



**AGENDA
CITY OF HALF MOON BAY
COMMUNITY DEVELOPMENT DIRECTOR HEARING
&
ADMINISTRATIVE ACTIONS**

**WEDNESDAY, AUGUST 11, 2021
4:30 PM**

ALL REMOTE PUBIC HEARING

Community Development Director: Jill Ekas

In accordance with the San Mateo County Health Officer's March 16, 2020 and March 31, 2020 Shelter-In-Place Orders and Governor Newsom's Executive Order No-29-20, this will be a teleconference meeting without a physical location to help stop the spread of COVID-19. This meeting will be conducted entirely by remote participation, in compliance with the Governor's Executive Order N-29-20 allowing for deviation of teleconference rules required by the Ralph M. Brown Act. This meeting will be conducted via Zoom Webinar. Members of the public are welcome to login into the webinar as Attendees. During any public comment portions, attendees may use the "raise your hand" feature and will be called upon and unmuted when it is your turn to speak. Members of the public are welcome to submit comments (in accordance with the three-minute per speaker limit) via email to bjett@hmbcity.com prior to the meeting.

I. DIRECTOR HEARING ITEMS – No Public Hearing Items, no public hearing

II. ADMINISTRATIVE ACTION ITEMS (NO HEARING OR PRESENTATION REQUIRED):

In effort to allow public to stay involved during COVID, we will be opening a Live Zoom Webinar to allow public to participate in Administrative Action Meetings.

Please click the link below to join the webinar:

[Click here to join the Administrative Action Meeting](#)

Webinar ID: 811 8040 0542

Passcode: 726726

Phone: 1-408-638-0968, 81180400542#, *726726#

ITEM 1:

Project:	Administrative Coastal Development Permit to allow the conversion of an existing garage and part of an existing single-family residence to a 537 square-foot attached accessory dwelling unit.
File Number	PDP-21-046
Site Location	344 Kelly Avenue / APN: 056-111-040
Applicant/Property Owner	Edward Love / Eric DeBode
Project Planner	Brittney Cozzolino; bcozzolino@hmbcity.com ; 650-750-2014



SITE DATA:

APN: 05G-111-040
 ZONING: R-1-B-2
 OCCUPANCY GROUP: R-3/U
 TYPE OF CONSTRUCTION: V-B
 NUMBER OF STORIES: 1

PRE:
 PLN:
 BLD:

HALF MOON BAY CITY ZONING & BUILDING ORDINANCES

2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

OWNER : Eric DeBode
 344 Kelly Ave
 Half Moon Bay Ca

ARCHITECT: EDWARD C. LOVE, ARCHITECT
 720 MILL ST
 HALF MOON BAY, CA 94019

	EXISTING		PROPOSED		TOTAL		ALLOWED		
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	
LOT AREA	7500								
LOT COVERAGE	1868	24.9	0	0.0	1868	24.9	3750	50.0	
FLOOR AREA	Main House	1473	Main House	-142	Main House	1331			
	Garage	395	Garage	-395	ADU Area	537			
Total	1868	24.9	Total	0	0.0	Total	1868	24.9	
							Total	3750	50.0

SCOPE OF WORK:
 CONSTRUCTION OF NEW ACCESSORY DWELLING
 UNIT IN EXISTING GARAGE

NOTE:
 1.

Sheet List - CD

Sheet Number	Sheet Name	Rev
A001	Cover Sheet	1
A002	General Notes	
GB1	California Green Building Standards	
GB2	California Green Building Standards	
A003	Site Plan	
A101	Floor Plan	
A201	Elevation - South & West	
A202	Elevation - North & East	
A301	Section Views & Details	
A302	Sewer & ADU Separation Detail	
E101	Electrical & Lighting Plans	
E102	Title 24	

REVISIONS

07/12/21



EDWARD C. LOVE, ARCHITECT

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 Architect
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 edwardclovearch@gmail.com

Proposed ADU
 Eric DeBode
 344 Kelly Ave
 Half Moon Bay, CA

Cover Sheet



DATE: 07/19/2021

SCALE:

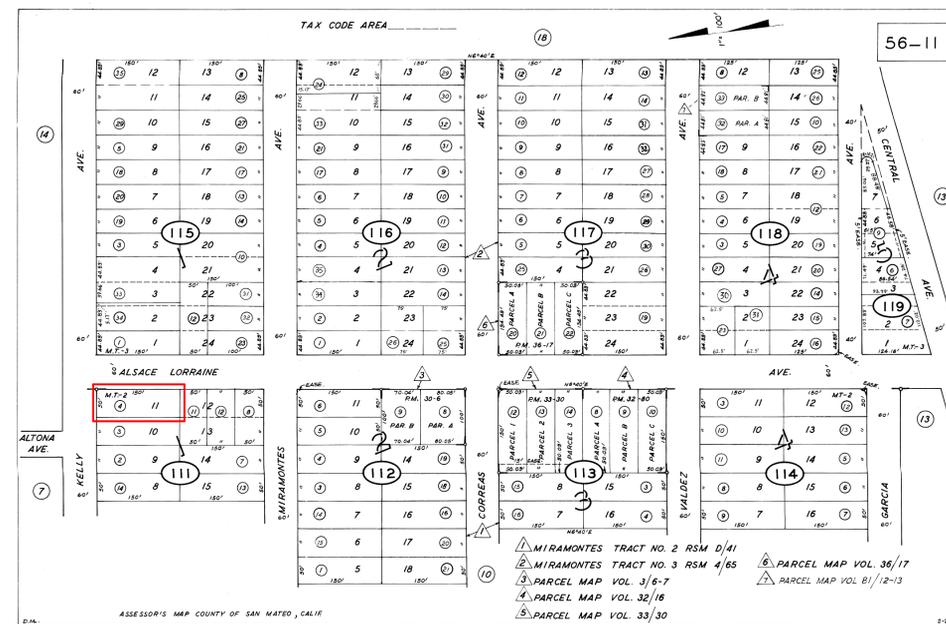
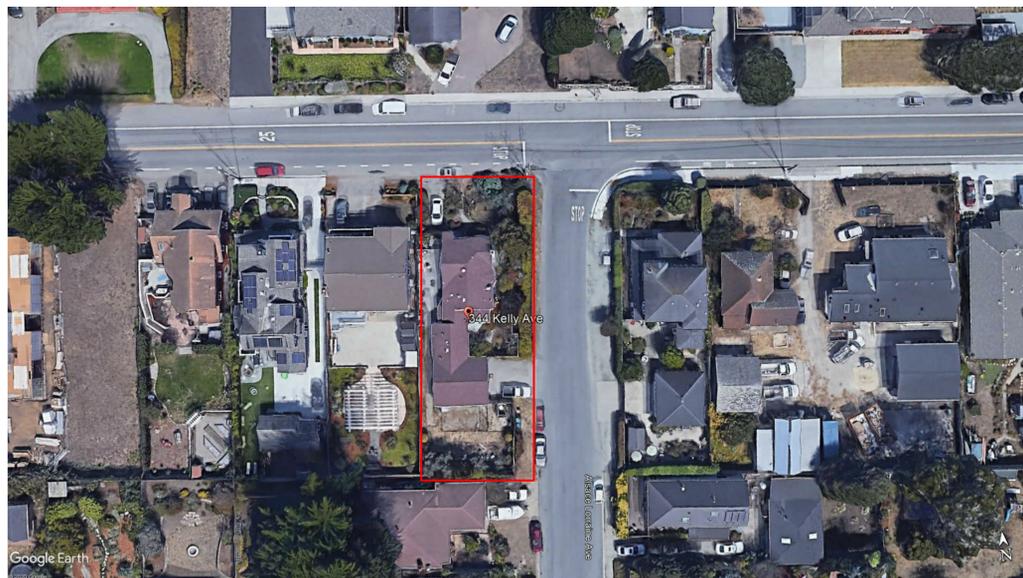
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SHEET:

A001

OF SHEETS



GENERAL NOTES

- BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, THE BIDDER SHALL VISIT THE SITE AND LEARN THE EXISTING CONDITIONS. HE SHALL EXAMINE THE PLANS AND SPECIFICATIONS AND BASE HIS BID ON THEM. DURING CONSTRUCTION, NO CHANGES FROM PLANS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE ARCHITECT AND OWNER. STRUCTURAL CHANGES MUST BE APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR (G.C.) SHALL OBTAIN AND PAY FOR ALL PERMITS (EXCEPT THOSE PAID FOR BY THE OWNER) AND LICENSES AND SHALL GIVE ALL NOTICES. THE G.C. IS REQUIRED TO COMPLY WITH ALL CURRENT CODES, ORDINANCES, & REGULATIONS RELATED TO THIS PROJECT. ANY CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS AND ORDINANCES SHALL BE IMMEDIATELY REFERRED TO THE ARCHITECT IN WRITING. THE G.C. FOR THIS WORK SHALL BE CURRENTLY LICENSED BY THE STATE OF CALIFORNIA. THE EMPLOYEES AND SUBCONTRACTORS USED BY THE G.C. TO CONSTRUCT AND FINISH THE WORK SHOWN ON THE PLANS MUST ALL BE SKILLED WORKMEN UNDER THE DIRECTIONS OF A COMPETENT FOREMAN. THE G.C. SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY AND ADJACENT PROPERTY FROM INJURY, DAMAGE, OR LOSS ARISING FROM THIS CONTRACT. SALES TAX SHALL BE PAID BY THE G.C. AND INCLUDED IN THE BID.
- THE G.C. SHALL, AT ALL TIMES, KEEP THE PREMISES AND STREETS FREE OF WASTE AND RUBBISH CAUSED BY THE WORK, AND AT COMPLETION, SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS AND EQUIPMENT AND LEAVE THE WORK 'BROOM CLEAN'. THE G.C. SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND SHALL MAINTAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE, ALL EXISTING UTILITIES AND CITY SERVICES DURING CONSTRUCTION. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED AS REQUIRED BY CODE AND/OR SOUND CONSTRUCTION PRACTICES. G.C. TO PROVIDE AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO OCCUPANT OR OWNER PER SECTION 4.410.1.
- THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO, OR DEDUCTING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY AND ADEQUATE RECORDS SHALL BE KEPT BY THE G.C. TO SUBSTANTIATE ANY ADDITIONAL CHARGES. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT DOCUMENTS.
- THE OWNER SHALL NOT BE LIABLE OR RESPONSIBLE FOR ANY ACCIDENT, LOSS, INJURY, OR DAMAGES HAPPENING OR ACCRUING DURING THE TERM OF THE PERFORMANCE OF THE WORK AND IN CONNECTION THEREWITH, TO PERSONS AND/OR PROPERTY. THE G.C. SHALL HAVE IN FULL FORCE AND EFFECT DURING THE LIFE OF THIS CONTRACT, FULL COVERAGE LIABILITY AND WORKMEN'S COMPENSATION INSURANCE, WHICH SHALL COMPLY WITH CALIFORNIA LAWS AND WILL NOT BE CANCELED OR CHANGED DURING THE TERM OF THIS CONTRACT WITHOUT NOTICE BEING GIVEN TO THE OWNER, AND SHALL REQUIRE ALL INTERMEDIATE AND SUBCONTRACTORS TO TAKE OUT AND MAINTAIN SIMILAR POLICIES OF INSURANCE. ALL SUCH POLICIES SHALL BE WITH INSURANCE COMPANIES ACCEPTABLE TO THE OWNER. UNLESS EXPRESSLY STATED OTHERWISE, THE OWNER WILL TAKE OUT AND CARRY A COMPREHENSIVE INSURANCE POLICY INCLUDING FIRE, EXTENDED COVERAGE, VANDALISM AND MALICIOUS MISCHIEF PROTECTING BOTH HIS INTEREST AND THAT OF THE G.C.
- IN ADDITION TO GUARANTEES CALLED FOR ELSEWHERE IN THESE SPECIFICATIONS, THE G.C. SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AFTER NOTICE OF COMPLETION IS FILED, AGAINST DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP, THAT IS DISCOVERED AND REPORTED WITHIN THAT PERIOD.
- IN GENERAL THE DRAWINGS WILL INDICATE DIMENSIONS, POSITION, TYPE OF CONSTRUCTION, SPECIFICATIONS, QUALITIES AND METHODS. ANY WORK INDICATED ON THE DRAWINGS, AND NOT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, SHALL BE FURNISHED AS THOUGH FULLY SET FORTH IN BOTH. WORK NOT PARTICULARLY DETAILED, MARKED, OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, MARKED OR SPECIFIED. THE LARGER THE SCALE OF THE DRAWING, THE MORE PRECEDENT, I.E.: 3 INCHES PER FOOT SCALE GOVERNS 1/4 INCH PER FOOT SCALE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS ARE APPROXIMATE AND MUST BE VERIFIED BY G.C. THE G.C. SHALL VERIFY, AND BE RESPONSIBLE FOR ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO, AND DURING, ALL PHASES OF WORK.
- IF ANY SUBCONTRACTOR FINDS ANY LACK OF INFORMATION, DISCREPANCY, AND/OR OMISSIONS IN THESE DRAWINGS, OR IF THE SUBCONTRACTOR IS UNCLEAR AS TO THE DRAWINGS' MEANING AND/OR INTENT, THE SUBCONTRACTOR SHALL CONTACT THE G.C., WHO SHALL THEN CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION AND/OR CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THE G.C. SHALL PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING- AND WALL-MOUNTED EQUIPMENT, HARDWARE, FIXTURES, AND ACCESSORIES.
- ALL PRODUCTS LISTED IN THESE DRAWINGS BY NER NUMBER SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTION FOR PRODUCTS LISTED SHALL ALSO HAVE AN NER-APPROVED WRITTEN EVALUATION REPORT AND BE APPROVED AND LISTED BY OTHER NATIONALLY-RECOGNIZED TESTING AGENCIES.
- EXTERIOR OPENABLE WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED. ALL OPEN JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, AND/OR WEATHERSTRIPPED TO LIMIT, OR ELIMINATE, AIR LEAKAGE.
- SEE STRUCTURAL SHEETS FOR STRUCTURAL MATERIALS, DIMENSIONS AND DETAILS.
- SEE ATTACHED TITLE 24 FORMS AND/OR CALCULATION FOR PROJECT ENERGY EFFICIENCY REQUIREMENTS.
- A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BAS OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER SECTION 4.505.2 AND R506.2.3.
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THE RELEVANT CODES MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING OFFICIAL WHICH SHOW SUBSTANTIAL CONFORMANCE.

- CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED PER CALGREEN 4.408.2 (OR IN ACCORDANCE WITH LOCAL ORDINANCE). MINIMUM OF 65% OF CONSTRUCTION WASTE SHALL BE DIVERTED FOR RECYCLING OR SALVAGE PER CALGREEN 4.408.1
- OPERATIONS & MAINTENANCE MANUALS SHALL BE PROVIDED TO BUILDING OWNER ADDRESSING ITEMS 1 - 10 IN CALGREEN 4.410.1
- DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPED PER CALGREEN 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- BATHROOM EXHAUST FANS SHALL COMPLY WITH CALGREEN 4.506.1. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN AND MUST BE CONTROLLED BY A HUMIDITY SENSOR.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (CALGREEN 4.406.1)
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (CALGREEN 4.504.1)
- ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CALGREEN 4.504.2.1)
- PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.2.2)
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND TOXIC COMPOUNDS (CALGREEN 4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.3)
- MINIMUM OF 80" FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN 4.504.4
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (CALGREEN 4.504.5)
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (CALLGREEN 4.505.2)
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (CALGREEN 4.505.3)

HERS INSPECTION ITEMS

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.

- Building-level Verifications:
- High quality insulation installation (QII)
 - IAQ mechanical ventilation

- Cooling System Verifications:
- None --

- HVAC Distribution System Verifications:
- Duct Sealing

- Domestic Hot Water System Verifications:
- None --

Smoke Detectors

As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.

Smoke alarm/detector are to be hard wired, interconnected, or with battery back up. Smoke alarms to be installed per manufacturers instruction and NFPA 72.

Windows

Escape or rescue windows shall have a minimum net clear openable area of 5.7 square ft (sqft), 5.0 sqft allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall not be more than 44 inches above the finished floor (CFC 1030).

Address Markers

New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 6 inches in height with a minimum of 1/2 inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, an additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective numbers/letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).

Roofing

As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current addition of the California Building Code.

Vegetation Management (LBA)

The Coastside Fire District Ordinance 2019-03, the 2019 California Fire Code 304.1.2:

A fuel break of defensible space shall be required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. this is neither a requirement nor an authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

Fire Access Roads

The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The city of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2019-03, and the California Fire Code shall set road standards. As per the 2019 CFC, Dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2019 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed of the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

Fire Hydrant

As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

Automatic Fire Sprinkler System (Fire Sprinkler plans will require a separate permit)

As per San Mateo County Building Standards and Coastside Fire District Ordinance 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or the City of HMB. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.

Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.

An exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe, and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Solar Photovoltaic Systems

These systems shall meet the requirements of the 2019 CFC Section 605.11.

REVISIONS



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Proposed ADU
Eric DeBode
344 Kelly Ave
Half Moon Bay, CA

General Notes



DATE: 07/19/2021

SCALE:

DRAWN: GMH

JOB: DEBODE

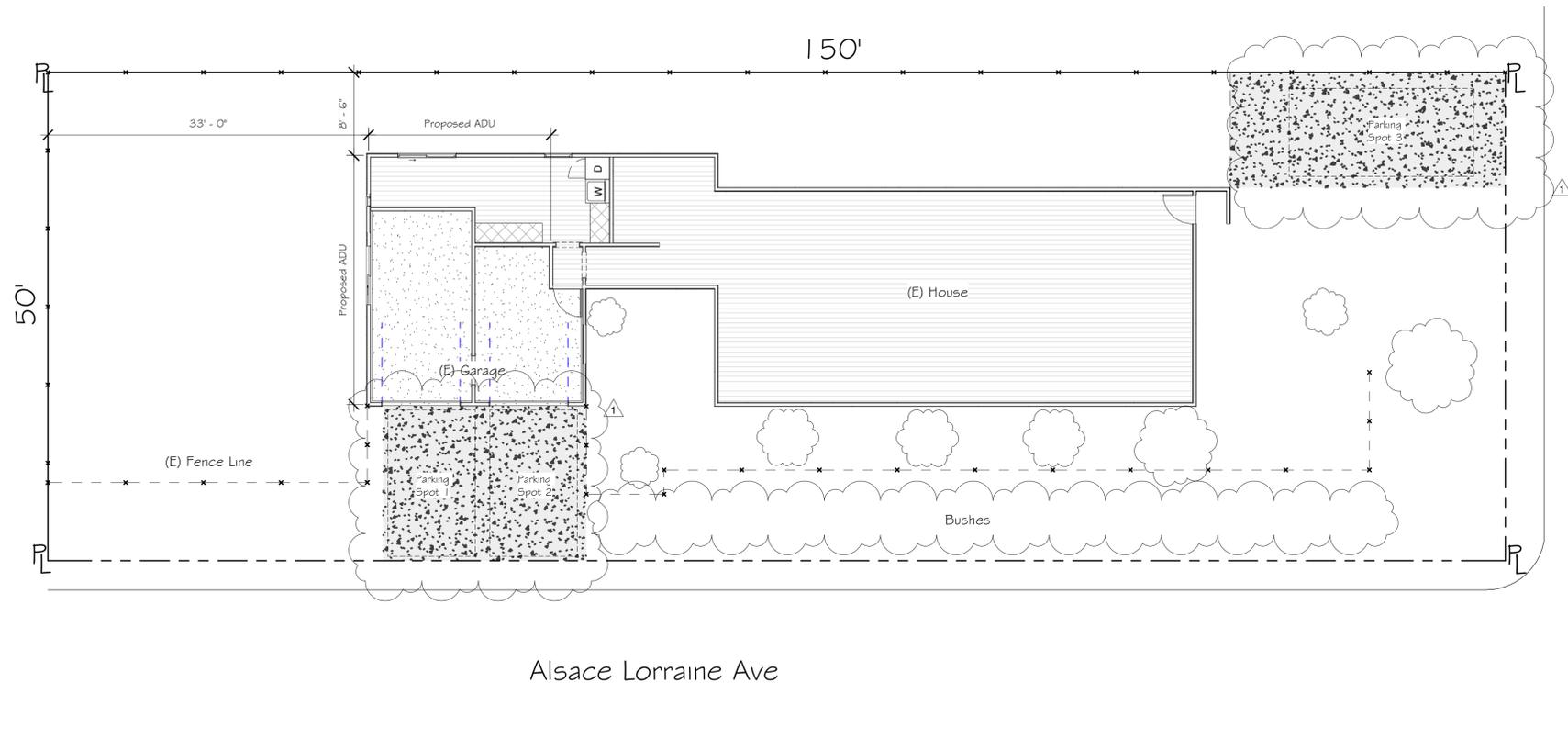
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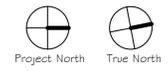
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① Site
1/8" = 1'-0"

Existing fences assumed
to be on property lines



REVISIONS



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Site Plan



DATE: 07/19/2021
 SCALE: 1/8" = 1'-0"
 DRAWN: CJP
 JOB: DEBODE

SHEET:
A003
 OF SHEETS



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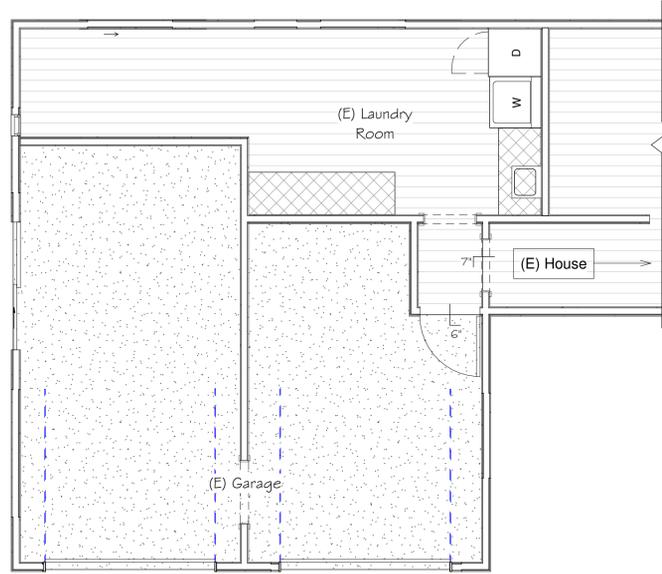
Floor Plan



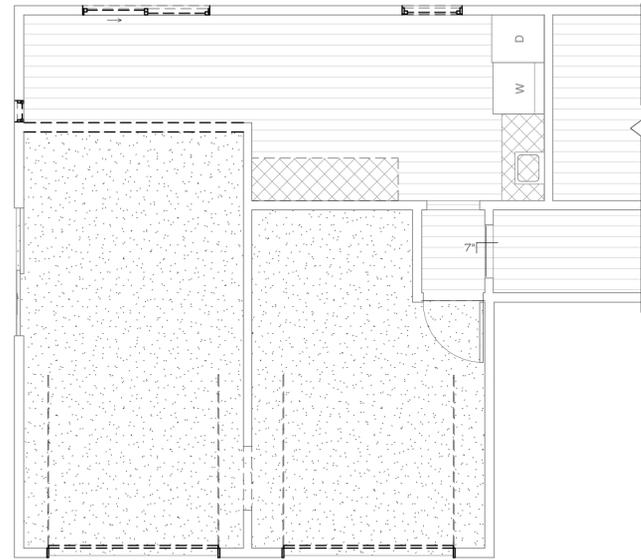
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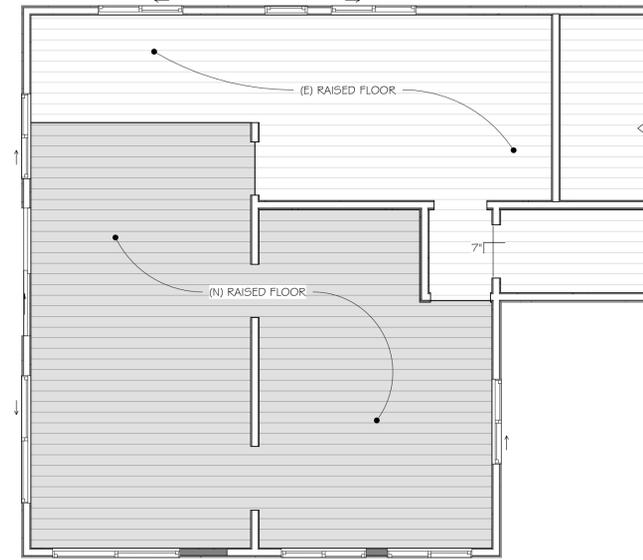
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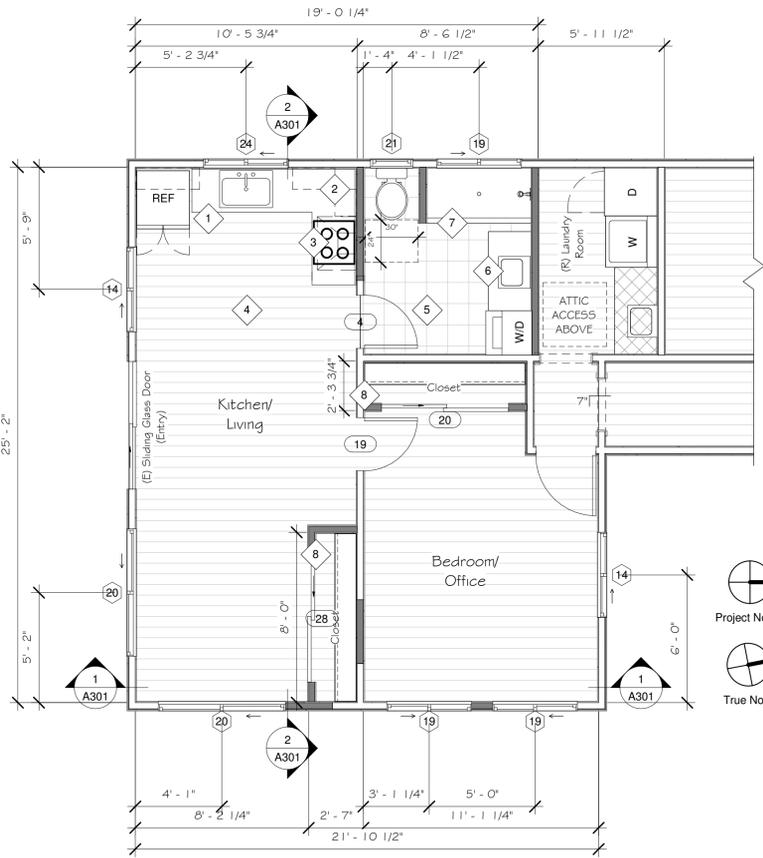
1 Level 1 - Existing
1/4" = 1'-0"



2 Level 1 - Demo
1/4" = 1'-0"



5 Level 1 - Raised Floor
1/4" = 1'-0"



3 Level 1 - New
1/4" = 1'-0"

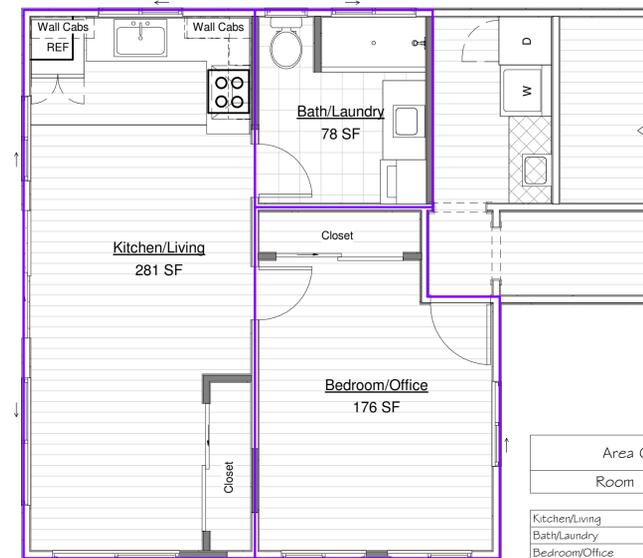
- 1 COUNTER TOP OVER BASE CABINETS
- 2 UPPER CABINETS
- 3 HOOD OVER RANGE
- 4 VINYL PLANK OR HARDWOOD FLOORING. NEW BUILT UP FLOOR TO MATCH HEIGHT OF EXISTING LAUNDRY ROOM
- 5 VINYL FLOORING
- 6 VANITY OVER BASE CABINET
- 7 FIBERGLASS OR TILE SHOWER ENCLOSURE (MAY IMPACT WINDOW, CONFIRM W/ OWNER)
- 8 SHELF AND POLE

Door Schedule

Mark	Room	Type	Width	Height	Comments
4	Bath	Hollow Core	2' - 6"	6' - 8"	
19	Office	Hollow Core	2' - 6"	6' - 8"	
20	Office	Bi-pass	6' - 0"	6' - 8"	
28	Bedroom	Bi-pass	6' - 0"	6' - 8"	

Window Schedule

Type Mark	Room	Type	Width	Height	Sill Height	Tempered Glass	Comments
19	Bathroom	Slider	4' - 0"	2' - 0"	5' - 0"	Yes	
21	Bathroom	Awning	2' - 0"	2' - 0"	5' - 0"	No	Frosted
24	Kitchen	Slider	4' - 0"	3' - 6"	3' - 6"	No	
14	Living Room	Slider	4' - 0"	4' - 0"	3' - 0"	No	
20	Living Room	Slider	6' - 0"	2' - 0"	5' - 0"	No	
20	Living Room	Slider	6' - 0"	2' - 0"	5' - 0"	No	Frosted
14	Office	Slider	4' - 0"	4' - 0"	3' - 0"	No	Egress
19	Office	Slider	4' - 0"	2' - 0"	5' - 0"	No	
19	Office	Slider	4' - 0"	2' - 0"	5' - 0"	No	



Area Calculation

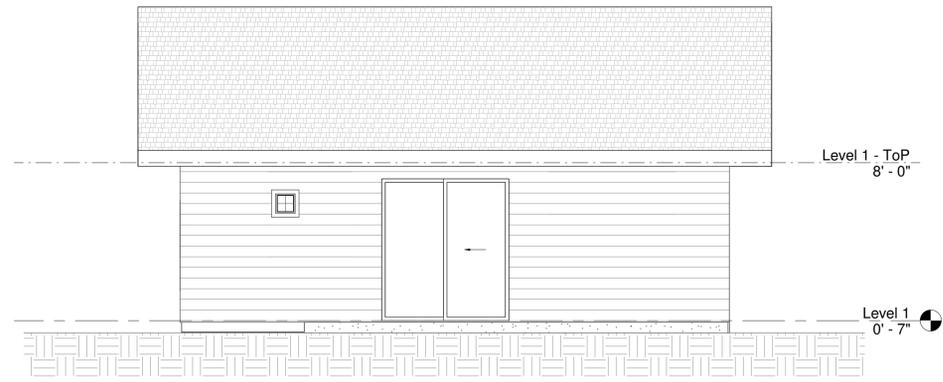
Room	Area
Kitchen/Living	281 SF
Bath/Laundry	78 SF
Bedroom/Office	176 SF

4 Area Plan
1/4" = 1'-0"

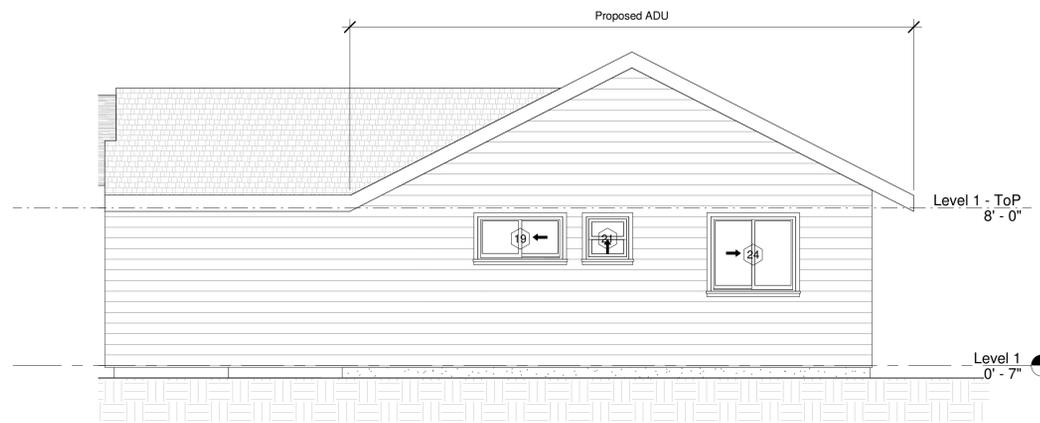
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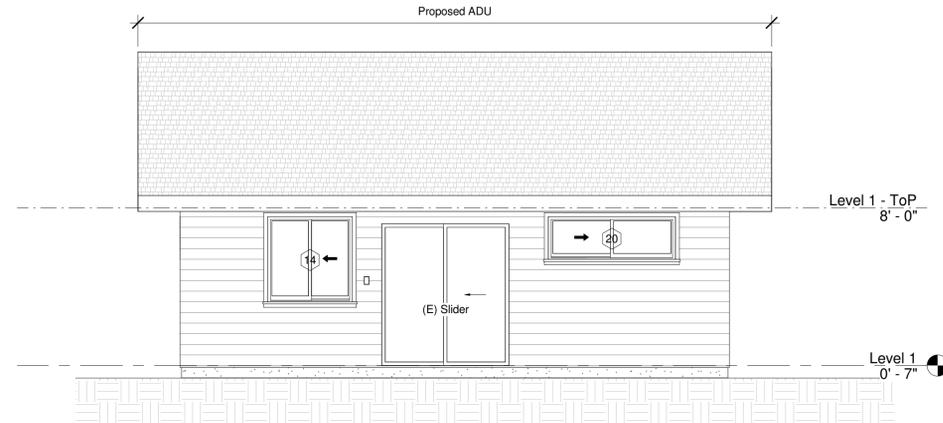
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1/4" = 1'-0"



3 South - Existing
1/4" = 1'-0"



2 West - Proposed
1/4" = 1'-0"



4 South - Proposed
1/4" = 1'-0"

REVISIONS



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Proposed ADU
Eric DeBode
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Elevation - South &
West



DATE: 07/19/2021

SCALE: 1/4" = 1'-0"

DRAWN: CJP

JOB: DEBODE

SHEET:

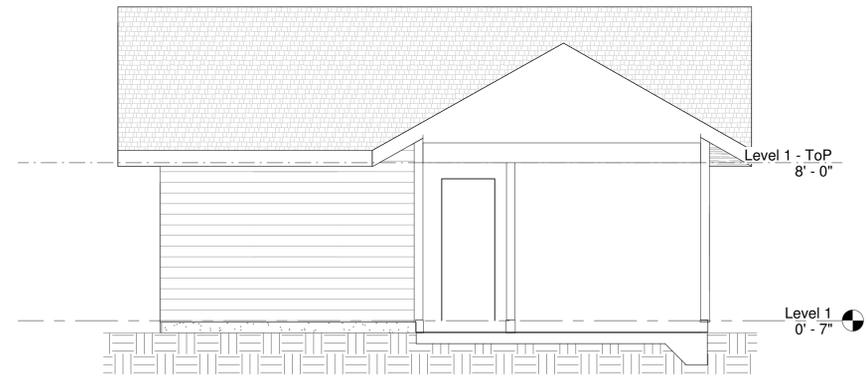
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OF SHEETS

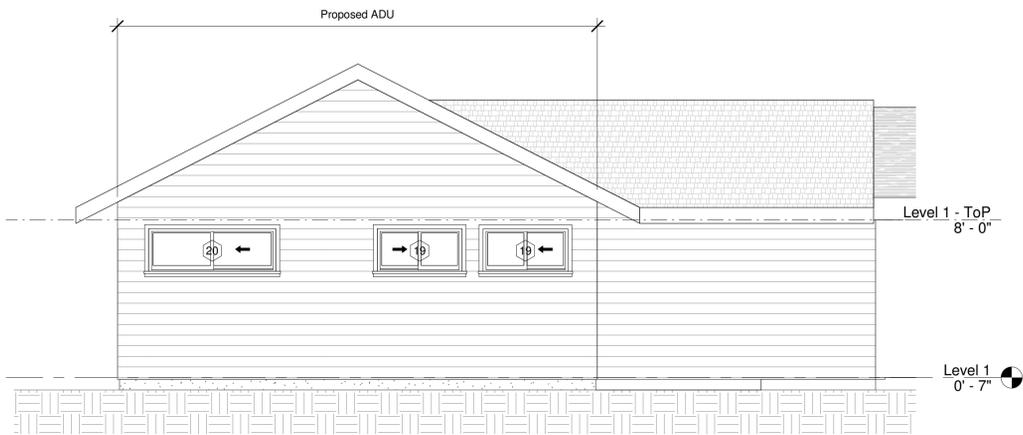
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1 East - Existing
1/4" = 1'-0"



3 North - Existing
1/4" = 1'-0"



2 East - Proposed
1/4" = 1'-0"



4 North - Proposed
1/4" = 1'-0"

REVISIONS



EDWARD C. LOVE, ARCHITECT

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Architect
720 MILL STREET
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(650) 728-7615
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Proposed ADU
Eric DeBode
344 Kelly Ave
Half Moon Bay, CA

Elevation - North &
East



DATE: 07/19/2021

SCALE: 1/4" = 1'-0"

DRAWN: CJP

JOB: DEBODE

SHEET:

A202

OF SHEETS

REVISIONS



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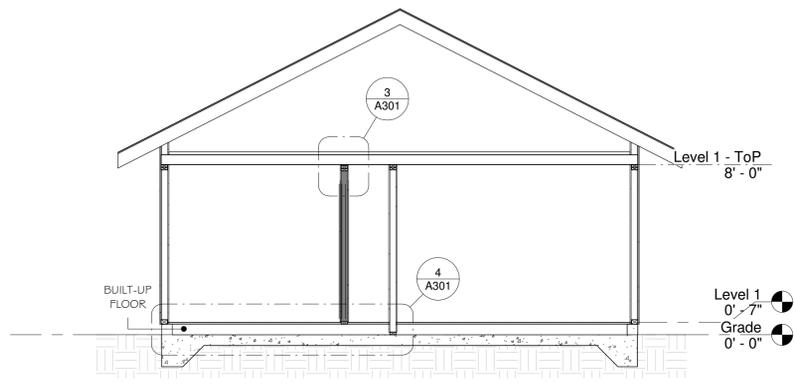
Proposed ADU
Eric DeBode
344 Kelly Ave
Half Moon Bay, CA

Section Views &
Details

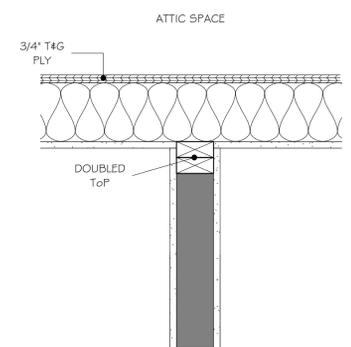


DATE: 07/19/2021
SCALE: As indicated
DRAWN: CJP
JOB: DEBODE

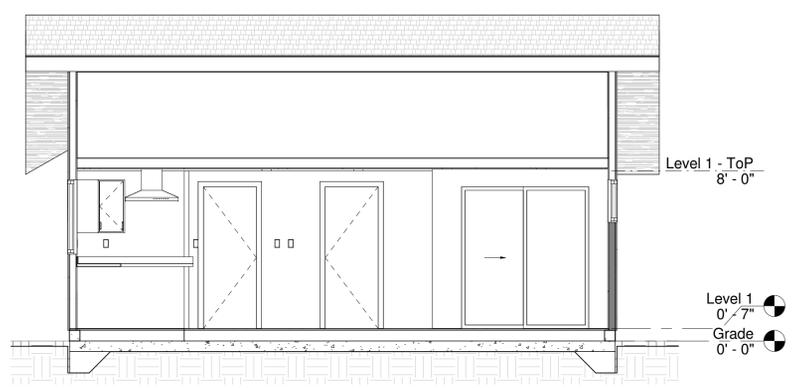
SHEET:
A301
OF SHEETS



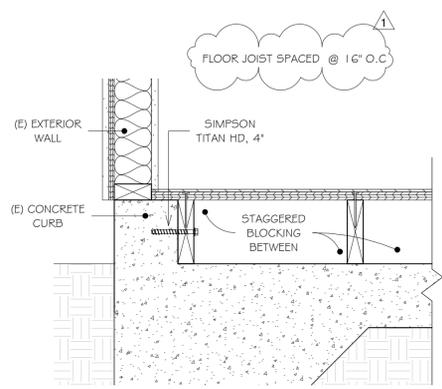
1 Section 1
1/4" = 1'-0"



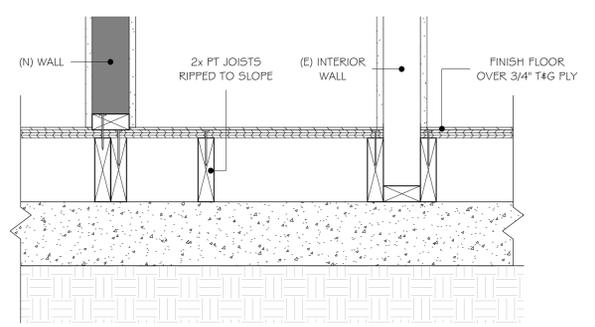
3 Detail - New Wall
1 1/2" = 1'-0"



2 Section 2
1/4" = 1'-0"

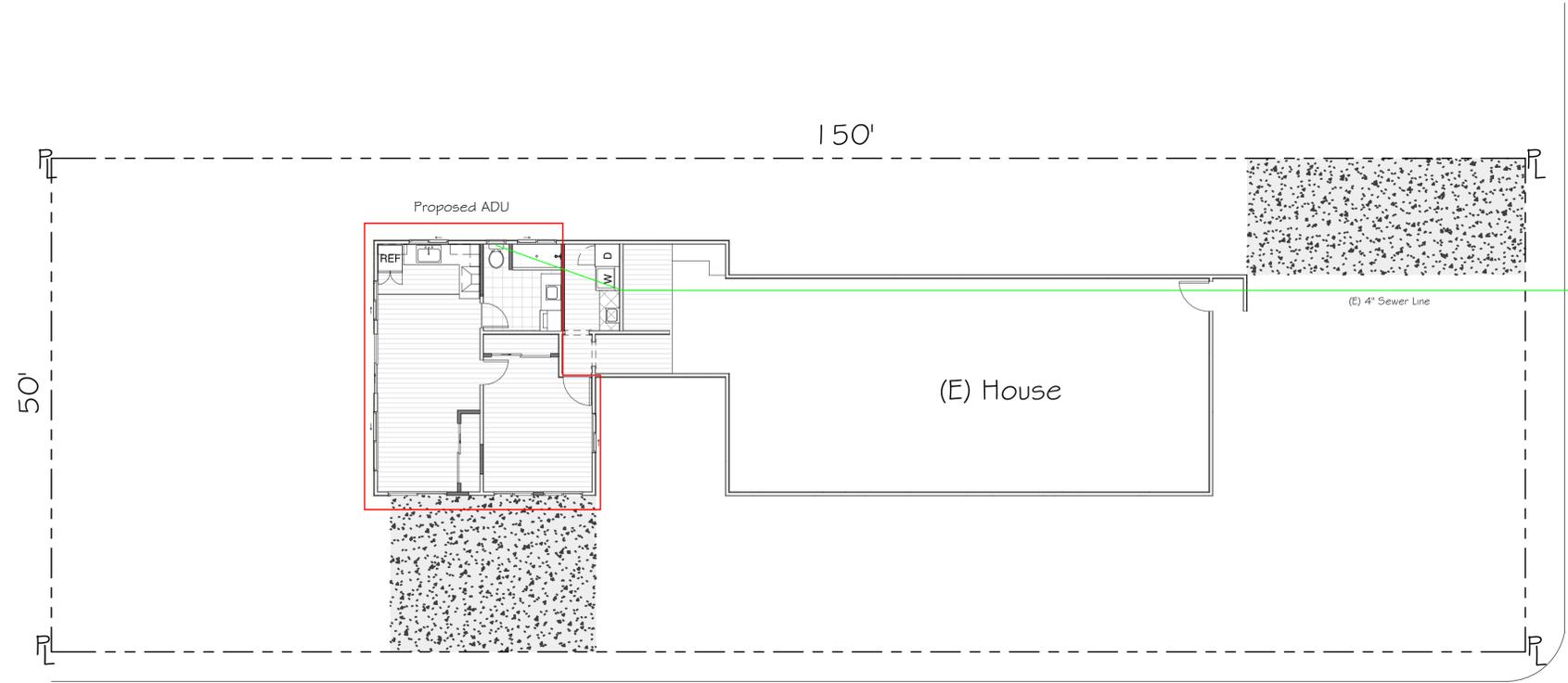


4 Detail - Floor
1 1/2" = 1'-0"



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① Level 1 - ADU Separation
 1/8" = 1'-0"

Alsace Lorraine Ave

Kelly Ave

REVISIONS



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 edwardclovearch@gmail.com

Proposed ADU
 Eric DeBode
 344 Kelly Ave
 Half Moon Bay, CA

Sewer & ADU
 Separation Detrail



DATE: 07/19/2021

SCALE: 1/8" = 1'-0"

DRAWN: CJP

JOB: DEBODE

SHEET:

A302

OF SHEETS



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344 Kelly Ave
Half Moon Bay, CA

Electrical & Lighting
Plans



DATE: 07/19/2021

SCALE: 1/4" = 1'-0"

DRAWN: CJP

JOB: DEBODE

SHEET:

E101

OF SHEETS

ELECTRICAL NOTES:

1. ALL LIGHTING SHALL BE HIGH-EFFICACY (CEC 150(k)1)
2. ALL OUTDOOR LIGHTING SHALL BE HIGH-EFFICACY AND CONTROLLED BY MOTION SENSOR & PHOTOCONTROL OR OTHER APPROVED METHODS (CEC 150(k)3)
3. IN BATHROOMS, AT LEAST ONE LIGHT SHALL BE CONTROLLED BY A VACANCY SENSOR (CEC 150.0(k)2J)
4. 125-VOLT, 15 & 20 AMP RECEPTICAL OUTLETS SHALL BE LISTED TAMPER-RESISTANT (CEC 406.11)
5. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 & 20 AMP OUTLETS IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTOR (AFCI) PROTECTED (CEC 210.12(A))
6. A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS (CEC 210.11(C)(3))
7. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE CIRCUITS FOR THE KITCHEN COUNTER TOPS SHALL BE PROVIDED. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. LOADS SHALL BE BALANCED (CEC 210.52(B)(2))
8. PROVIDE 220-VOLT, 30 AMP DEDICATED CIRCUIT FOR DRYER (CEC 220.54)
9. ALL BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A HUMIDISTAT CAPABLE OF BEING ADJUSTED BETWEEN THE RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT. CGBC 4.506
10. KITCHEN EXHAUST SHALL BE A MINIMUM OF 100 CFM
11. KITCHEN HOOD EXHAUST FAN SHALL BE DUCTED OUTSIDE IN ACCORDANCE WITH ASHRAE STANDARD 62.2 TABLE 7.1
12. UFER GROUND OR OTHER APPROVED GROUND PER CEC 250
13. FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. CGBSC 4.106.4.1

PLUMBING FIXTURE NOTES:

WATER CONSERVING FIXTURES & FITTINGS SHALL BE USED IN ACCORDANCE WITH 2019 CPC

SHALL INCLUDE :

MAXIMUM OF 1.28 GPF FOR WATER CLOSETS

MAXIMUM OF 1.8 GPM @ 80 PSI FOR SHOWERHEADS

MAXIMUM 1.2 GPM @ 60 PSI FOR RESIDENTIAL LAVATORY FAUCETS

MAXIMUM 0.5 GPM @ 60 PSI FOR COMMON AND PUBLIC USE AREAS

MAXIMUM 1.8 GPM @ 60 PSI FOR KITCHEN FAUCETS.

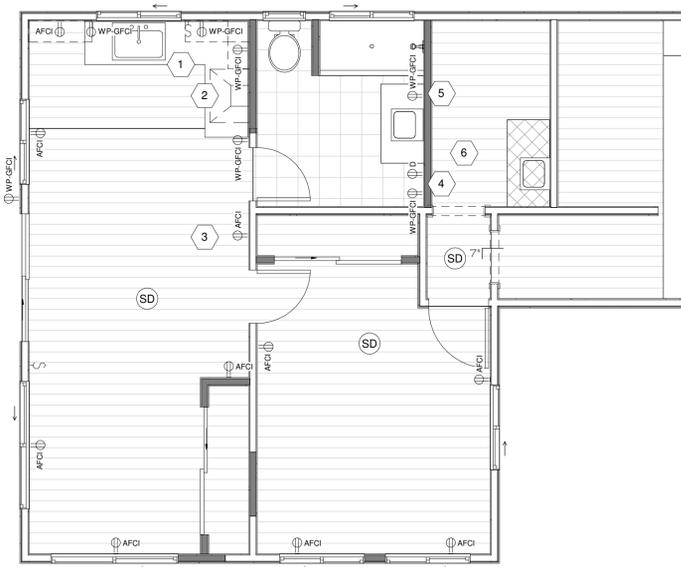
WHOLE HOUSE VENTILATION NOTES:

ALL BATHROOMS TO BE EQUIPPED WITH WHISPERGREEN SELECT™ ONE FAN - MULTIPLE IAQ SOLUTIONS, 50-80-110 CFM | FV-05-11VK1.

DUCT SIZE: 4" - 6" (BASED ON CONTRACTOR'S DECISION)

ASHRAE 62.2 REQUIRED MECHANICAL VENTILATION RATE:
QFAN CFM = 101

A LABEL/SIGN SHALL BE AT CONTROLLER OF SWITCH TO INFORM OCCUPANTS THAT FRESH AIR VENTILATOR IS A WHOLE HOUSE VENTILATION FAN THAT SHOULD OPERATE WHENEVER THE BUILDING IS OCCUPIED.



1 Level 1 - Electrical
1/4" = 1'-0"

- 1 SWITCHED OUTLET UNDER SINK FOR GARBAGE DISPOSAL
 - 2 WP-GFCI OUTLETS MOUNTED ABOVE COUNTER
 - 3 AFCI OUTLETS MOUNTED @ 24"
 - 4 220V & WP-GFCI OUTLETS FOR STACKED WASHER/DRYER. (CONFIRM W/ MANUFACTURER SPECS)
 - 5 WP-GFCI OUTLET MOUNTED @ 4'-6"
 - 6 LIGHT FIXTURE WITH A SWITCH WITHIN REACH OF ACCESS DOOR
- OUTLET - AFCI
 - OUTLET - DRYER
 - OUTLET - WATERPROOF GFCI
 - SMOKE/CARBON MONOXIDE DETECTOR, HARDWIRED W/ BATTERY BACKUP



2 Level 1 - Lighting
1/4" = 1'-0"

- SWITCH - DIMMER
- SWITCH - DIMMER THREE-WAY
- SWITCH - SINGLE
- SWITCH - OCCUPANCY
- LIGHT - RECESSED CAN
- LIGHT - VANITY FIXTURE
- FAN

S:\Client Projects 2020\DeBode\Revit\Rev Files\DeBode.rvt

CERTIFICATE OF COMPLIANCE
Project Name: DeBode ADU (Add)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2021-06-14T11:45:41-07:00
Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 1 of 8)

GENERAL INFORMATION table with columns 01-12 and rows for Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, etc.

Additional Alone Project Analysis Parameters table with columns 01-06 and rows for Existing Area, Addition Area, Total Area, etc.

COMPLIANCE RESULTS table with columns 01-03 and rows for Building Complies with Computer Performance, etc.

Registration Number: 421-PO10087813A-000-000-000000-0000
Registration Date/Time: 06/16/2021 13:38
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE
Project Name: DeBode ADU (Add)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2021-06-14T11:45:41-07:00
Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 2 of 8)

ENERGY USE SUMMARY table with columns Energy Use, Standard Design, Proposed Design, Compliance Margin, Percent Improvement

REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

ZONE INFORMATION table with columns 01-07 and rows for Zone Name, Zone Type, HVAC System Name, etc.

Registration Number: 421-PO10087813A-000-000-000000-0000
Registration Date/Time: 06/16/2021 13:38
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE
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Calculation Description: Title 24 Analysis

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Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 3 of 8)

OPAQUE SURFACES table with columns 01-10 and rows for Name, Zone, Construction, Azimuth, Orientation, etc.

ATTIC table with columns 01-08 and rows for Name, Construction, Type, Roof Rise, etc.

FENESTRATION / GLAZING table with columns 01-14 and rows for Name, Type, Surface, Orientation, etc.

Registration Number: 421-PO10087813A-000-000-000000-0000
Registration Date/Time: 06/16/2021 13:38
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE
Project Name: DeBode ADU (Add)
Calculation Description: Title 24 Analysis

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Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 4 of 8)

SLAB FLOORS table with columns 01-08 and rows for Name, Zone, Area, Perimeter, etc.

OPAQUE SURFACE CONSTRUCTIONS table with columns 01-08 and rows for Construction Name, Surface Type, Construction Type, etc.

BUILDING ENVELOPE - HERS VERIFICATION table with columns 01-04 and rows for Quality Insulation Installation, High R-value Spray Foam Insulation, etc.

Registration Number: 421-PO10087813A-000-000-000000-0000
Registration Date/Time: 06/16/2021 13:38
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE
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Calculation Description: Title 24 Analysis

Calculation Date/Time: 2021-06-14T11:45:41-07:00
Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 5 of 8)

WATER HEATING SYSTEMS table with columns 01-07 and rows for Name, System Type, Distribution Type, etc.

WATER HEATERS table with columns 01-14 and rows for Name, Heating Element Type, Tank Type, etc.

WATER HEATING - HERS VERIFICATION table with columns 01-08 and rows for Name, Pipe Insulation, Parallel Piping, etc.

SPACE CONDITIONING SYSTEMS table with columns 01-11 and rows for Name, System Type, Heating Unit Name, etc.

Registration Number: 421-PO10087813A-000-000-000000-0000
Registration Date/Time: 06/16/2021 13:38
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE
Project Name: DeBode ADU (Add)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2021-06-14T11:45:41-07:00
Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 6 of 8)

HVAC - HEATING UNIT TYPES table with columns 01-04 and rows for Name, System Type, Number of Units, etc.

HVAC - COOLING UNIT TYPES table with columns 01-08 and rows for Name, System Type, Number of Units, etc.

HVAC - DISTRIBUTION SYSTEMS table with columns 01-16 and rows for Name, Type, Design Type, Supply, Return, etc.

Registration Number: 421-PO10087813A-000-000-000000-0000
Registration Date/Time: 06/16/2021 13:38
HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE
Project Name: DeBode ADU (Add)
Calculation Description: Title 24 Analysis

Calculation Date/Time: 2021-06-14T11:45:41-07:00
Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 7 of 8)

HVAC DISTRIBUTION - HERS VERIFICATION table with columns 01-09 and rows for Name, Duct Leakage Verification, Duct Leakage Target, etc.

HVAC - FAN SYSTEMS table with columns 01-04 and rows for Name, Type, Fan Power, Name, etc.

IAQ (INDOOR AIR QUALITY) FANS table with columns 01-06 and rows for Dwelling Unit, IAQ CFM, IAQ Watts/CFM, etc.

Registration Number: 421-PO10087813A-000-000-000000-0000
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HERS Provider: CHEERS

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Calculation Date/Time: 2021-06-14T11:45:41-07:00
Input File Name: 0606DEB.rbd19x

CF1R-PRF-01E
(Page 8 of 8)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I, I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: Samuel Suzuki
Company: Energy Calc Co.
Address: 45 Mitchell Blvd #16, San Rafael, CA 94903

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
Responsible Designer Name: Edward Love
Company: Edward C Love, Architect
Address: 720 Mill St, Half Moon Bay, CA 94019

Registration Number: 421-PO10087813A-000-000-000000-0000
Registration Date/Time: 06/16/2021 13:38
HERS Provider: CHEERS

REVISIONS



Edward C. Love
Architect
720 MILL STREET
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edward@edclovearch.com

Proposed ADU
Eric DeBode
344 Kelly Ave
Half Moon Bay, CA

Title 24



DATE: 07/19/2021
SCALE:
DRAWN: GMH
JOB: DEBODE
SHEET: E102
OF SHEETS



SAN MATEO COUNTYWIDE

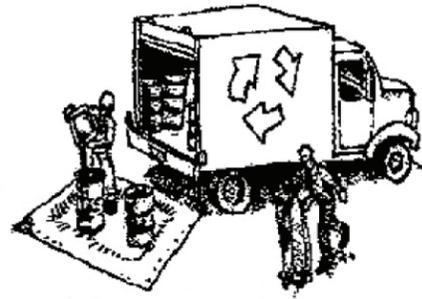
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



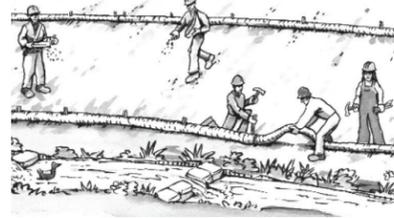
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



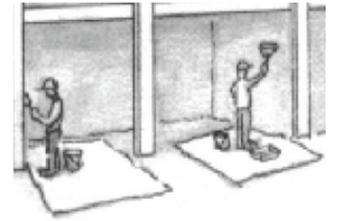
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

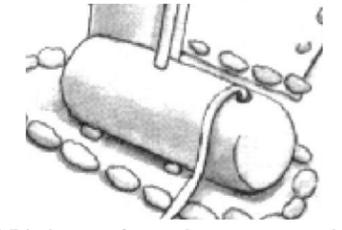
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!