



AGENDA
CITY OF HALF MOON BAY
ARCHITECTURAL ADVISORY COMMITTEE (AAC) MEETING

THURSDAY JULY 15, 2021
8:30 A.M.

**Ted Adcock Community Center
(South Day Room)
535 Kelly Avenue
Half Moon Bay, CA 94019**

**Chad Hooker
Steve Kikuchi
Linda Poncini**

This agenda contains a brief description of each item to be considered. Those wishing to address the AAC on any matter not listed on the agenda, but within the jurisdiction of the Community Development to resolve, may come forward during the Public Comment portion of the agenda and will have a maximum of three minutes to discuss their item. Those wishing to speak on a Public Hearing matter will be called forward at the appropriate time during the Public Hearing consideration.

Please Note: Please Provide a Copy of Prepared Presentations to the Planning Division.

Copies of written documentation relating to each item of business on the Agenda are on file in the Office of the City Clerk at City Hall where they are available for public inspection. If requested, the agenda shall be available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132.) Information may be obtained by calling 650-726-8271.

In compliance with the Americans with Disabilities Act, special assistance for participation in this meeting can be obtained by contacting the City Clerk's Office at 650-726-8271. A 48-hour notification will enable the City to make reasonable accommodations to ensure accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II).

- I. CALL TO ORDER**

- II. REVIEW MEETING SUMMARY NOTES**
06/17/2021

- III. PUBLIC COMMENT**

- IV. COMMITTEE MEETING ITEMS**
 - a. PROJECT:.** New Single Family Residence Resubmittal
CITY FILE #: PDP-20-069
LOCATION: 574 Magnolia Street
OWNER/APPLICANT: Hailekiros & Simin Hailu

- V. AGENDA FORCAST / STAFF UPDATE**

- VI. COMMITTEE MEMBER COMMUNICATIONS**

- VII. ADJOURNMENT**



**DRAFT MEETING SUMMARY NOTES
CITY OF HALF MOON BAY ARCHITECTURAL ADVISORY COMMITTEE
THURSDAY, JUNE 17, 2021
ALL REMOTE/VIRTUAL MEETING VIA ZOOM**

Virtual meeting of the Architectural Advisory Committee (AAC) began at 8:35 AM

PRESENT: Chad Hooker, Steve Kikuchi, Linda Poncini

STAFF PRESENT: Jill Ekas, Bridget Jett and Scott Phillips

MEETING SUMMARY NOTES OF MAY 20, 2021

No changes to the summary notes were recommended by the AAC.

PUBLIC COMMENT

None

1. Outdoor Retail Garden for Apothecary – Design Review

Project overview by Scott Phillips, Associate Planner

Location: 601 Main Street

City File No.: PDP-21-043

Applicant: Jennifer Segale

AAC Clarifying Questions:

Q: Is the fence screening temporary?

A: Yes, the screening would only be used during site preparation and possibly workshops. During normal retail operations, the fencing would be visually open.

Q: Would the plants for sale be in containers?

A: Yes.

Applicant Presentation: Jennifer Segale, Applicant/Business Owner

Public Comment: none

AAC Discussion:

- Architectural Details:
 - Lotus Tent: AAC likes the tent use on the site.
 - Fencing: AAC suggests maintaining open fencing to allow for more visibility of products for sale.
- Landscaping:

- Landscape Design: AAC is supportive of the landscape improvements shown in the conceptual site design packet.
- Summary comments:
 - General consensus is that the design of the new outdoor retail and workshop space is supportable as presented.

2. Major Modification to Approved Mixed Use Project– Design Review

Project overview by Scott Phillips, Associate Planner

Location: 795 Main Street

City File No.: PDP-16-061

Applicant: Janice Moody

AAC Clarifying Questions:

Q: What would be the process, if in a year or more from now the applicant wanted to submit for the new building?

A: There is an entitlement associated with this project, so it would expire in a year from the date originally approved.

Q: In the summary under architecture it mentions, bay window, but not seeing them on the plan?

A: Part of it is from the old plan. Also the existing building has a bay window that would be removed as part of the new plan.

Q: Is proposed Canopy intended for esthetics or shade for the plants?

A: Act at shade and hail protection for plants, and would eventually add vines to soften to appearance. It is a pre-fabricated unit. Consider materials that will withstand the Coastal environment.

Q: Roof Section around the existing storage locker. Parking arrangement is challenging. Has the applicant considered configuring the roof on the existing storage unit, and moving the back line toward the southward fence so that you could use space for better parking and remove the tandem?

A: Roof line was more of a functional need to garden under, act as a mini greenhouse and a weatherized place to work. Would not gain much square footage in this mentioned location. Tandem was designed more toward residential, and the accessible would be for more business hours.

Applicant answered clarifying questions: Janice Moody, Applicant/Owner with Andrew, Project Architect.

Public Comment: none

AAC Discussion:

- Site Design:

June 17, 2021

Architectural Advisory Committee (AAC)

Page 3 of 3

- Vehicle parking rearrangement is needed. Tandem parking is not ideal, and the amount of parking spaces needed can be reduced to 5 spaces.
- Dedicate more space for the business and less for vehicles.
- Architectural Detailing:
 - The new roof around the storage container could be modified to free up more space for parking rearrangement.
 - Existing bay window on the front of the building will be removed. Add a low fence or other residential type feature in the front.
 - Add lighting details to the plans.
 - Consider a more durable material for the trellis, gate and fencing. Consider powder coating or other more durable options.
- Summary comments:
 - The AAC is supportive of the major modification but asks that the above items be addressed through a resubmittal.

AGENDA FORCAST / STAFF UPDATE

- Agenda forecast – AAC July meeting will be back in person at the Ted Adcock Community Center’s South Day Room. A resubmittal of a new residence on Magnolia Street and possibly a new parklet on Main Street are anticipated agenda items.
- Staff Update- Brittney Cozzolino provided an update on the new restroom at Surfers Beach and Pillar Point RV Park.

ARCHITECTURAL ADVISORY COMMITTEE COMMUNICATIONS

- Questions on RV screening at RV parks were asked and discussed.

ADJOURNMENT

Meeting adjourned: 10:30 am

Respectfully Submitted:

Scott Phillips, Associate Planner



Community Development Department
Jill Dever Ekas, AICP, Director

*Architectural Advisory Committee:
Request for Design Review and Recommendations*

Date: July 15, 2021
To: Architectural Advisory Committee Members
From: Brittney Cozzolino, Associate Planner
Subject: 574 Magnolia Street, New Single-Family Residence, PDP-20-069

PROJECT DESCRIPTION:

The application is for a new 1,920 square-foot, two-story prefabricated single-family residence with a detached two-car garage on a 5,422 square-foot substandard vacant lot at 574 Magnolia Street. The subject site is in the Arleta Park single-family neighborhood on the western side of Highway 1. The site is zoned R-1 B-1 Single-Family Residential. The property owners are Hailekiros and Simin Hailu, and the project architect is Jared Levy.

Applicable Guidelines/Standards: As the project consists of a single-family residence, the City's Single-Family Residential Design Guidelines are applicable. As a manufactured home, the design standards contained in Zoning Code Section 18.06.060 apply. The visual resource protection standards contained in Chapter 18.37 of the Half Moon Bay Municipal Code also apply, as the site is located within 200 yards of the Highway 1 visual corridor.

Required Permits: The proposed project requires issuance of a Coastal Development Permit, Architectural Review, Setback Variance, Maximum Building Envelope Variance, Fence Height Variance, and Manufactured Home Roof Pitch Variance. The project will be reviewed by the Planning Commission.

REVIEW:

At its March 18, 2021 meeting, the AAC provided feedback on four proposed alternatives for the siting of the new residence and garage. Overall, the AAC favored Option D which includes a detached garage, the residence shifted back for a 23-foot rear yard setback, and minimized

Staff is seeking confirmation from the AAC that they are comfortable with the proposed contemporary design, fence details, landscaping, and building articulation. Committee members are encouraged to provide any additional feedback on the proposed design and proposed variances.

NEXT STEPS:

If the proposed design sufficiently addresses recommendations by the AAC, the project will be scheduled for review at a Planning Commission public hearing. Story pole installation will be required prior to the Planning Commission hearing.

ATTACHMENTS:

1. Revised Plan Set
2. March 18, 2021 Excerpted Meeting Summary Notes



3D VIEW OF REAR DECK
NO SCALE 5

PROJECT DESCRIPTION
1,920 SF 2-STORY FACTORY BUILT HCD APPROVED SINGLE FAMILY DWELLING WITH 380 SF DETACHED SITE BUILT GARAGE.

PARCEL INFORMATION
SITE ADDRESS: 574 MAGNOLIA ST, HALF MOON BAY, COUNTY OF SAN MATEO, CA 94019
PARCEL #: 064-342-230
ZONING: R-1 / B-1
LOT SIZE: 5,422 SF (SUBSTANDARD LOT)
CONSTRUCTION TYPE: TYPE V-B
SRA/WUI ZONE: YES
FLOOD PRONE URBAN AREA: NO
CLIMATE ZONE: 3
OCCUPANCY: R3

LOT COVERAGE:
MAX. LOT COVERAGE (2-STORY): 35% = 1,898 SF
PROPOSED LOT COVERAGE: 1,340 SF (24.7%)
(TOTAL= a+b+c)

a) FACTORY BUILT 2-STORY HOUSE: 960 SF
b) SITE BUILT DECKS: 0 SF (EXCEPTION MUNICIPAL CODE 18.06.050.C)
c) SITE-BUILT GARAGE: 380 SF

FAR: 0.5 : 1
PROPOSED FAR: 0.42

HEIGHT:
HEIGHT LIMIT: 28'
PROPOSED HEIGHT: 22' - 4 1/2"

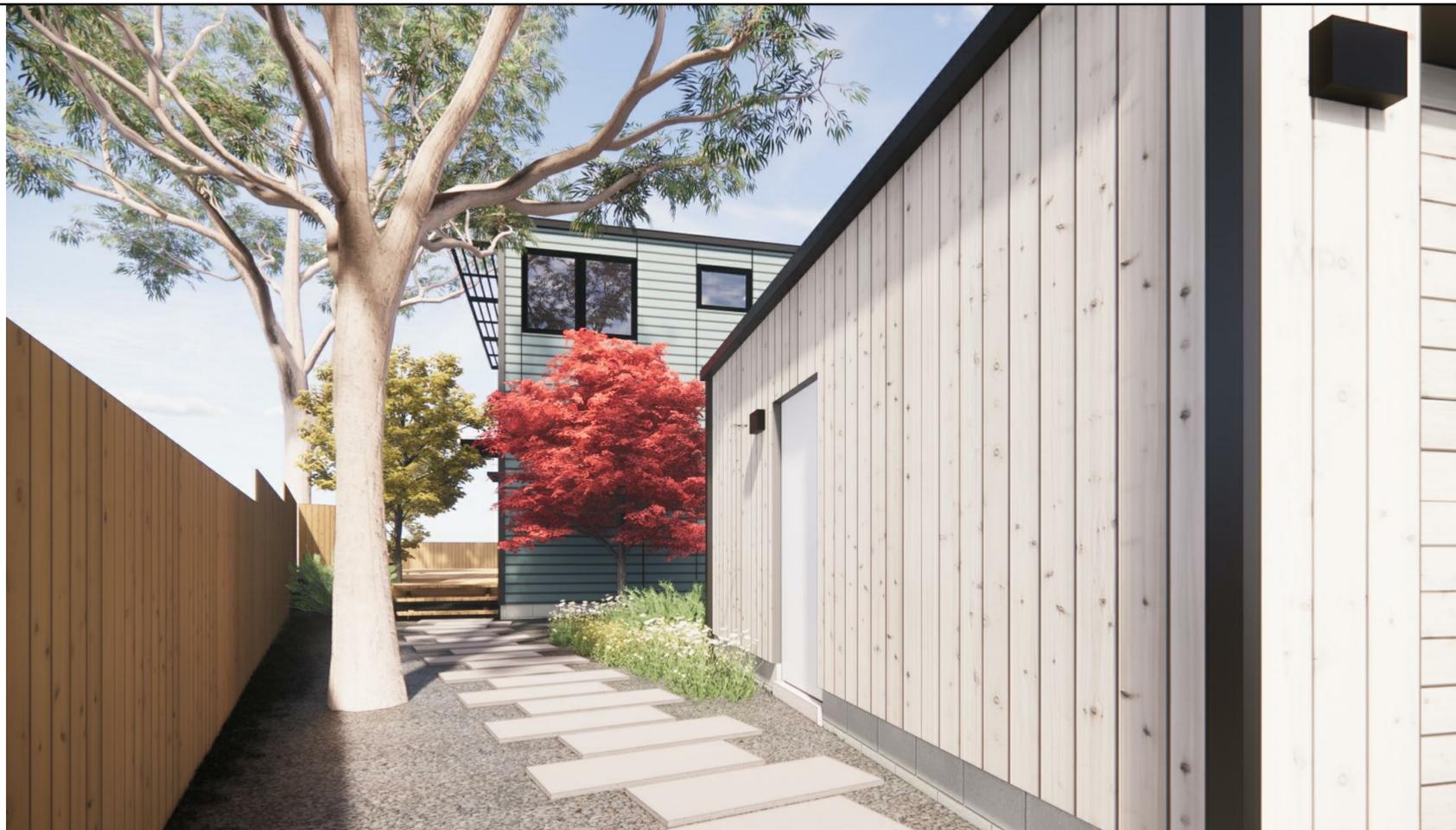
SETBACKS:
REQUIRED SETBACKS:
FRONT YARD: 25' - 0"
SIDE YARD: 5' - 0" (INT.) / 15' - 0" (EXT.)
REAR YARD: 20' - 0"

PROPOSED SETBACKS:
FRONT YARD: 25' - 0"
SIDE YARD: 5' - 0" (INT.) / 8' - 3" (EXT.)
REAR YARD: 23' - 0"

PARKING REQUIREMENTS: (1) COVERED SPACE, (1) CAR GARAGE SPACE
PARKING PROVIDED: (2) CAR GARAGE SPACES

PERVIOUS AREA:
TOTAL PERVIOUS AREA: 3,482 SF = 64% OF PROPERTY(5,422 SF)

PROJECT INFORMATION
NO SCALE 3



3D VIEW OF FRONT ENTRANCE
NO SCALE 4

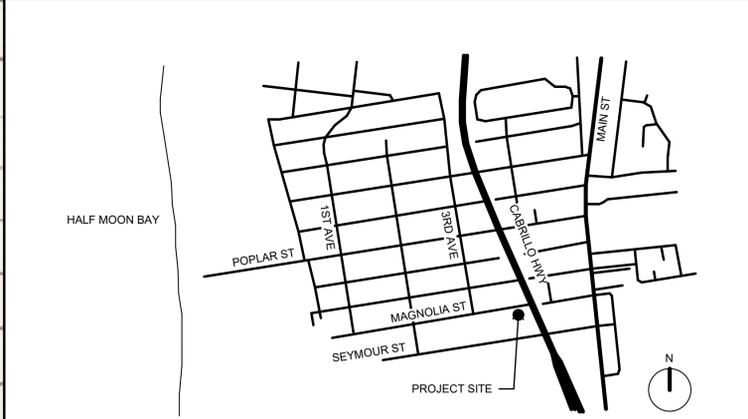
PLANNING PERMIT SET - SHEET INDEX

SHEET NO.	SHEET NAME
D-0.1	TITLE SHEET
D-1.0	SITE PLAN
D-1.1	MATERIALS
D-1.2	CONNECT-HOMES SAMPLE PROJECTS
D-2.0	FLOOR PLANS
D-2.1	ROOF PLAN
D-3.0	BUILDING ELEVATIONS
D-3.1	BUILDING ELEVATIONS
D-4.0	GRADING, DRAINAGE, AND EROSION CONTROL PLAN

LANDSCAPE - SHEET INDEX

SHEET NO.	SHEET NAME
LA-1.0	LANDSCAPE SCHEMATIC DESIGN
LA-1.1	LANDSCAPE PLANTING PLAN

SHEET INDEX
NO SCALE 2

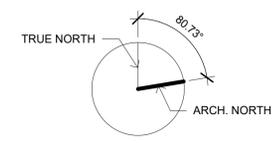


VICINITY MAP
NO SCALE 1



COASTSIDE FIRE PROTECTION DISTRICT NOTE

FIRE ACCESS ROADS:
 THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS OF FIRE APPRATUS. THE CITY OF HALF MOON BAY DEPARTMENT OF PUBLIC WORKS, SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROAD S SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.





2 CONNECT 4 - OAKLAND, CA
NO SCALE 11



CONNECT 4 - SANTA MONICA, CA (DWELL JUL/AUG 2017)
NO SCALE 10



CONNECT 8 - SANTA ROSA, CA
NO SCALE 9



CONNECT 10 - WALNUT CREEK, CA
NO SCALE 8



CONNECT 10 - MALIBU, CA
NO SCALE 7



CONNECT 6 - MAR VISTA, CA
NO SCALE 6



CONNECT 6 - MAR VISTA, CA
NO SCALE 5



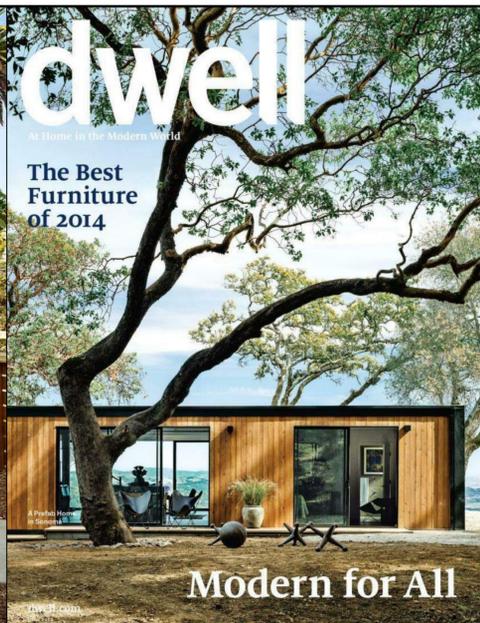
CONNECT 6 - CULVER CITY, CA
NO SCALE 4



CONNECT 10 - LOS ANGELES, CA
NO SCALE 3



CONNECT 8 - LOS ANGELES, CA
NO SCALE 2



CONNECT 5 - SONOMA, CA (DWELL JUN 2014 COVER)
NO SCALE 1

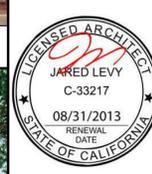
prefab
DESIGNED BY
Kelly Yencill Sanchez
MATTHEW WILLIAMS
Family Ties
In Santa Monica, a couple go all in on a prefab home that's flexible and accessible and unabashedly part of their neighborhood.
"Universal design and accessibility were important to the client, so we used Level Access and Granite Stone of California to replace their wheelchair ramp with a finished granite. Since the home's modular kit was 16 feet wide, but the wheelchair ramp needed to accommodate a 36-inch wheelchair, we had to be creative with the design."
128
JULY/AUGUST 2017
DWELL

CONNECT HOMES

706 S HILL ST, STE. 1060
LOS ANGELES, CA 90014
t: 310.622.9271
e: info@connect-homes.com

CONNECT 6T+CG: HAILU RESIDENCE
574 MAGNOLIA ST, HALF MOON BAY, COUNTY OF SAN MATEO, CA 94019
PARCEL #: 064-342-230

DATE ISSUED
06.21.2021



Legal Disclaimer:
The house design, drawings and specifications contained herein and provided herewith are the exclusive property of Home EC, Inc. Copyright 2010. The use of these drawings and specifications shall be restricted to the creation of a Home EC product and shall not be used, in whole or in part, for any purpose for which they were not intended without the express written consent of Home EC, Inc. Reproduction or publication by any method, in whole or in part, is prohibited. Title to these designs, drawings and specifications shall remain with Home EC, Inc. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

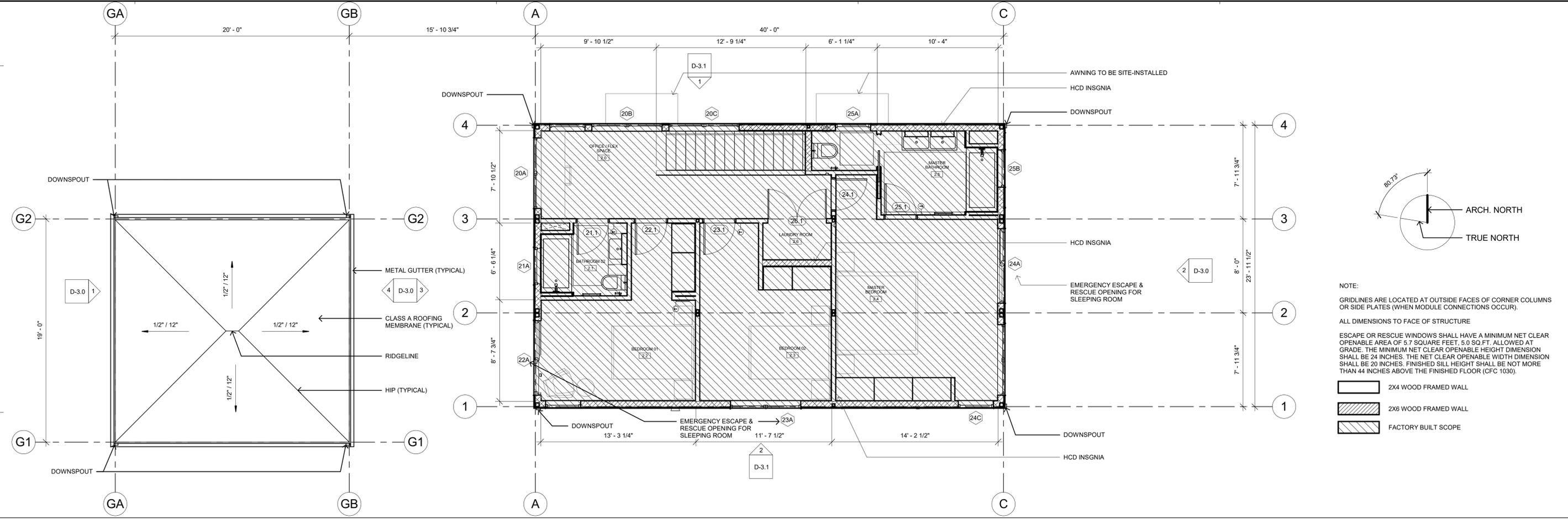
MODEL HOME
CGT+CG

SHEET SET
PLANNING PERMIT
SET

SHEET TITLE
CONNECT-HOMES
SAMPLE PROJECTS

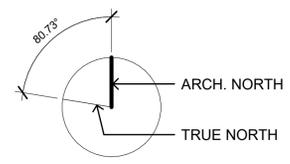
SHEET, SHEET / MODEL /
SET NUMBER HOME

D-1.2

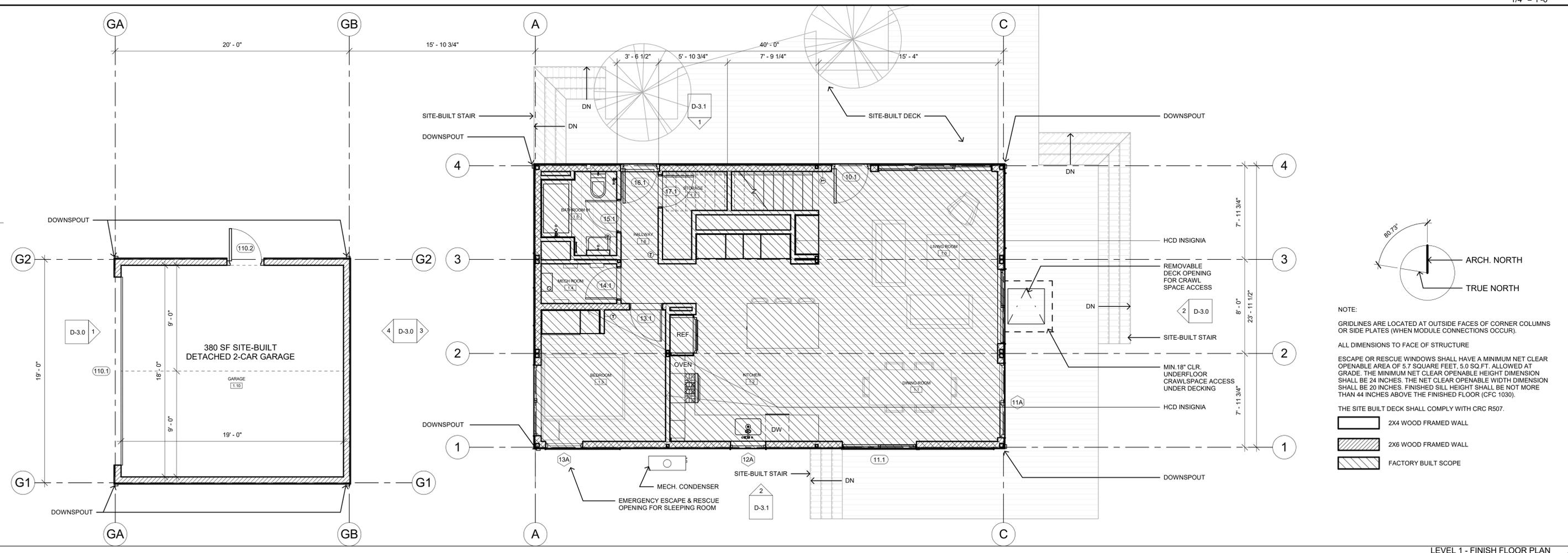


NOTE:
GRIDLINES ARE LOCATED AT OUTSIDE FACES OF CORNER COLUMNS OR SIDE PLATES (WHEN MODULE CONNECTIONS OCCUR).
ALL DIMENSIONS TO FACE OF STRUCTURE
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ.FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR (CFC 1030).

- 2X4 WOOD FRAMED WALL
- 2X6 WOOD FRAMED WALL
- FACTORY BUILT SCOPE

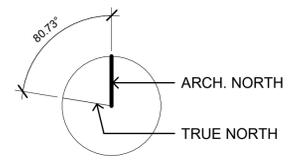


LEVEL 2 - FINISH FLOOR PLAN
1/4" = 1'-0" 2

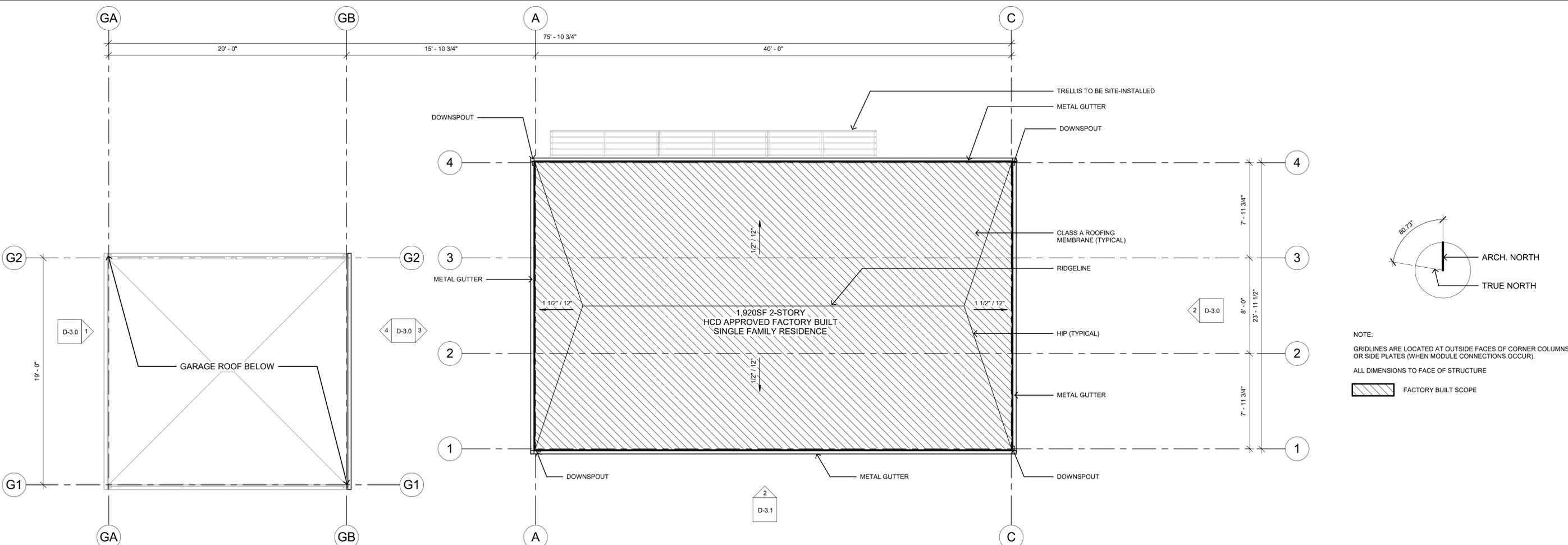


NOTE:
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ALL DIMENSIONS TO FACE OF STRUCTURE
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ.FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR (CFC 1030).
THE SITE BUILT DECK SHALL COMPLY WITH CRC R507.

- 2X4 WOOD FRAMED WALL
- 2X6 WOOD FRAMED WALL
- FACTORY BUILT SCOPE

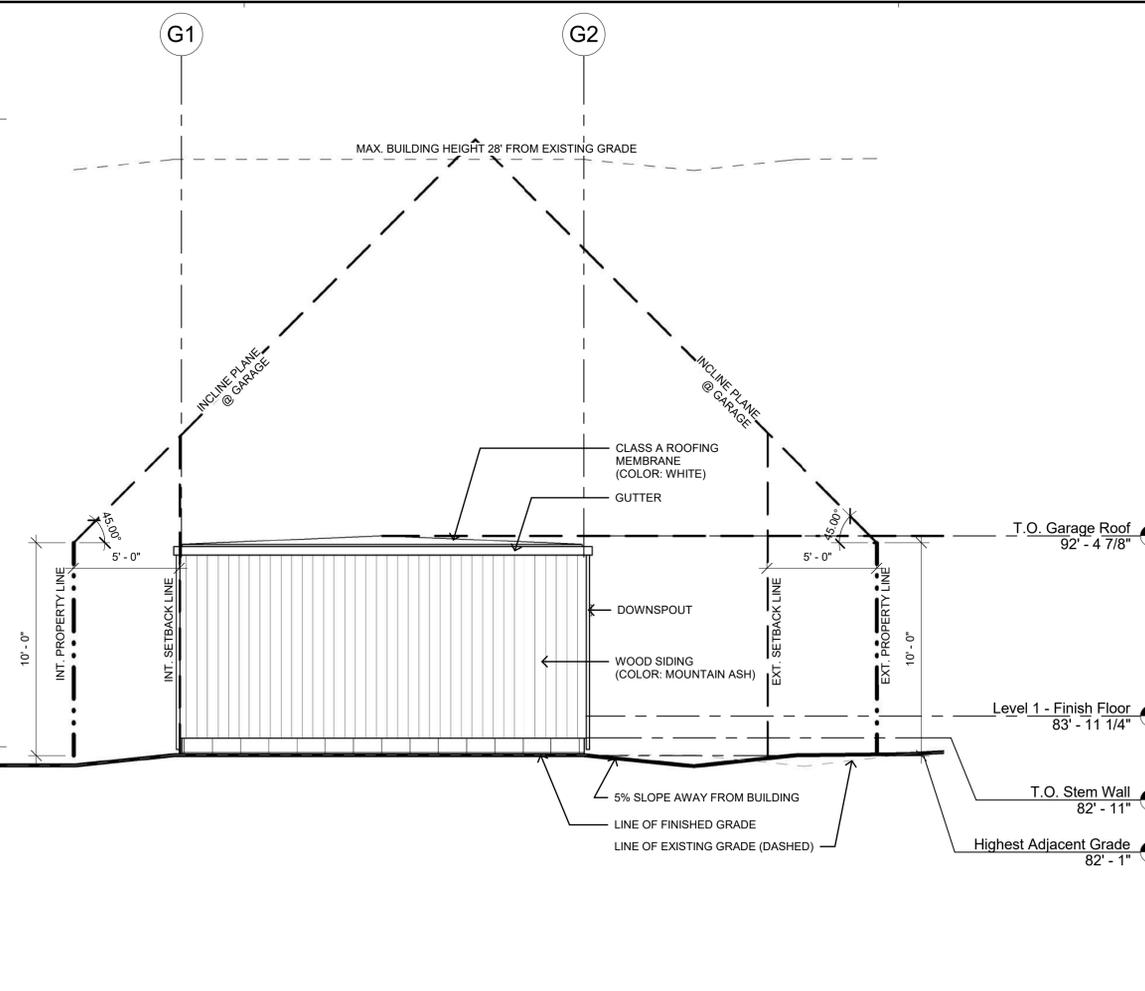


LEVEL 1 - FINISH FLOOR PLAN
1/4" = 1'-0" 1

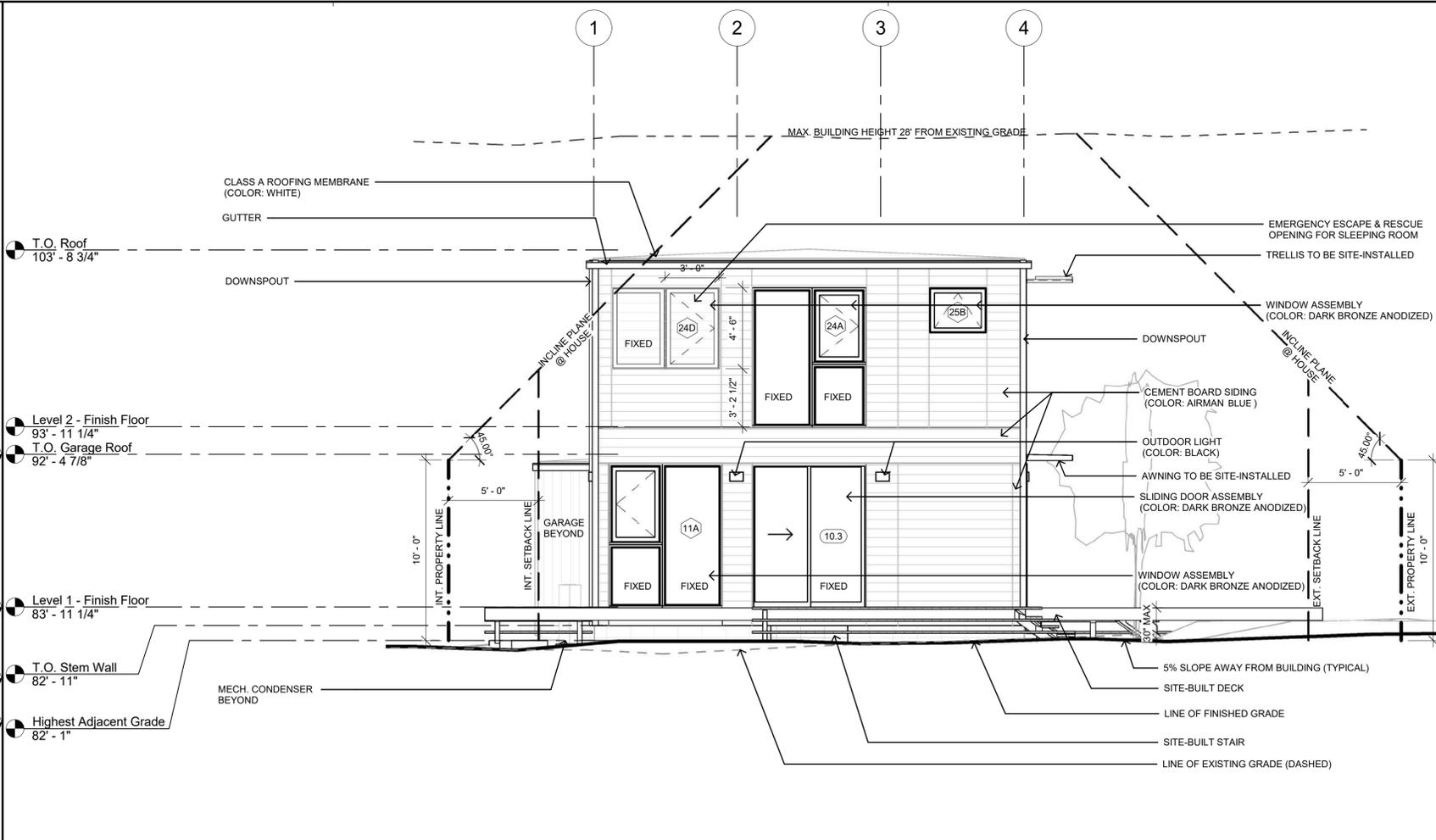


NOTE:
GRIDLINES ARE LOCATED AT OUTSIDE FACES OF CORNER COLUMNS OR SIDE PLATES (WHEN MODULE CONNECTIONS OCCUR).
ALL DIMENSIONS TO FACE OF STRUCTURE

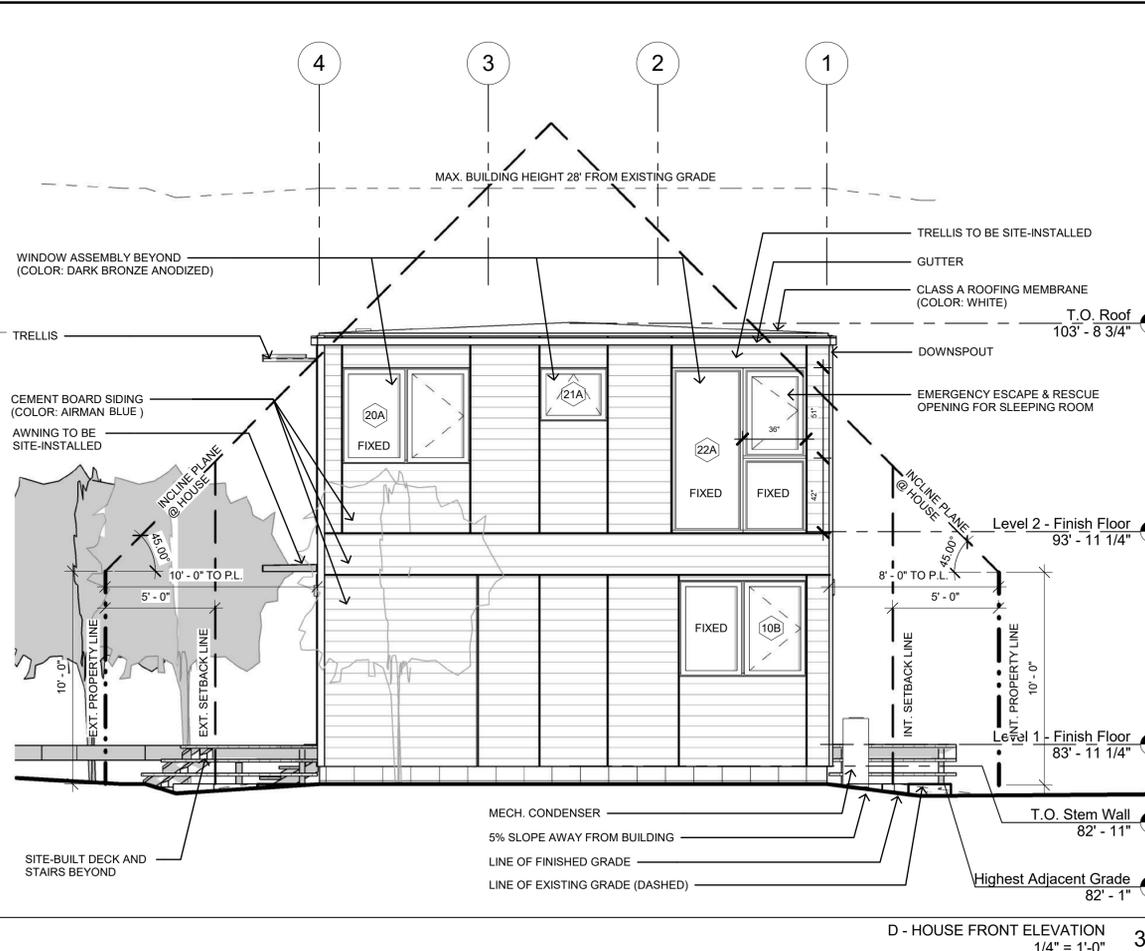
FACTORY BUILT SCOPE



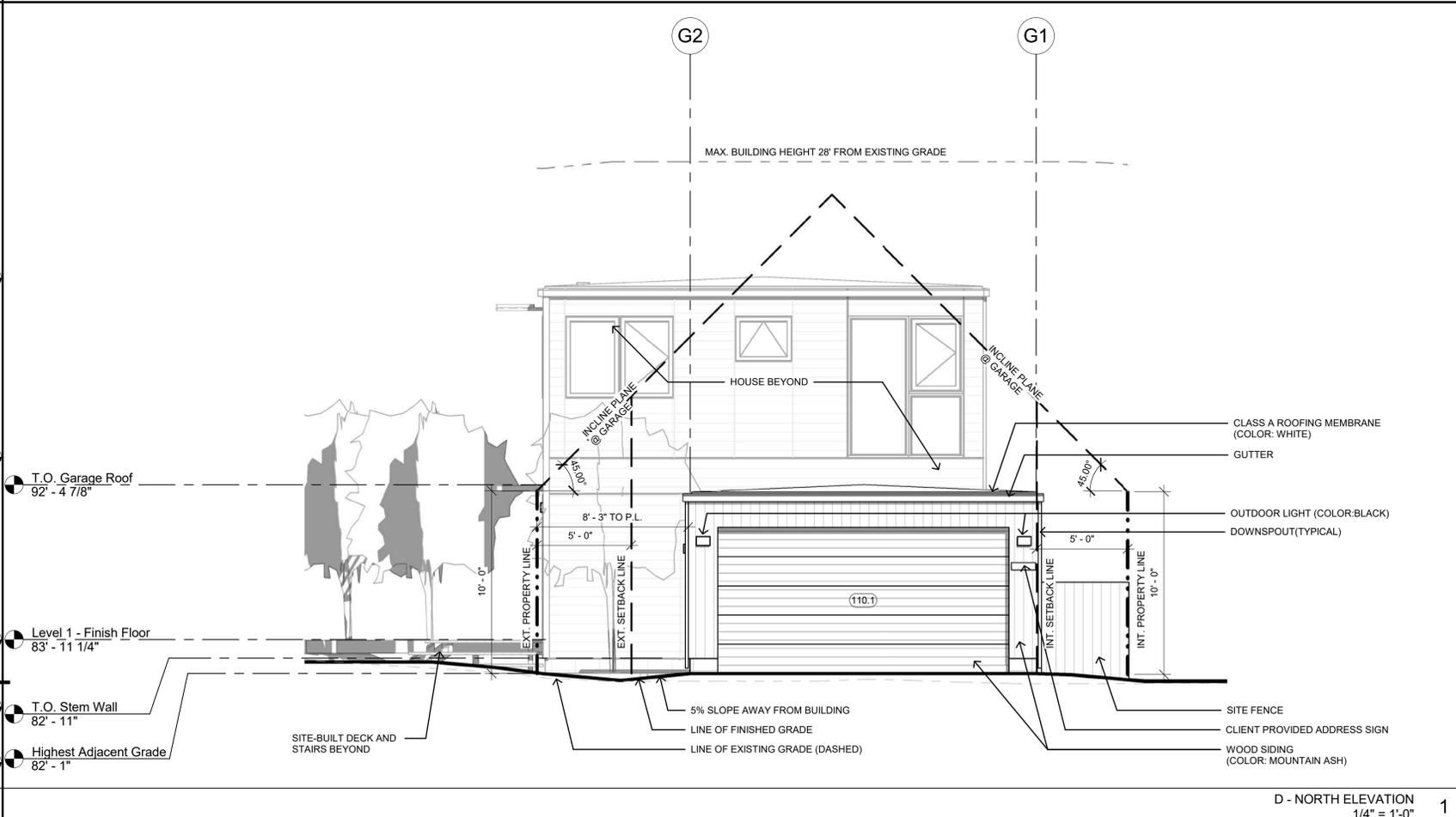
D - GARAGE REAR ELEVATION
1/4" = 1'-0" 4



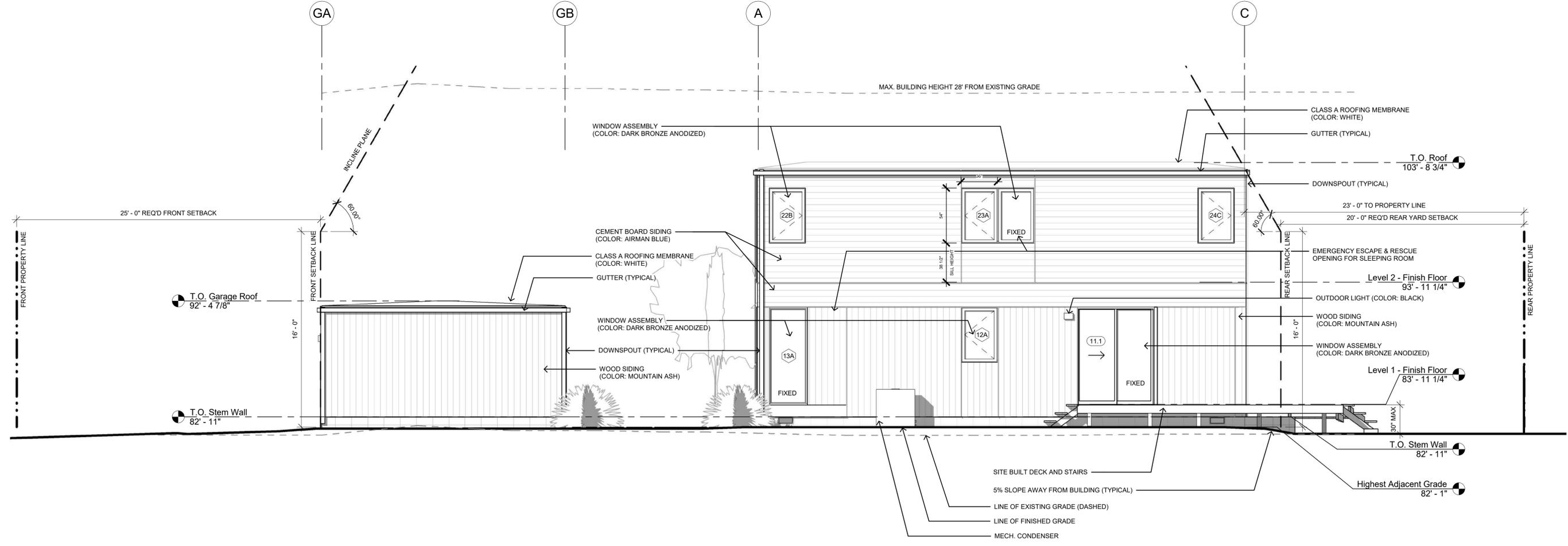
D - SOUTH ELEVATION
1/4" = 1'-0" 2



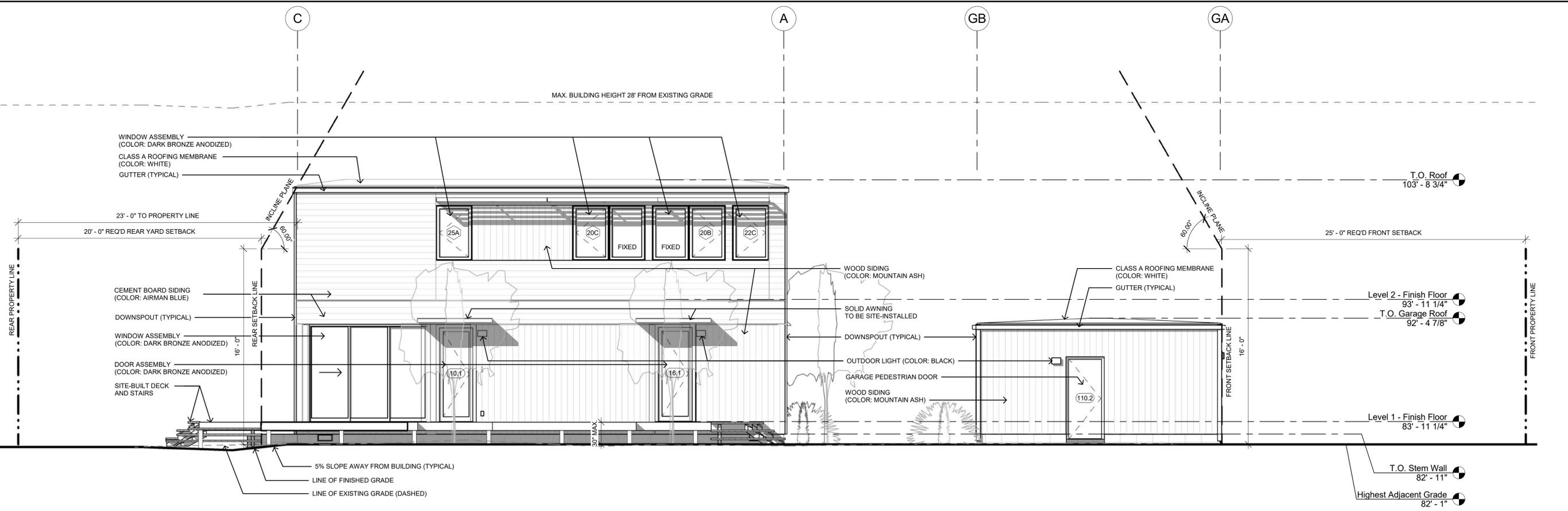
D - HOUSE FRONT ELEVATION
1/4" = 1'-0" 3



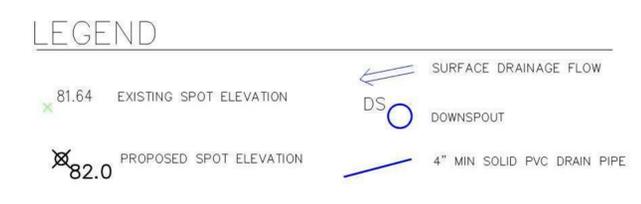
D - NORTH ELEVATION
1/4" = 1'-0" 1



D - WEST ELEVATION
1/4" = 1'-0" 2



D - EAST ELEVATION
1/4" = 1'-0" 1



- ### GENERAL NOTES
- PLANS PREPARED AT REQUEST OF: HAILEKIROS HAILU, OWNER
 - ELEVATION DATUM: NAVD 88
 - SITE SURVEYED BY BGT LAND SURVEYING, 9-14-18.
 - THIS IS NOT A BOUNDARY SURVEY.
 - AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY WORK IN THE CITY RIGHT OF WAY.
 - ALL EXISTING EUCLYPTUS TREES WILL BE REMOVED.

GRADING NOTES

CUT VOLUME : 30 CY (FOR FOUNDATION)
FILL VOLUME : 0 CY

ABOVE VOLUMES ARE APPROXIMATE.

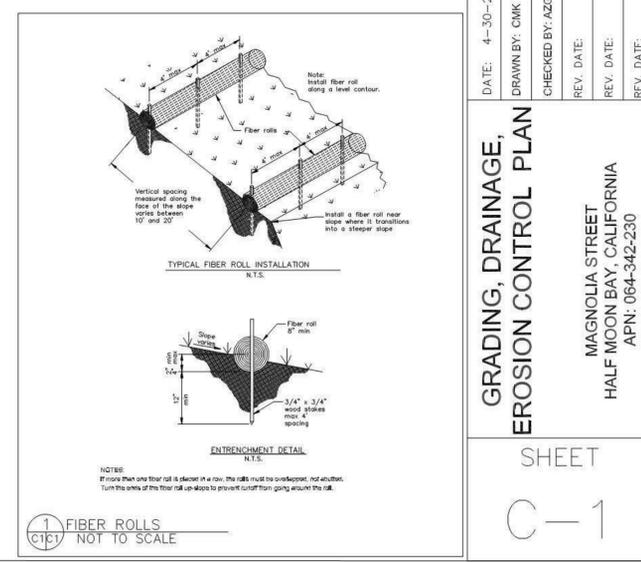
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

- ### DRAINAGE NOTES
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS, AND TO PREVENT AN INCREASE IN RUNOFF TO NEIGHBORING PROPERTIES.
 - DOWNSPOUTS AND TRENCH DRAIN AT GARAGE SHALL LEAD TO DETENTION BASIN, AS SHOWN.



- ### EROSION AND SEDIMENT CONTROL NOTES
- FIBER ROLL: INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL 1.
- FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.
 - ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF JUTE MATTING ON SLOPES.
 - ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.
 - BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
 - AREAS TO RECEIVE NATURAL VEGETATION SHALL BE SEEDED PRIOR TO OCT 15 WITH 75# PER ACRE OF ANNUAL RYEGRASS OR APPROVED SUBSTITUTE, AS PER LANDSCAPE PLAN. SEED MAY BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.

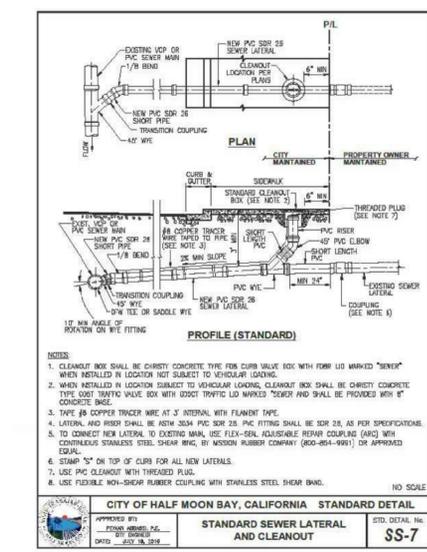
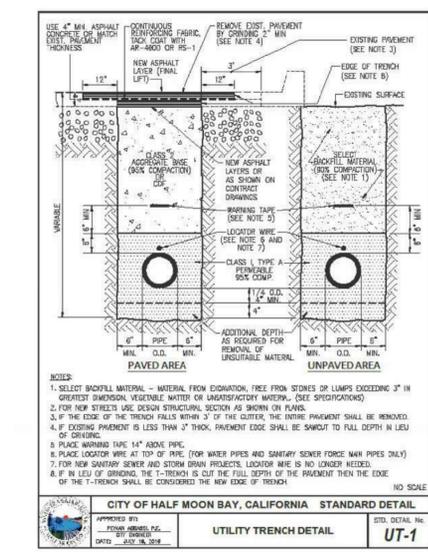


SEWER NOTES

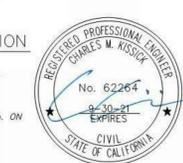
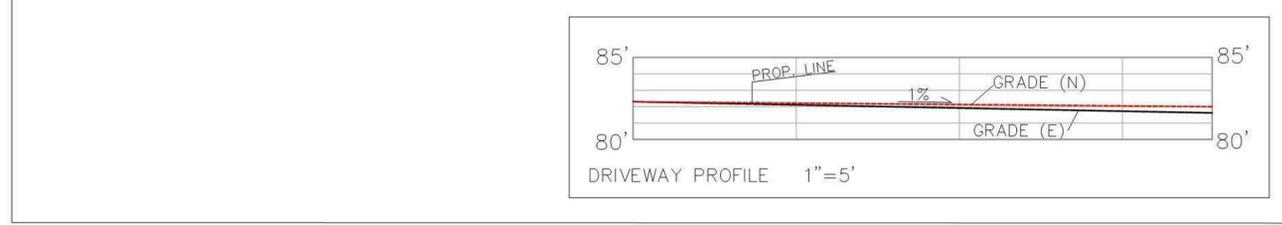
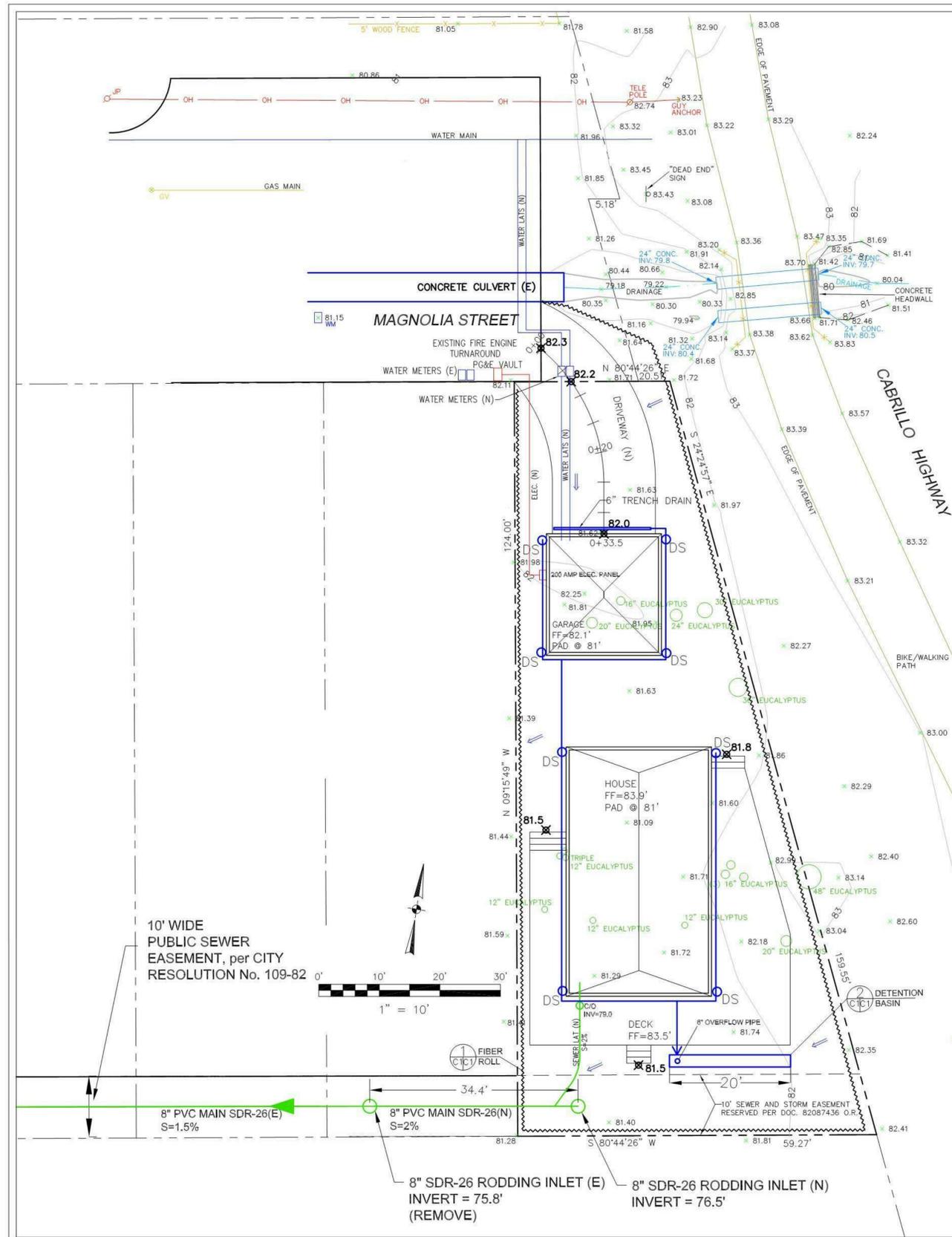
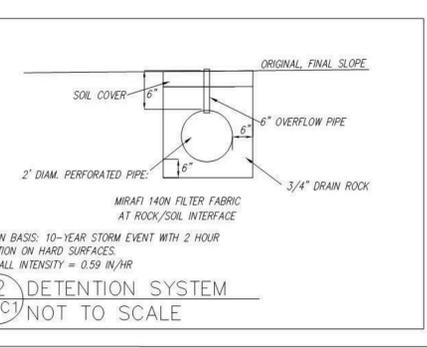
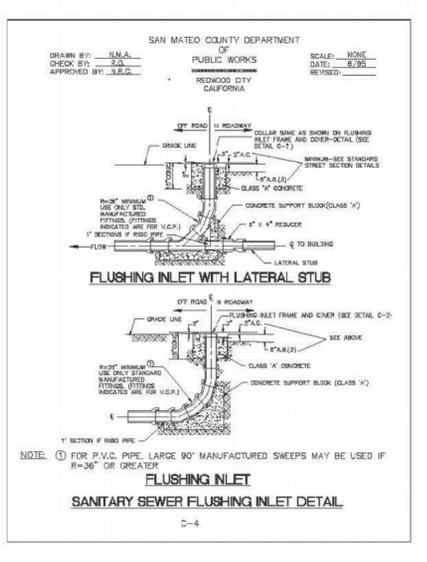
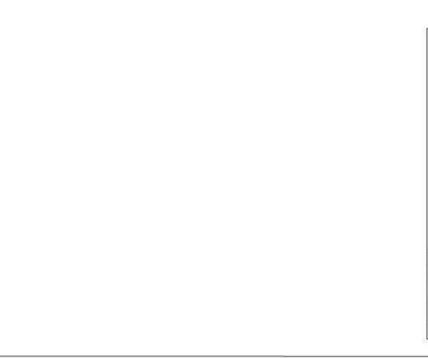
- MAINLINE EXTENSION OF 34.4 FEET PROPOSED, AS SHOWN.
- SIGMA PRIME ACCEPTS NO RESPONSIBILITY FOR THE OPERATION, OR MAINTENANCE OF SUCH PRIVATELY OWNED AND OPERATED SYSTEMS.
- ALL WORK SHALL COMPLY WITH THE UNIFORM PLUMBING AND BUILDING CODES.

- ### CONSTRUCTION:
- CONSTRUCTION SHALL COMPLY WITH TECHNICAL SPECIFICATION SECTION 02730 - SANITARY SEWERS.
 - MATERIALS FOR SANITARY SEWERS SHALL BE PVC CONFORMING TO THE CITY'S TECHNICAL SPECIFICATION SECTION 02730 - SANITARY SEWERS.
 - SANITARY SEWER WILL BE REQUIRED TO PASS A LOW PRESSURE AIR TEST OR WATER TEST.
 - MINIMUM COVER OVER GRAVITY SEWERS SHALL BE (3) FEET.

THE MINIMUM VERTICAL CLEARANCE FROM OTHER UTILITIES SHALL BE ONE FOOT AND SEWERS MUST CLEAR UNDERNEATH WATER LINES.



- ### GENERAL NOTES
- ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE CITY SEWER OR SEWER AUTHORITY MID-COASTAL (SWM).
 - THE APPROVAL OF THESE PLANS BY THE CITY SHALL BE INTERPRETED TO MEAN THAT THE SANITARY SEWER DESIGN SHOWN ON THESE PLANS MEETS THE CITY'S STANDARDS. THE CITY'S APPROVAL IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
 - THE CONTRACTOR SHALL CONTACT THE CITY AT (800) 728-4260 (2) WORKING DAYS IN ADVANCE OF BEING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE CITY INFORMED OF SCHEDULE FOR SANITARY SEWER WORK.
 - ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE CITY OR SWM SHALL BE REMOVED AND RECONSTRUCTED WITH INSPECTION.
 - THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
 - THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
 - THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
 - UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE MYLAR "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE CITY.
 - SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
 - PRIOR TO COMMENCING ANY SANITARY SEWER WORK IN OFF-SITE ELEMENTS THE CONTRACTOR SHALL PROVIDE THE CITY WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE NOTIFIED WELL IN ADVANCE OF THE DATE WORK IN THESE ELEMENTS IS TO BEGIN AND THAT THEY HAVE ACCEPTED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.



DATE: 4-30-21

DRAWN BY: CMK

CHECKED BY: AZG

REV. DATE: [Blank]

REV. DATE: [Blank]

REV. DATE: [Blank]

Sigma Prime Geosciences, Inc.

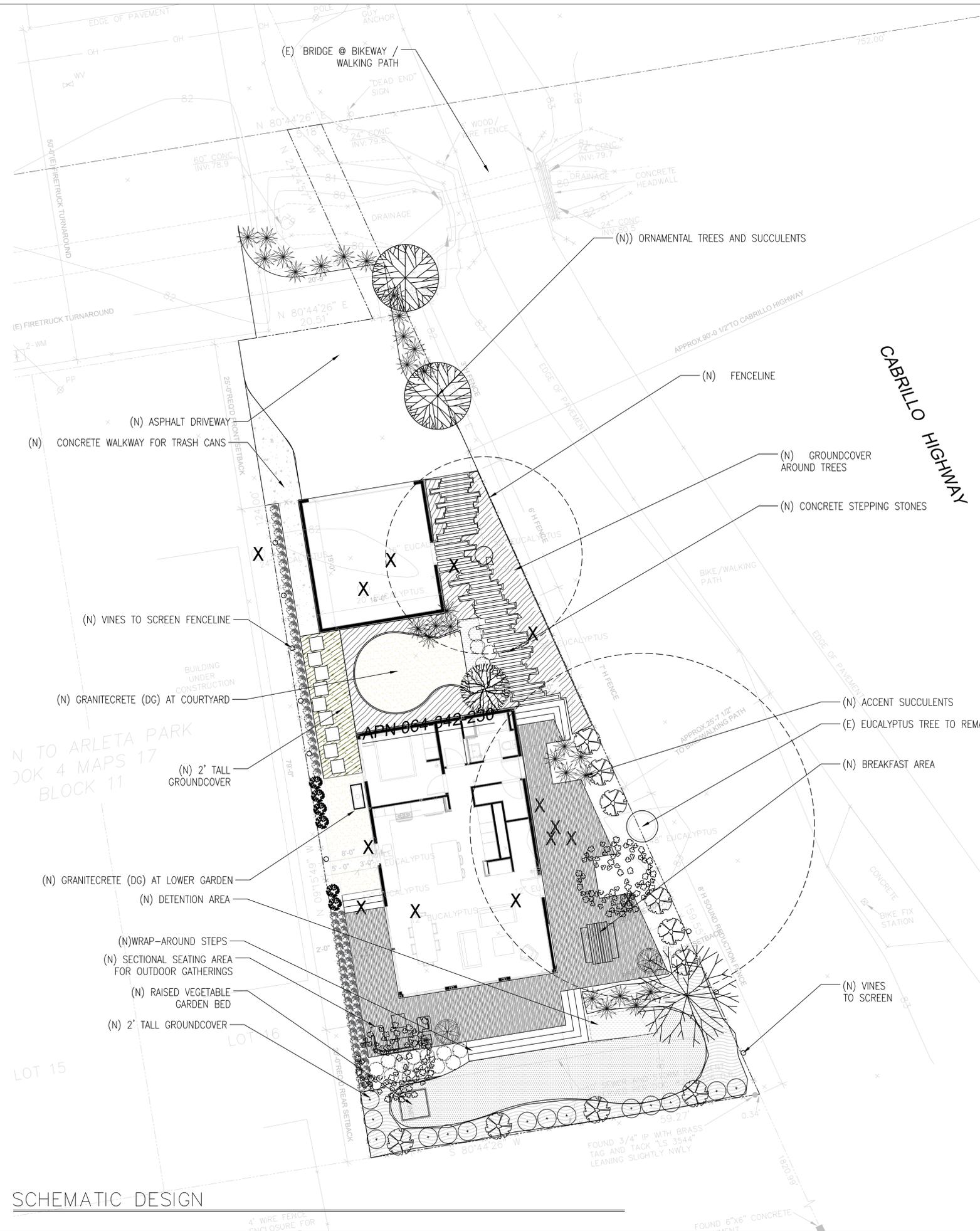
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(850) 728-8590 FAX: 728-3593

GRADING, DRAINAGE,
EROSION CONTROL PLAN

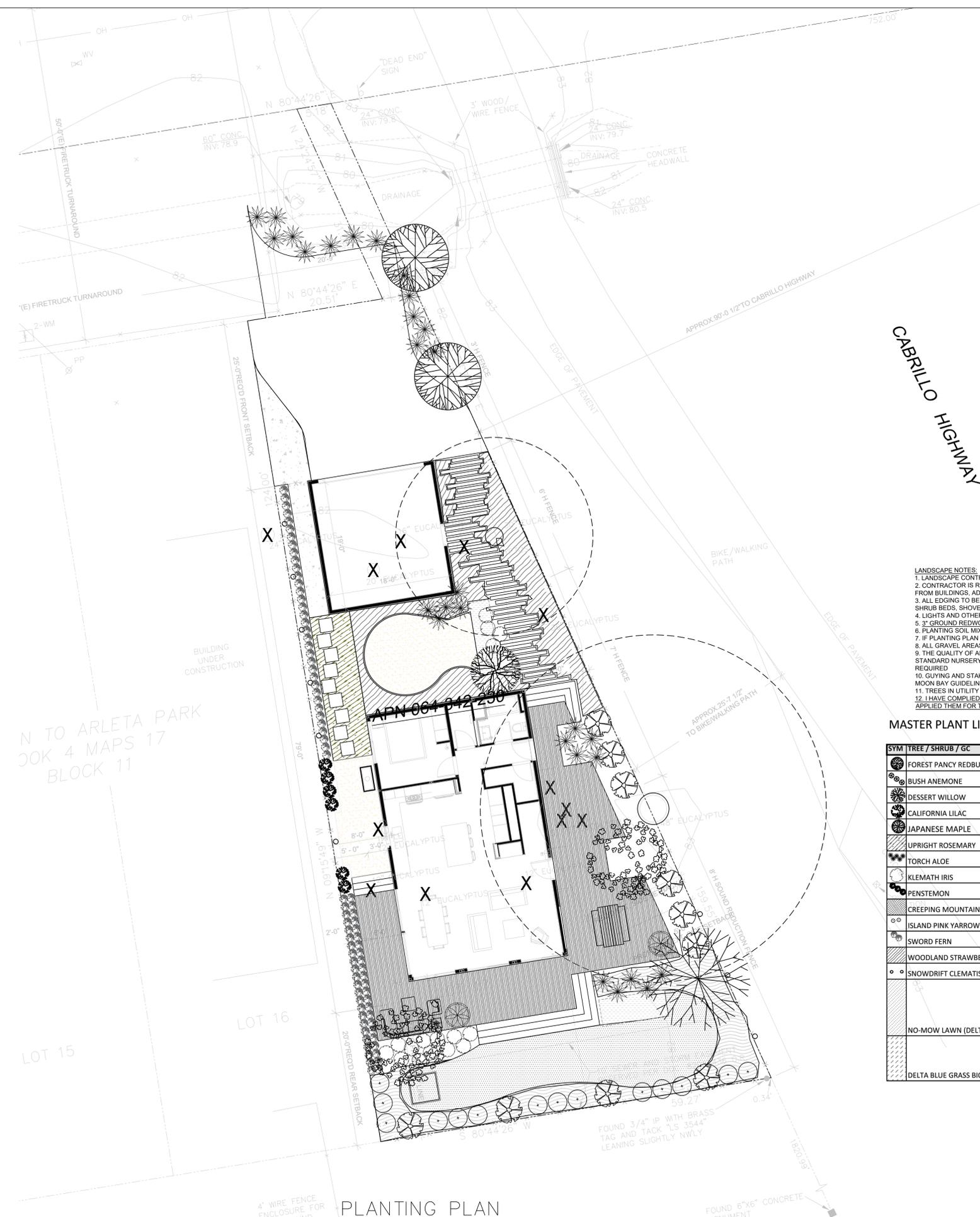
MAGNOLIA STREET
HALF MOON BAY, CALIFORNIA
APN: 064-342-230

SHEET

C-1



SCHEMATIC DESIGN



- LANDSCAPE NOTES:**
1. LANDSCAPE CONTRACTOR TO FINE GRADE ALL LANDSCAPED AREAS
 2. CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE AND PROVIDING POSITIVE DRAINAGE AWAY FROM BUILDINGS, ADJACENT PROPERTIES AND TOWARDS THE STREET
 3. ALL EDGING TO BE RYERSON STEEL EDGING TO CLEARLY DEFINE END OF GROUNDCOVER BEDS; ALONG SHRUB BEDS, SHOVEL CUT EDGE
 4. LIGHTS AND OTHER UTILITIES TO BE VERIFIED ON SITE BY CONTRACTOR
 5. 3\"/>

MASTER PLANT LIST:

SYM	TREE / SHRUB / GC	SCIENTIFIC NAME	SIZE	SPACING	EA / SF
☉	FOREST PANCY REDBUD	CERCIS CANDENSIS 'FOREST PANCY'	24" BOX	AS SHOWN	2
☉	BUSH ANEMONE	CARPENTERIA CALIFORNICA	15 GALLON	AS SHOWN	10
☉	DESSERT WILLOW	CHILOPSIS LINEARIS	15 GALLON	AS SHOWN	1
☉	CALIFORNIA LILAC	DARK STAR CEONOTHUS	15 GALLON	AS SHOWN	2
☉	JAPANESE MAPLE	ACER PALMATUM GREEN	24" BOX	AS SHOWN	1
☉	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	15 GALLON	AS SHOWN	90 SF
☉	TORCH ALOE	CANDELABRA ALOE	15 GALLON	AS SHOWN	29
☉	KLEMATH IRIS	TENAX IRIS	5 GALLON	36" O.C.	18
☉	PENSTEMON	PENSTEMON X HETEROPHYLLUS MARG. BOP	5 GALLON	48" O.C.	6
☉	CREeping MOUNTAIN LILAC	CEONOTHUS JOYCE COULTER	5 GALLON	48" O.C.	335 SF
☉	ISLAND PINK YARROW	ACHILLEA MILLEFOLIUM	5 GALLON	36" O.C.	14
☉	SWORD FERN	POLISTICHUM MUNITUM	5 GALLON	24" O.C.	81
☉	WOODLAND STRAWBERRY	FRAGARIA CHILOENSIS	5 GALLON	24" O.C.	335 SF
☉	SNOWDRIFT CLEMATIS	CLEMATIS ARMANDII 'SNOWDRIFT' ON WIRE	15 GALLON	AS SHOWN	10
☉	NO-MOW LAWN (DELTA BLUEGRASS)	Mow Free Combination of Fine Fescues Blend of sheeps, hard, and creeping red fescue that creates a meadow-like look • Molate fescue – Festuca rubra • Junegrass – Koleria macrantha	SOD	--	407 SF
☉	DELTA BLUE GRASS BIOFILTRATION SOD	Purple needlegrass – Nasella pulchra; Molate fescue – Festuca rubra; California barley – Hordeum californicum; Meadow barley – Hordeum brachyantherum	SOD	--	73 SF

PLANTING PLAN

N TO ARLETA PARK
OOK 4 MAPS 17
BLOCK 11



574 Magnolia SFR

Brittney Cozzolino, Associate Planner, presented the project.

AAC Clarifying Questions:

- What is the scope of review? A. staff confirmed that focus is site plan, but all comments are welcome.

The applicant provided additional information about the project.

AAC Discussion:

Site Plan:

- Generally, AAC members prefer Option D.
- All four options have a building envelope encroachment.
- Why isn't house pushed all the way back to rear setback line? Could do that with a version of Option D and create outside space courtyard between parking and the house while also diminishing the building envelope encroachment.
- Parking: Consider taking advantage of the zoning code for substandard lot to have a one-car garage and carport to deemphasize the appearance of the parking.
- Might be useful to increase deck on east side of the house.
- Clarify if courtyard area will have sound protection

Architectural Design:

- Architectural Approach: Need to make a statement and focus on design integrity of the chosen architectural approach.
- Details: Remain very concerned about the appearance; site is in a visual resource area, close to the trail, and very visible. Project design still needs a lot of work and needs a lot of detail. Applicant should look at examples of other houses on substandard lots and the quality of detail is very successful.
- Roof: 3/12 roof may be an improvement. However, dependent on architectural approach, alternate pitches may be more appropriate. With a traditional design, consider a steeper pitch with a hipped roof and adding eaves. If the design goes in a very contemporary direction, a flat roof could work better; e.g. a flat roof with a thick fascia and deep overhangs. Check on allowances for eaves to encroach in building envelope.
- Entry: Front porch and entry details are an opportunity to enhance the building.

The applicant shared images of the modular home details for "Connect Homes" which has a contemporary aesthetic.

The AAC responded that that this approach is encouraging but that articulation, overhangs, and numerous other details need to be included. In consideration of this additional information, the AAC confirmed that a contemporary approach is preferred and that a flat roof would therefore be acceptable provided that site planning and architectural details can be addressed.



3D VIEW OF REAR DECK
NO SCALE 5

PROJECT DESCRIPTION
1,920 SF 2-STORY FACTORY BUILT HCD APPROVED SINGLE FAMILY DWELLING WITH 380 SF DETACHED SITE BUILT GARAGE.

PARCEL INFORMATION
SITE ADDRESS: 574 MAGNOLIA ST, HALF MOON BAY, COUNTY OF SAN MATEO, CA 94019
PARCEL #: 064-342-230
ZONING: R-1 / B-1
LOT SIZE: 5,422 SF (SUBSTANDARD LOT)
CONSTRUCTION TYPE: TYPE V-B
SRA/WUI ZONE: YES
FLOOD PRONE URBAN AREA: NO
CLIMATE ZONE: 3
OCCUPANCY: R3

LOT COVERAGE:
MAX. LOT COVERAGE (2-STORY): 35% =1,898 SF
PROPOSED LOT COVERAGE: 1,340 SF (24.7%)
(TOTAL= a+b+c)

a) FACTORY BUILT 2-STORY HOUSE: 960 SF
b) SITE BUILT DECKS: 0 SF (EXCEPTION MUNICIPAL CODE 18.06.050.C)
c) SITE-BUILT GARAGE: 380 SF

FAR: 0.5 : 1
PROPOSED FAR: 0.42

HEIGHT:
HEIGHT LIMIT: 28'
PROPOSED HEIGHT: 22' - 4 1/2"

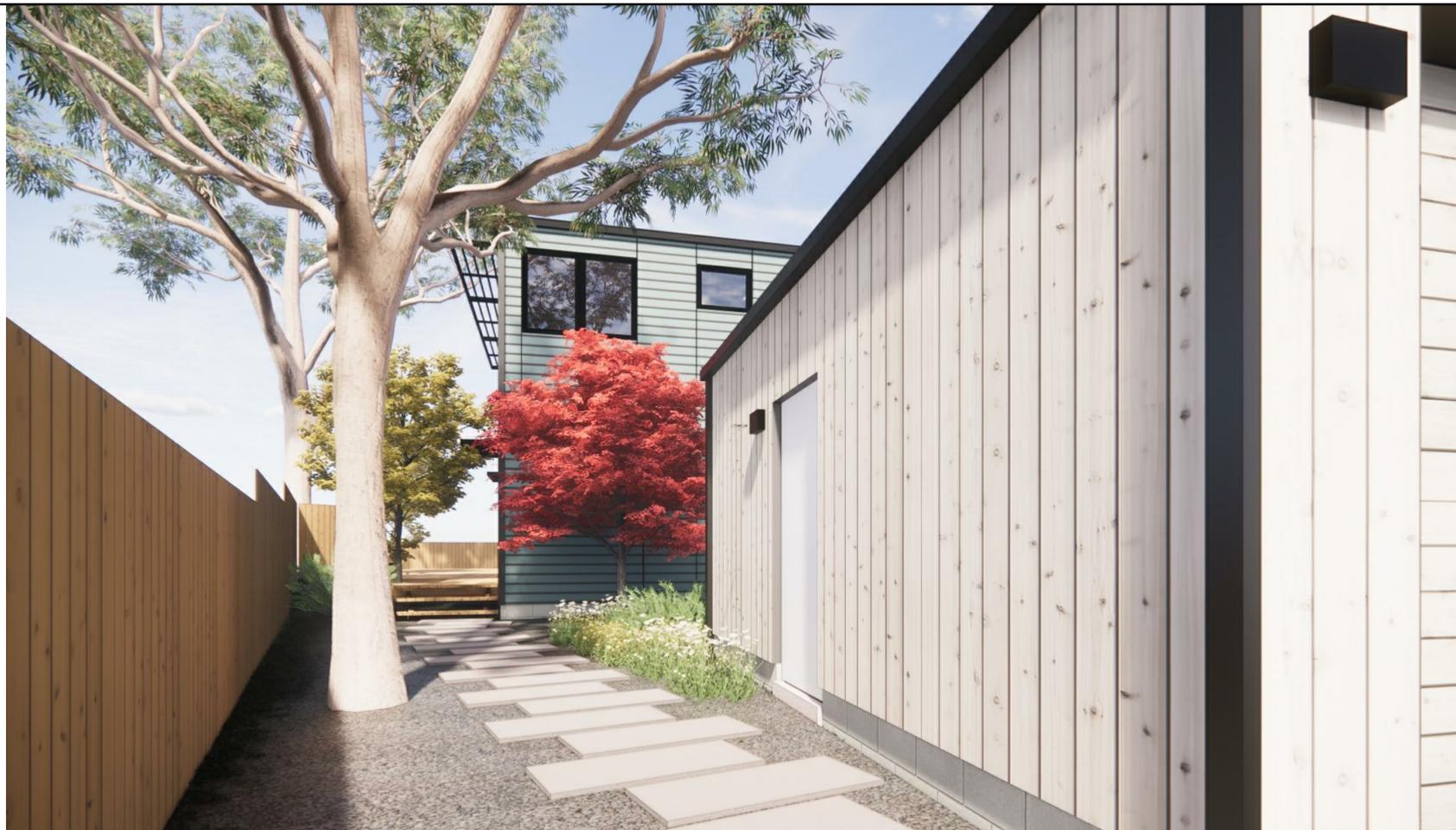
SETBACKS:
REQUIRED SETBACKS:
FRONT YARD: 25' - 0"
SIDE YARD: 5' - 0" (INT.) / 15' - 0" (EXT.)
REAR YARD: 20' - 0"

PROPOSED SETBACKS:
FRONT YARD: 25' - 0"
SIDE YARD: 5' - 0" (INT.) / 8' - 3" (EXT.)
REAR YARD: 23' - 0"

PARKING REQUIREMENTS: (1) COVERED SPACE, (1) CAR GARAGE SPACE
PARKING PROVIDED: (2) CAR GARAGE SPACES

PERVIOUS AREA:
TOTAL PERVIOUS AREA: 3,482 SF = 64% OF PROPERTY(5,422 SF)

PROJECT INFORMATION
NO SCALE 3



3D VIEW OF FRONT ENTRANCE
NO SCALE 4

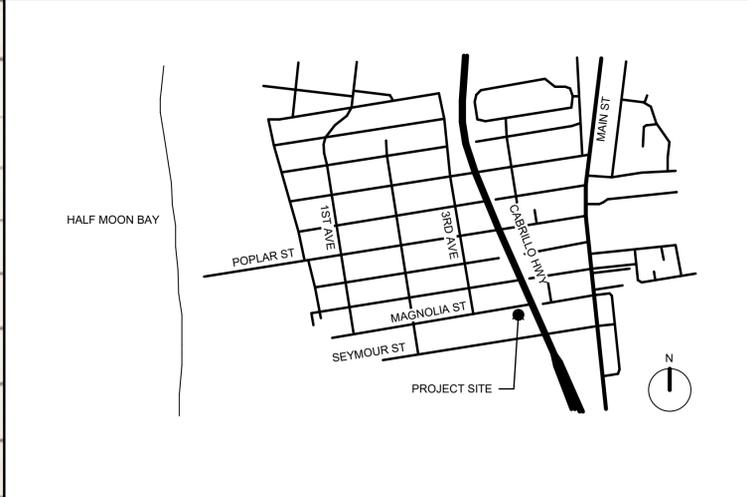
PLANNING PERMIT SET - SHEET INDEX

SHEET NO.	SHEET NAME
D-0.1	TITLE SHEET
D-1.0	SITE PLAN
D-1.1	MATERIALS
D-1.2	CONNECT-HOMES SAMPLE PROJECTS
D-2.0	FLOOR PLANS
D-2.1	ROOF PLAN
D-3.0	BUILDING ELEVATIONS
D-3.1	BUILDING ELEVATIONS
D-4.0	GRADING, DRAINAGE, AND EROSION CONTROL PLAN

LANDSCAPE - SHEET INDEX

SHEET NO.	SHEET NAME
LA-1.0	LANDSCAPE SCHEMATIC DESIGN
LA-1.1	LANDSCAPE PLANTING PLAN

SHEET INDEX
NO SCALE 2



VICINITY MAP
NO SCALE 1

CONNECT HOMES

706 S HILL ST, STE. 1060
LOS ANGELES, CA 90014
t: 310.622.9271
e: info@connect-homes.com

CONNECT 6T+CG: HAILU RESIDENCE
574 MAGNOLIA ST, HALF MOON BAY,
COUNTY OF SAN MATEO, CA 94019
PARCEL #: 064-342-230

DATE ISSUED
06.15.2021



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MODEL HOME
C6T+CG

SHEET SET

SHEET TITLE
TITLE SHEET

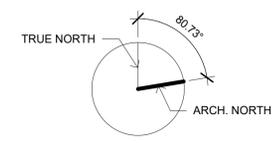
SHEET / SHEET / MODEL /
SET / NUMBER / HOME

D-0.1



COASTSIDE FIRE PROTECTION DISTRICT NOTE

FIRE ACCESS ROADS:
 THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS OF FIRE APPRATUS. THE CITY OF HALF MOON BAY DEPARTMENT OF PUBLIC WORKS, SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROAD S SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.





2 CONNECT 4 - OAKLAND, CA
NO SCALE 11



CONNECT 4 - SANTA MONICA, CA (DWELL JUL/AUG 2017)
NO SCALE 10



CONNECT 8 - SANTA ROSA, CA
NO SCALE 9



CONNECT 10 - WALNUT CREEK, CA
NO SCALE 8



CONNECT 10 - MALIBU, CA
NO SCALE 7



CONNECT 6 - MAR VISTA, CA
NO SCALE 6



CONNECT 6 - MAR VISTA, CA
NO SCALE 5



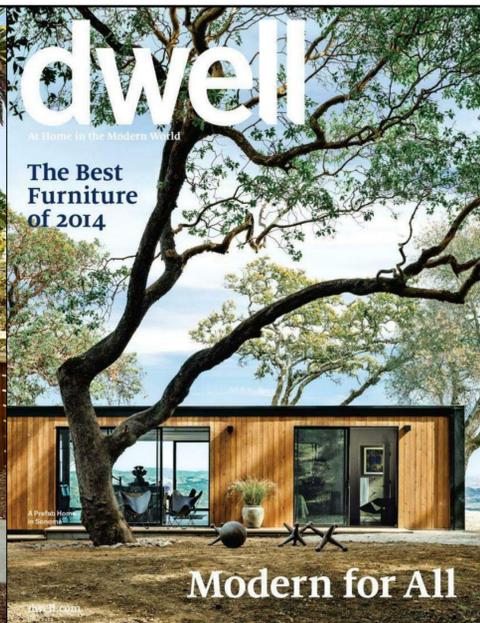
CONNECT 6 - CULVER CITY, CA
NO SCALE 4



CONNECT 10 - LOS ANGELES, CA
NO SCALE 3



CONNECT 8 - LOS ANGELES, CA
NO SCALE 2



CONNECT 5 - SONOMA, CA (DWELL JUN 2014 COVER)
NO SCALE 1

prefab
DESIGNED BY
Kelly Yencill Sanchez
MATTHEW WILLIAMS
Family Ties
In Santa Monica, a couple go all in on a prefab home that's flexible and accessible and unabashedly part of their neighborhood.
"Universal design and accessibility were important to the client," says Kelly Yencill Sanchez and Gordon Street of Connect Homes in regard to their design process with a "universal design" home. Since the home's model was approved in the month of July, the 1,800-sq-ft house took only 10 weeks to build, but the architects used the remaining time for design details, including a flexible and accessible bathroom.

CONNECT HOMES

706 S HILL ST, STE. 1060
LOS ANGELES, CA 90014
t: 310.622.9271
e: info@connect-homes.com

CONNECT 6T+CG: HAILU RESIDENCE
574 MAGNOLIA ST, HALF MOON BAY, COUNTY OF SAN MATEO, CA 94019
PARCEL #: 064-342-230

DATE ISSUED
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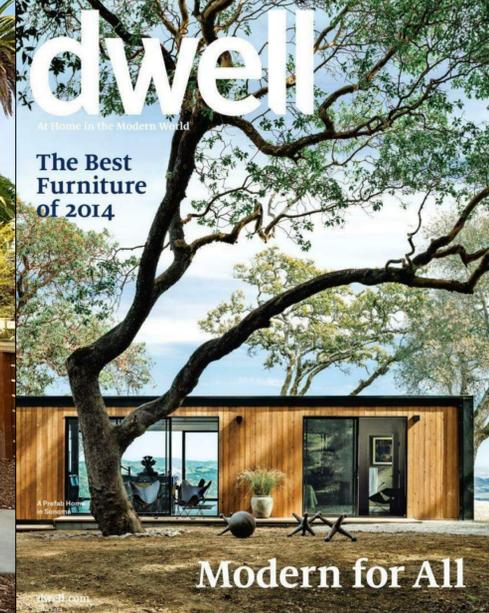
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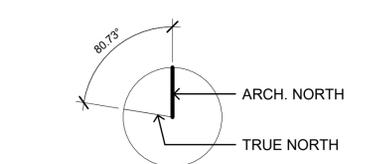
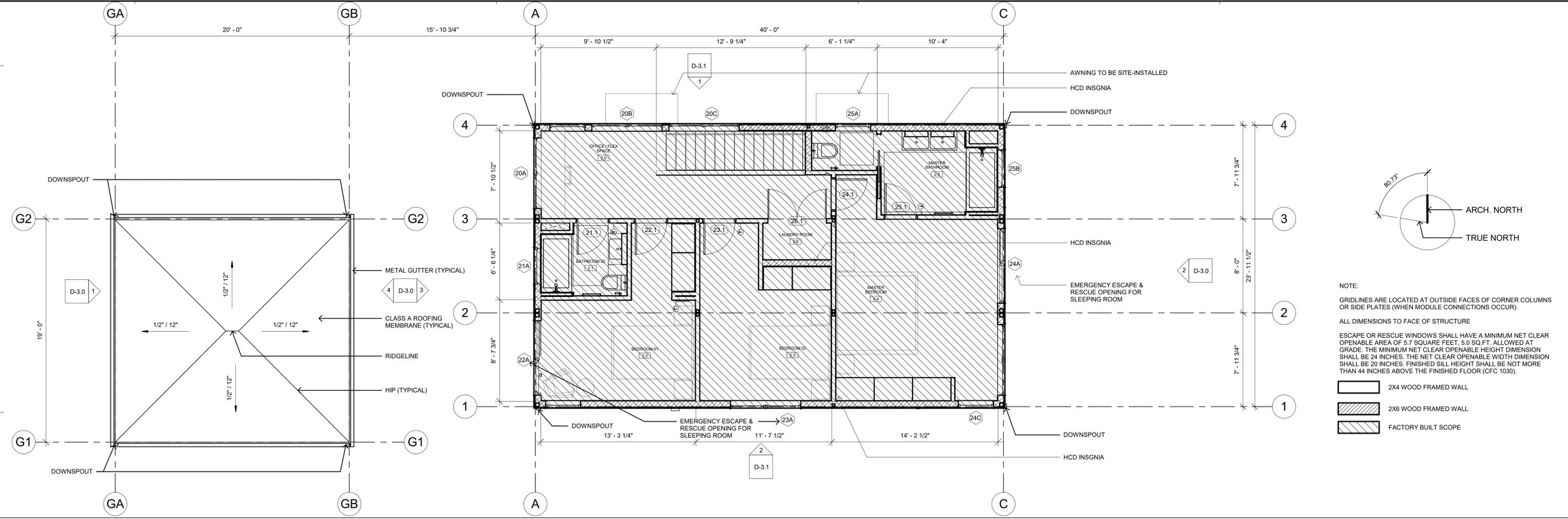
MODEL HOME
CGT+CG

SHEET SET
PLANNING PERMIT
SET

SHEET TITLE
CONNECT-HOMES
SAMPLE PROJECTS

SHEET, SHEET / MODEL / SET NUMBER / HOME
D-1.2

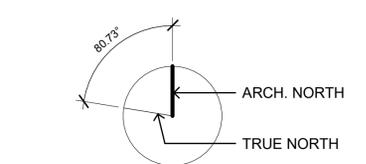
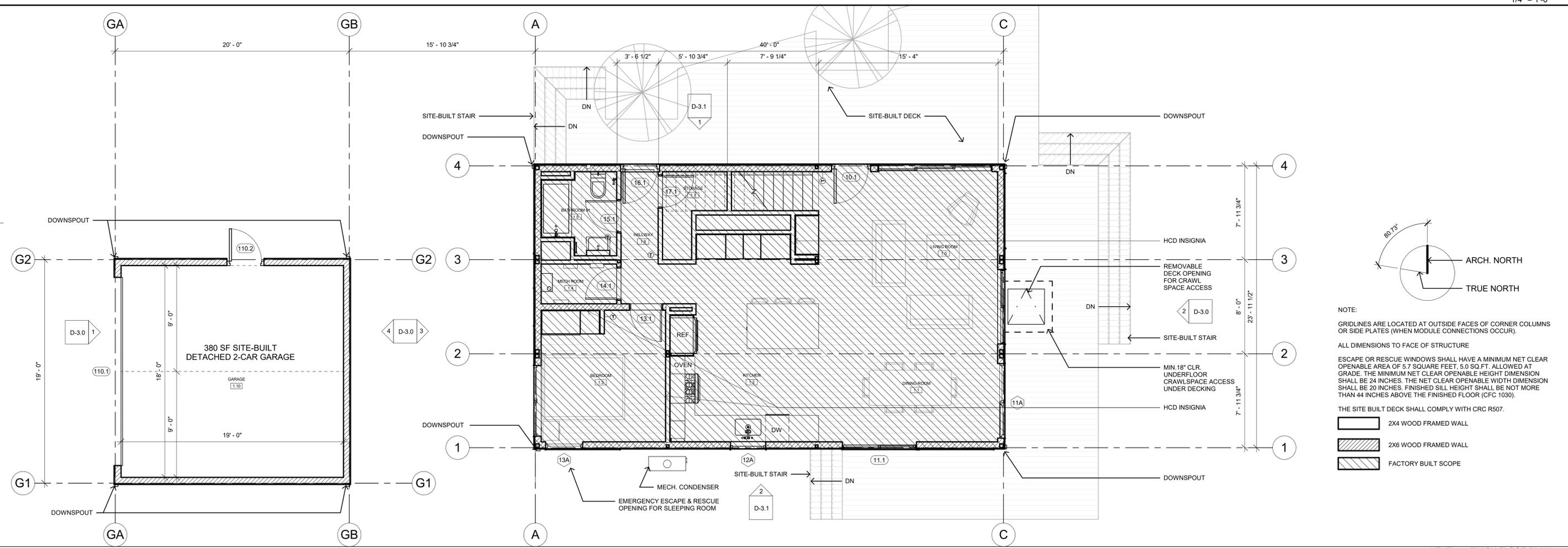




NOTE:
GRIDLINES ARE LOCATED AT OUTSIDE FACES OF CORNER COLUMNS OR SIDE PLATES (WHEN MODULE CONNECTIONS OCCUR).
ALL DIMENSIONS TO FACE OF STRUCTURE
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ.FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR (CFC 1030).

- 2X4 WOOD FRAMED WALL
- 2X6 WOOD FRAMED WALL
- FACTORY BUILT SCOPE

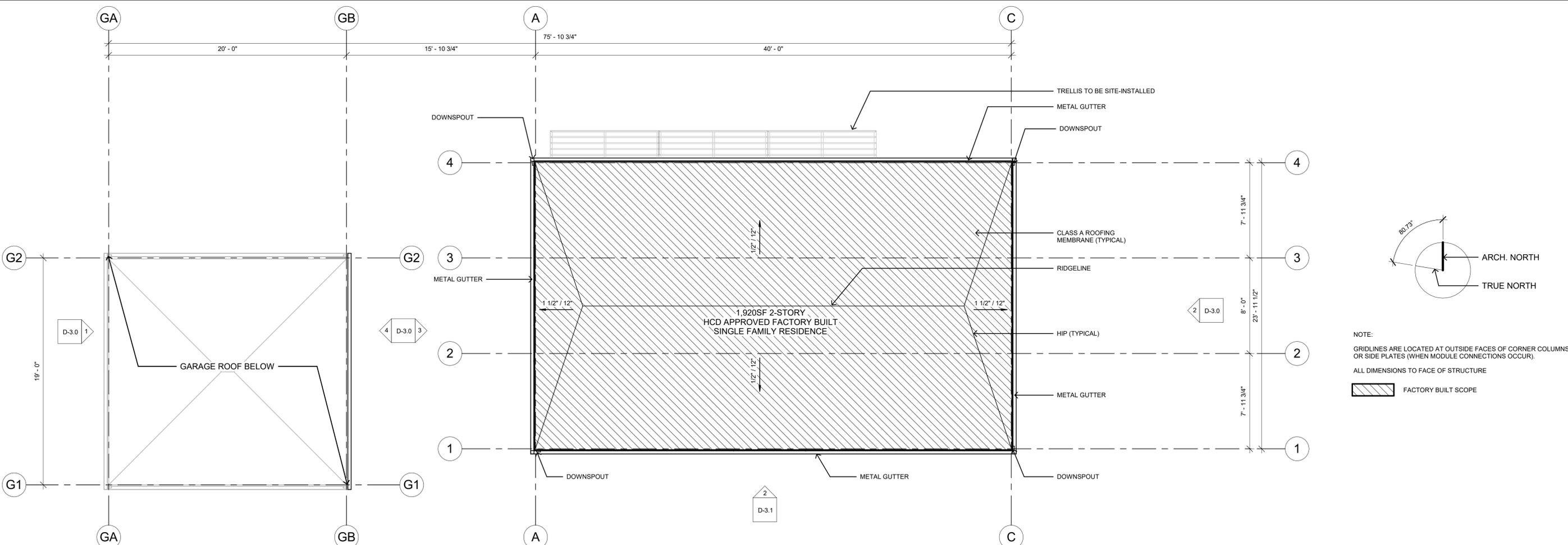
LEVEL 2 - FINISH FLOOR PLAN
1/4" = 1'-0" 2



NOTE:
GRIDLINES ARE LOCATED AT OUTSIDE FACES OF CORNER COLUMNS OR SIDE PLATES (WHEN MODULE CONNECTIONS OCCUR).
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- 2X4 WOOD FRAMED WALL
- 2X6 WOOD FRAMED WALL
- FACTORY BUILT SCOPE

LEVEL 1 - FINISH FLOOR PLAN
1/4" = 1'-0" 1



NOTE:
GRIDLINES ARE LOCATED AT OUTSIDE FACES OF CORNER COLUMNS OR SIDE PLATES (WHEN MODULE CONNECTIONS OCCUR).
ALL DIMENSIONS TO FACE OF STRUCTURE

FACTORY BUILT SCOPE



PROPOSED DOOR AND WINDOW ALUMINUM FRAMES:
DARK BRONZE ANODIZED
*BRAKE METAL TRIM
TO MATCH DOOR AND WINDOW TRIM



PROPOSED CEMENT BOARD SIDING:
HARDIEPLANK SMOOTH "AIRMAN BLUE"

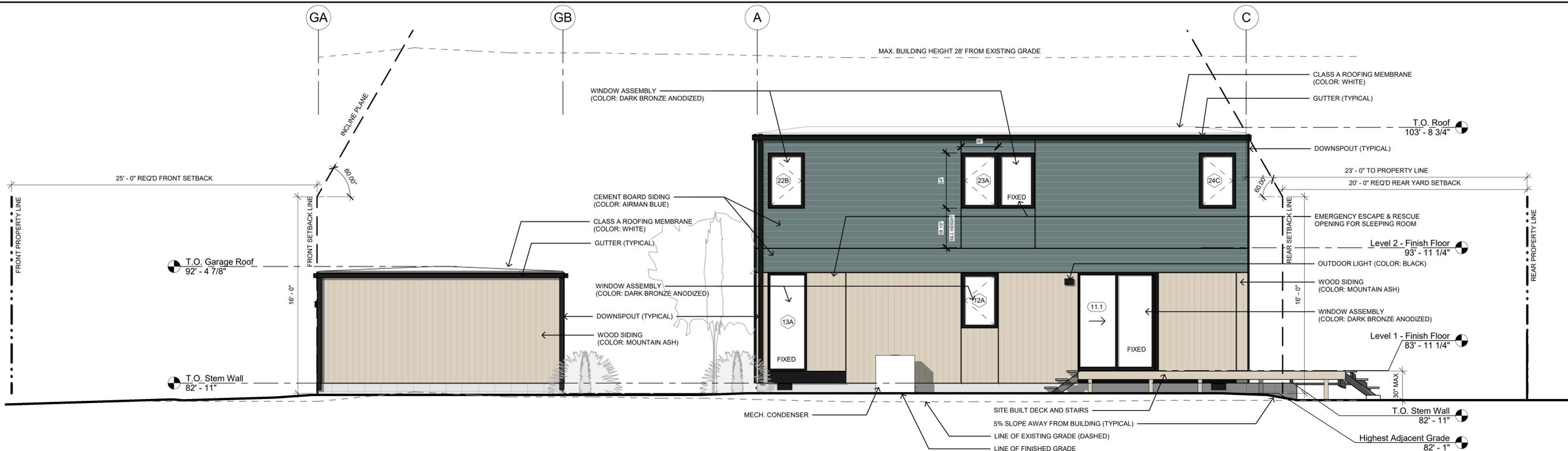


PROPOSED WOOD SIDING FOR FACTORY
BUILT RESIDENCE AND
DETACHED SITE BUILT GARAGE:
STK CEDAR WITH SHERMAN WILLIAMS
"MOUNTAIN ASH" SW3540 (OR SIMILAR),
SEMI-TRANSPARENT STAIN

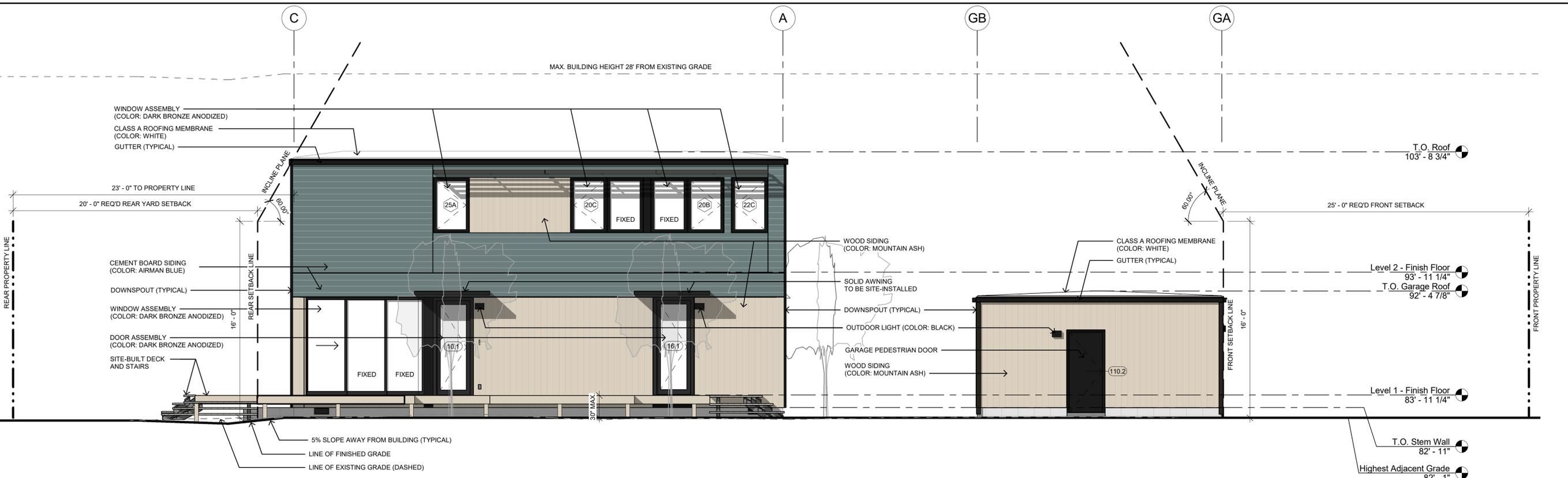
EXTERIOR MATERIALS
NO SCALE 3



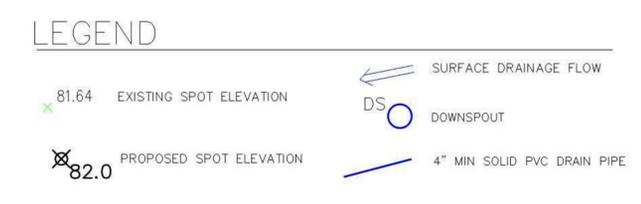
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D - WEST ELEVATION
1/4" = 1'-0" 2



D - EAST ELEVATION
1/4" = 1'-0" 1



- ### GENERAL NOTES
- PLANS PREPARED AT REQUEST OF: HAILEKIROS HAILU, OWNER
 - ELEVATION DATUM: NAVD 88
 - SITE SURVEYED BY BGT LAND SURVEYING, 9-14-18.
 - THIS IS NOT A BOUNDARY SURVEY.
 - AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY WORK IN THE CITY RIGHT OF WAY.
 - ALL EXISTING EUCLYPTUS TREES WILL BE REMOVED.

GRADING NOTES

CUT VOLUME : 30 CY (FOR FOUNDATION)
FILL VOLUME : 0 CY

ABOVE VOLUMES ARE APPROXIMATE.

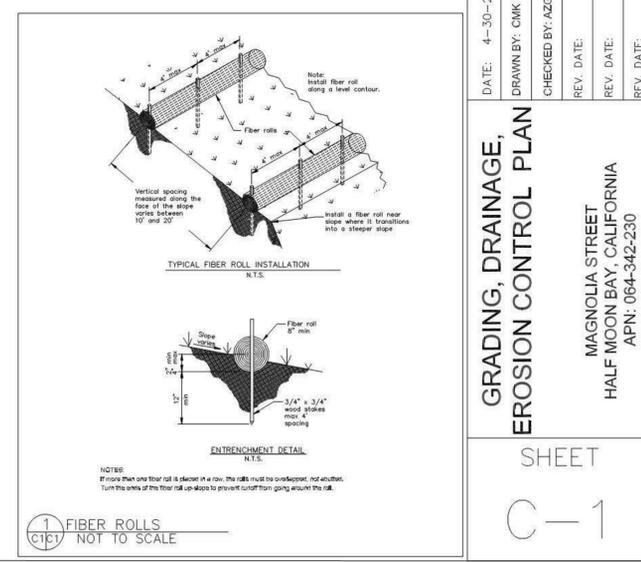
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

- ### DRAINAGE NOTES
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS, AND TO PREVENT AN INCREASE IN RUNOFF TO NEIGHBORING PROPERTIES.
 - DOWNSPOUTS AND TRENCH DRAIN AT GARAGE SHALL LEAD TO DETENTION BASIN, AS SHOWN.



- ### EROSION AND SEDIMENT CONTROL NOTES
- FIBER ROLL: INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL 1.
- FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.
 - ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF JUTE MATTING ON SLOPES.
 - ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.
 - BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
 - AREAS TO RECEIVE NATURAL VEGETATION SHALL BE SEEDED PRIOR TO OCT 15 WITH 75# PER ACRE OF ANNUAL RYEGRASS OR APPROVED SUBSTITUTE, AS PER LANDSCAPE PLAN. SEED MAY BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.

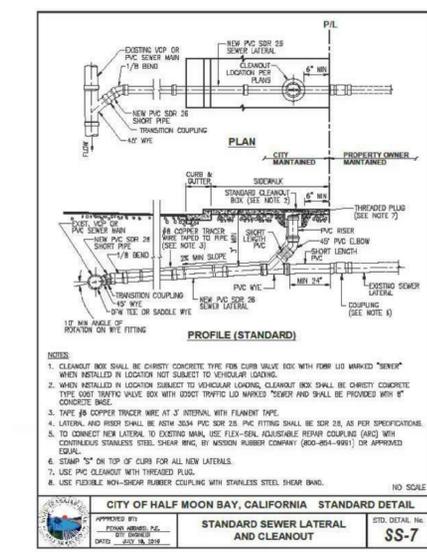
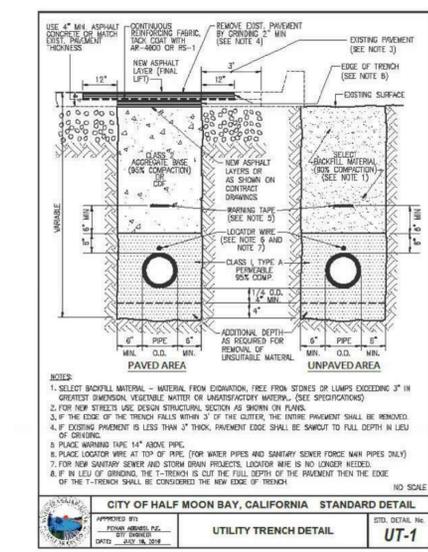


SEWER NOTES

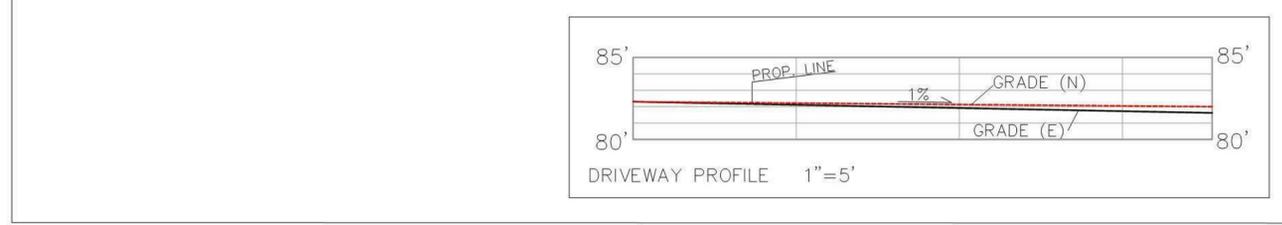
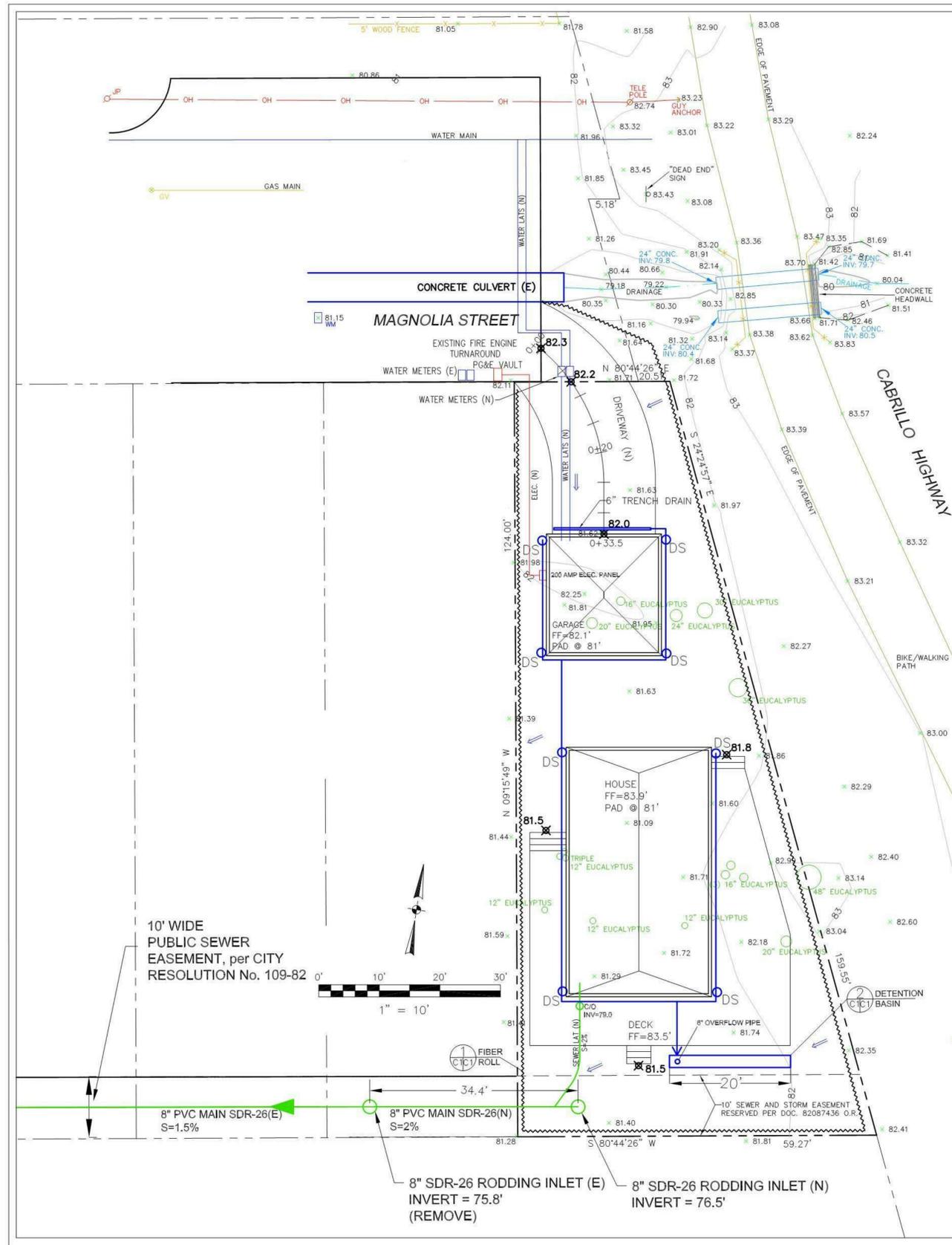
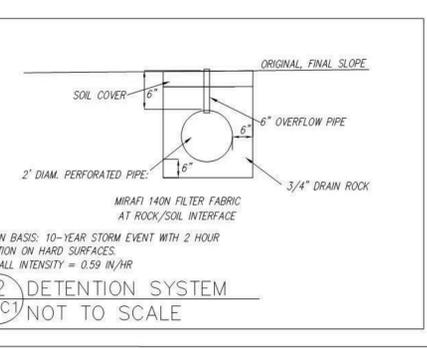
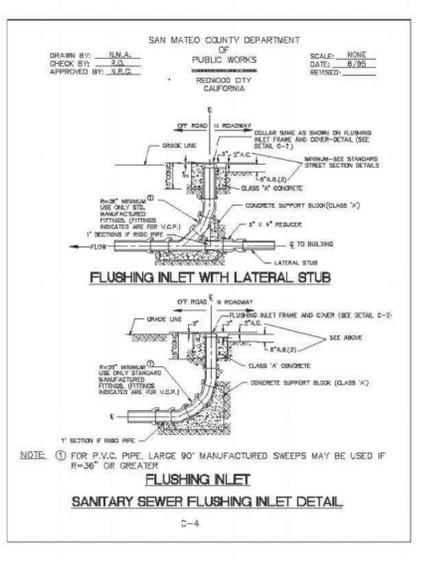
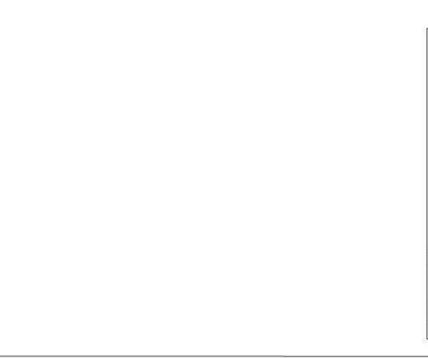
- MAINLINE EXTENSION OF 34.4 FEET PROPOSED, AS SHOWN.
- SIGMA PRIME ACCEPTS NO RESPONSIBILITY FOR THE OPERATION, OR MAINTENANCE OF SUCH PRIVATELY OWNED AND OPERATED SYSTEMS.
- ALL WORK SHALL COMPLY WITH THE UNIFORM PLUMBING AND BUILDING CODES.

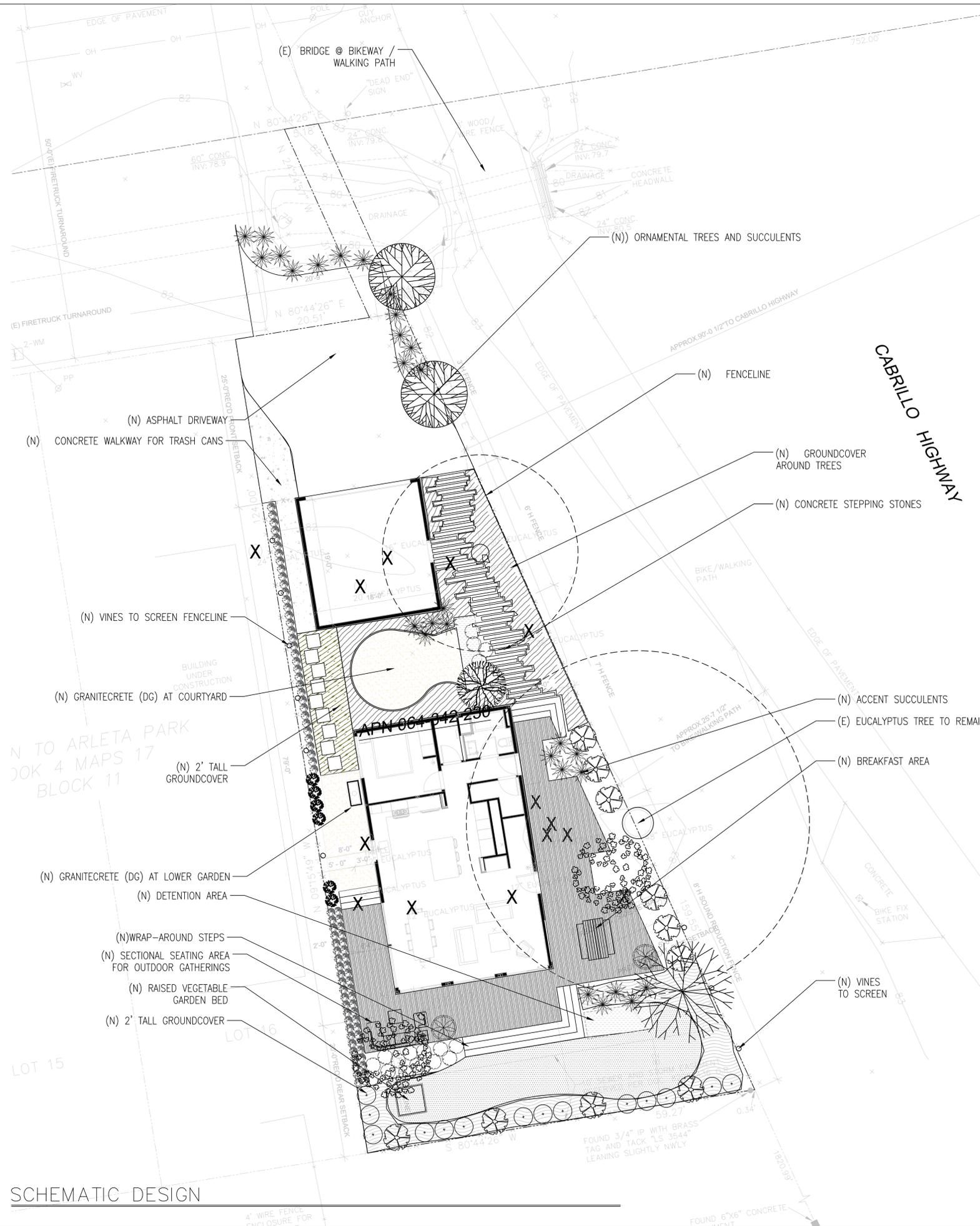
- ### CONSTRUCTION:
- CONSTRUCTION SHALL COMPLY WITH TECHNICAL SPECIFICATION SECTION 02730 - SANITARY SEWERS.
 - MATERIALS FOR SANITARY SEWERS SHALL BE PVC CONFORMING TO THE CITY'S TECHNICAL SPECIFICATION SECTION 02730 - SANITARY SEWERS.
 - SANITARY SEWER WILL BE REQUIRED TO PASS A LOW PRESSURE AIR TEST OR WATER TEST.
 - MINIMUM COVER OVER GRAVITY SEWERS SHALL BE (3) FEET.

THE MINIMUM VERTICAL CLEARANCE FROM OTHER UTILITIES SHALL BE ONE FOOT AND SEWERS MUST CLEAR UNDERNEATH WATER LINES.



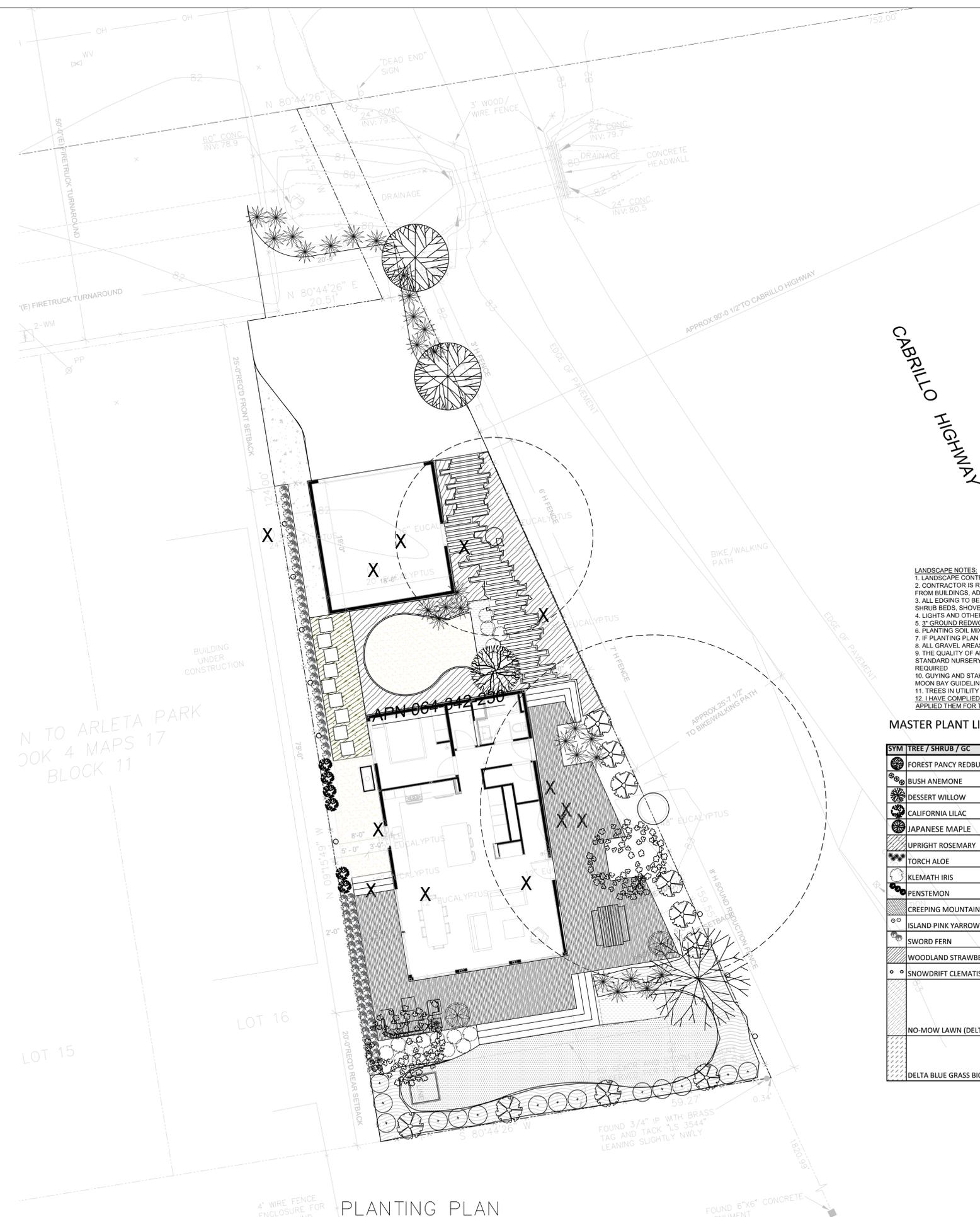
- ### GENERAL NOTES
- ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE CITY SEWER OR SEWER AUTHORITY MID-COASTAL (SWM).
 - THE APPROVAL OF THESE PLANS BY THE CITY SHALL BE INTERPRETED TO MEAN THAT THE SANITARY SEWER DESIGN SHOWN ON THESE PLANS MEETS THE CITY'S STANDARDS. THE CITY'S APPROVAL IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
 - THE CONTRACTOR SHALL CONTACT THE CITY AT (650) 228-4200 (2) WORKING DAYS IN ADVANCE OF BEING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE CITY INFORMED OF SCHEDULE FOR SANITARY SEWER WORK.
 - ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE CITY OR SWM SHALL BE REMOVED AND RECONSTRUCTED WITH INSPECTION.
 - THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
 - THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
 - THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
 - UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE MYLAR "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE CITY.
 - SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
 - PRIOR TO COMMENCING ANY SANITARY SEWER WORK IN OFF-SITE ELEMENTS THE CONTRACTOR SHALL PROVIDE THE CITY WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE NOTIFIED WELL IN ADVANCE OF THE DATE WORK IN THESE ELEMENTS IS TO BEGIN AND THAT THEY HAVE ACCEPTED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.





SCHEMATIC DESIGN





PLANTING PLAN