per mfr's instructions
 - 4 Enclosure**
 - 4.01.05 1 HR. Construction
Provide 5/8" type 'X' gyp. bd. at all walls and ceiling, typ.
 - 4.02.01 Sink w/ Garb. Disposal
Range w/ Exhaust Fan
Min. 600 cfm w/ 6"
 - 4.02.03 Faucets
Kitchen Faucets @ 1.8 gal/min., Bath Faucets @ 1.5 gal/min.
 - 4.02.05 Dryer Vent
Dryer exhaust vent per CMC 504. Terminations of dryer vent to outside of wall with max. length of 14' equipped with a backdraft damper including 2 90 degree elbows and a min. dia. of 4". The discharge location shall be a min. of 3 feet from any opening into the building.
 - 4.02.09 CA listed Toilet
Ca listed low-flow water closet 1.28 gal. flush
 - 4.02.10 Ca. listed Shower Head
Toilet Space
Toilet space at least 30" wide, with at least 24" clear in front of water closet per 2016 CPC 407.5
 - 4.02.12 Dishwasher
Dishwasher, provide hammer arrestor at new dishwasher 2016 CPC 807.4
 - 4.03.01 Temp. Glass Shower Enclosure
Temp. Glass Shower Enclosure
 - 4.03.02 Shower Surround
Provide a smooth, hard non-adsorbent surface over a moisture resistant underlayment 7" above drain inlet. (CRC 1210.3)
 - 4.05.05 Exterior Landings
Provide landings at all exterior doors, for inswing doors the max. change in elevation threshold to the landing is 7 3/4". For outswing doors the max. height is 1". The landing shall be the width of the door and the length shall be min. 3'.
 - 4.05.06 Base Cabinets
See interior elevations for cabinet details
 - 4.05.07 Upper Cabinets
See cabinet elevations for cabinet details
 - 4.07.01 Pan and Drain
Provide a watertight G.1. Pan and Drain under the washer with drain to exterior of building.

LEGEND

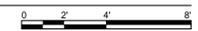
— EXISTING TO REMAIN

▨ NEW

(E) EXISTING

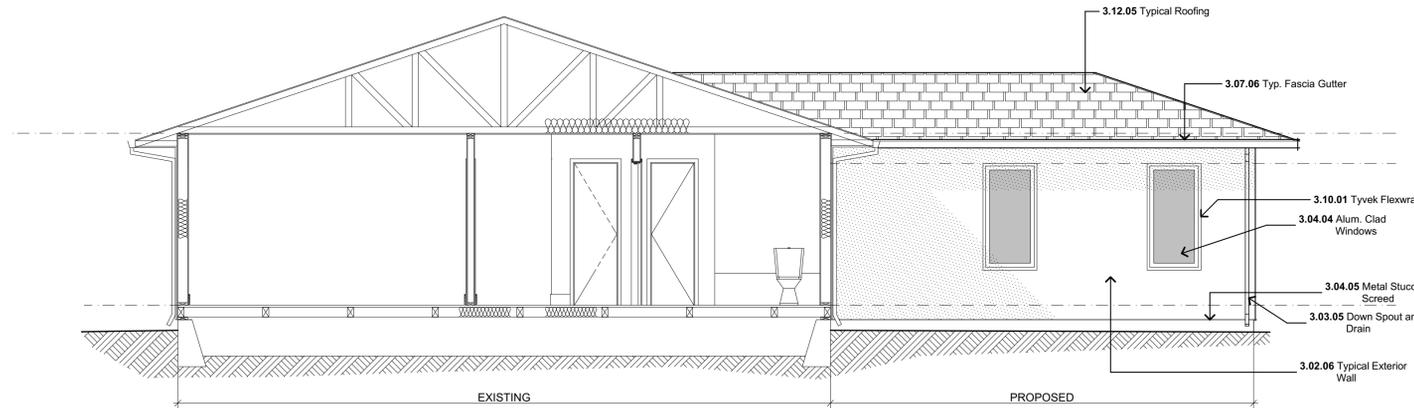
(N) NEW PROPOSED

1 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

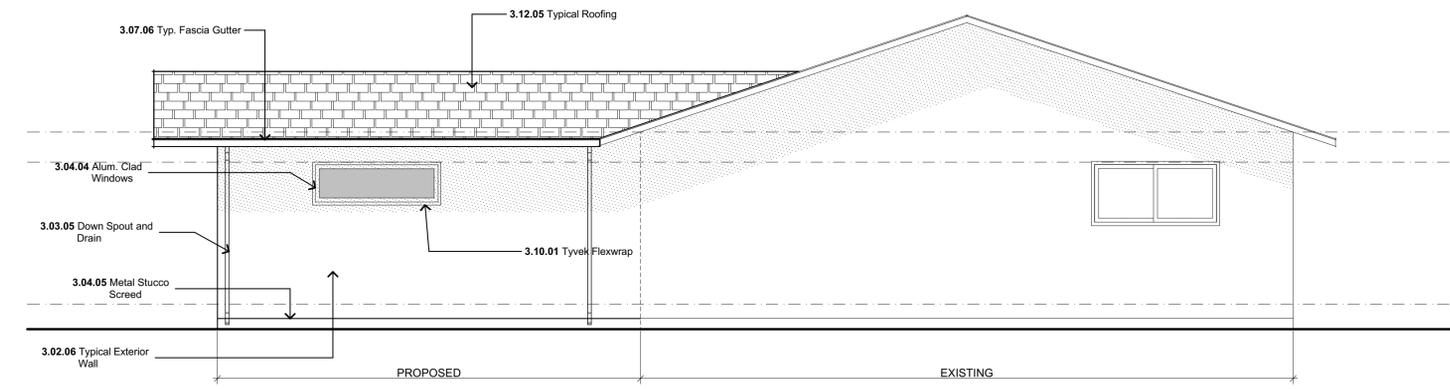


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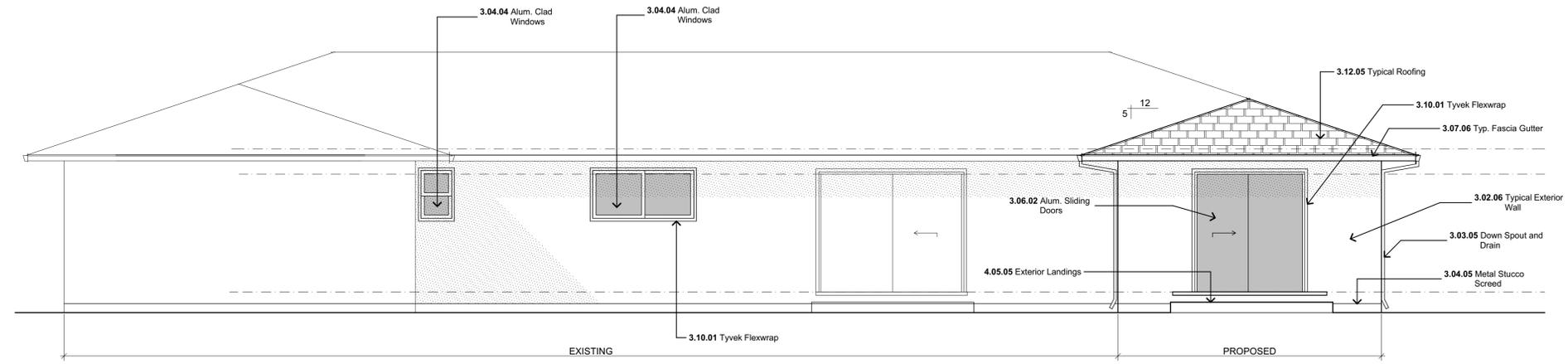
1st FLOOR PLAN
Campi RESIDENCE
540 Terrace Drive
HalfMoon Bay, California



3 RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
 SCALE: 1/4" = 1'-0"

Notes

- 3 Structure**
- 3.02.06 **Typical Exterior Wall**
7/8 Stucco (3) coats of metal lath, dbl. layers min. grade 'D' building paper and 1/2" plywood sheathing. (S.S.D.) of 2x6 studs @ 16" o.c. w/ R19 insulation, fill all cavities.
 - 3.03.05 **Down Spout and Drain**
Install DS and Slopger per roof plan locations. down spouts to drain to approved locations per local Bldg codes.
 - 3.04.04 **Alum. Clad Windows**
Loewen alum clad windows or equal, see window schedule for specs and sizes.
 - 3.04.05 **Metal Stucco Screed**
Metal Stucco screed
 - 3.06.02 **Alum. Sliding Doors**
Alum. Sliding Door System, with retractable screens
 - 3.07.06 **Typ. Fascia Gutter**
G.I. Fascia of 2x fascia to match existing
 - 3.10.01 **Tyvek Flexwrap**
Tyvek feltwrap, straight flashing @ all ext. doors, windows and solariums, install per manufactures guidelines
 - 3.12.05 **Typical Roofing**
Comp. Shingles (Class 'A') heavy grade over 15# roof felt and 1/2" plywood sheathing (S.S.D.).
- 4 Enclosure**
- 4.05.05 **Exterior Landings**
Provide landings at all exterior doors, for inswing doors the max. change in elevation threshold to the landing is 7/32". For outswing doors the max. height is 1", the landing shall be the width of the door and the length shall be min. 3'.


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ELEVATIONS
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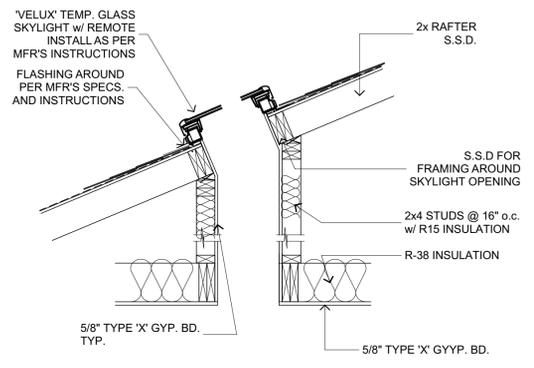


REVISIONS

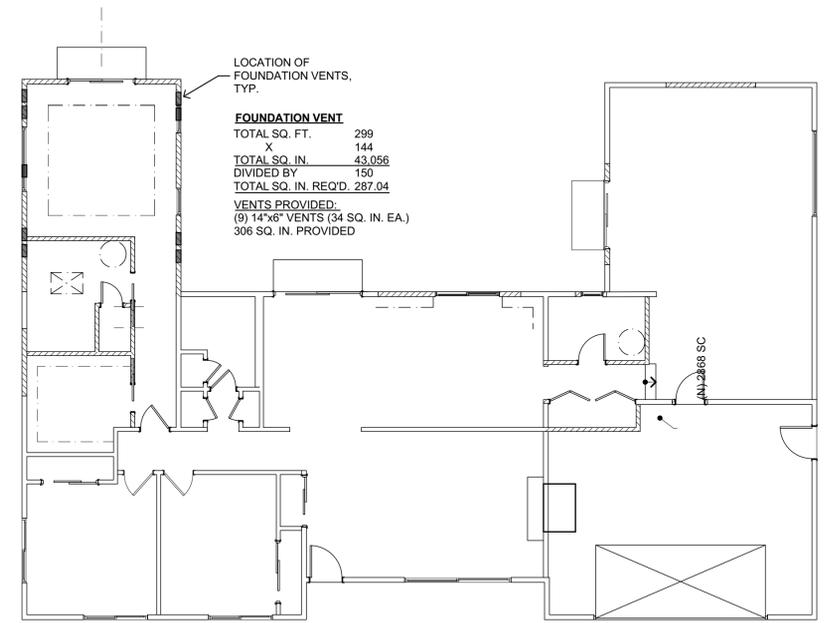
Date: 4/16/2018

Notes

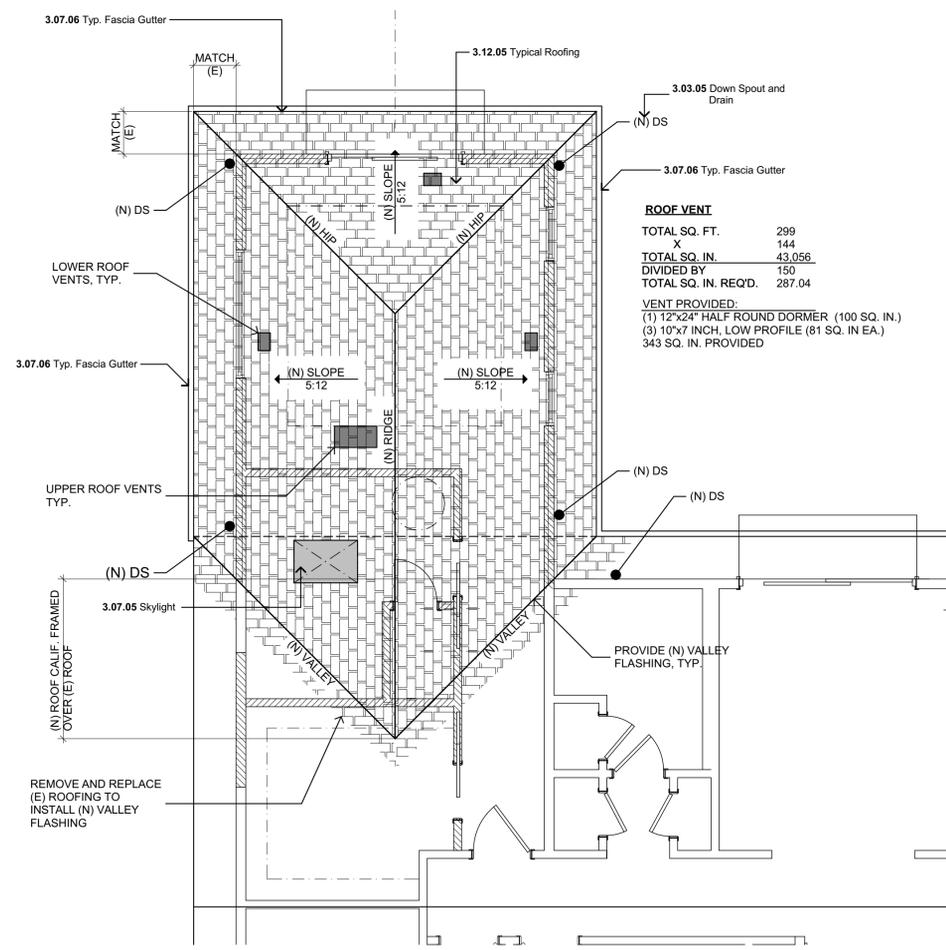
- 3 Structure**
- 3.02.01 **Typical Stucco soffit**
7/8 Stucco (3) coats of metal lath, dbl. layers min. grade 'D' building paper soffit w/ cont. sing vents
- 3.02.03 **R38 Batt Insulation**
R 38 Batt Insulation, install per manufactures guidelines.
- 3.02.06 **Typical Exterior Wall**
7/8 Stucco (3) coats of metal lath, dbl. layers min. grade 'D' building paper and 1/2" plywood sheathing. (S.S.D.) of 2x6 studs @ 16" o.c. w/ R19 insulation, fill all cavities.
- 3.02.10 **Typ. Interior Wall**
2x4 studs @ 16" o.c. w/ 1/2" gyp. bd. ea. side
- 3.03.02 **R19 batt insulation**
R 19 Batt Insulation, installed per manufactures guidelines.
- 3.03.05 **Down Spout and Drain**
Install DS and Scupper per roof plan locations. Down spouts to drain to approved locations per local Bldg codes.
- 3.04.05 **Metal Stucco Screed**
Metal Stucco screed
- 3.06.02 **Alum. Sliding Doors**
Alum. Sliding Door System, with retractable screens
- 3.07.01 **R 19 Batt Insulation**
- 3.07.05 **Skylight**
24"x36" "Velux" skylight w/ remote. Install as per mfr's instructions
- 3.07.06 **Typ. Fascia Gutter**
G.I. Fascia of 2x fascia to match existing
- 3.07.08 **Floor Joists**
4x6 floor joists, with 1 1/8" plywood, S.S.D. (MATCH EXIST.)
- 3.10.01 **Tyvek Flexwrap**
Tyvek feltwrap, straight flashing @ all ext. doors, windows and solariums, install per manufactures guidelines
- 3.12.05 **Typical Roofing**
Comp. Shingles (Class 'A') heavy grade over 15# roof felt and 1/2" plywood sheathing (S.S.D.)
- 4 Enclosure**
- 4.05.05 **Exterior Landings**
Provide landings at all exterior doors, for inswing doors the max. change in elevation threshold to the landing is 7/32". For outswing doors the max. height is 1", the landing shall be the width of the door and the length shall be min. 3'.
- 5 Interior**
- 5.01.01 **5/8 GYP. BD.**
5/8" Gyp Bd. Type 'X' gyp. bd.
- 6 Finish**
- 6.01.05 **Baseboard**
Baseboard to be selected
- 6.01.06 **Floor Finish**
Floor finish to be selected of 1 1/8" plywood subfloor, s.s.d.



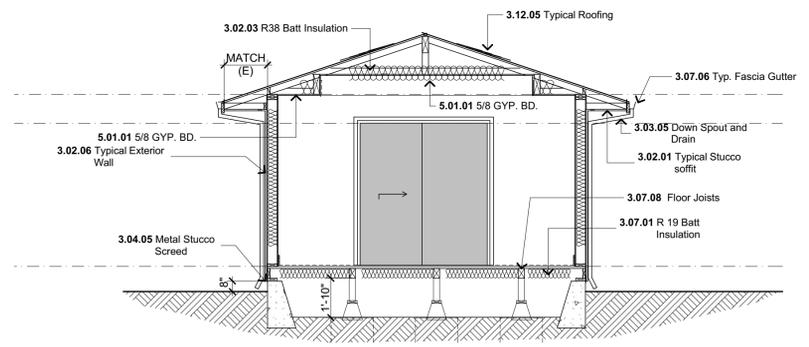
5 SKYLIGHT DETAIL
SCALE: 3/4" = 1'-0"



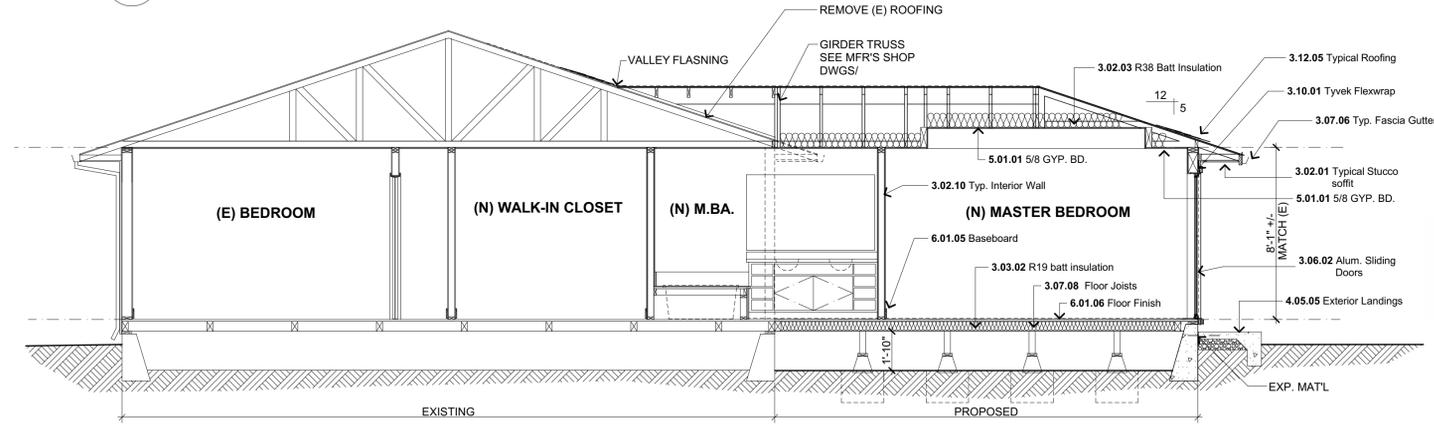
3 FOUNDATION VENTS
SCALE: 1/8" = 1'-0"



4 ROOF PLAN
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"



1 SECTION
SCALE: 1/4" = 1'-0"

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