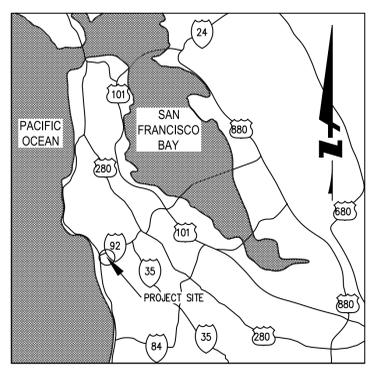


# STONE PINE COVE 880 STONE PINE ROAD HALF MOON BAY, CA

APN: 056-260-180



VICINITY MAP  
N.T.S.



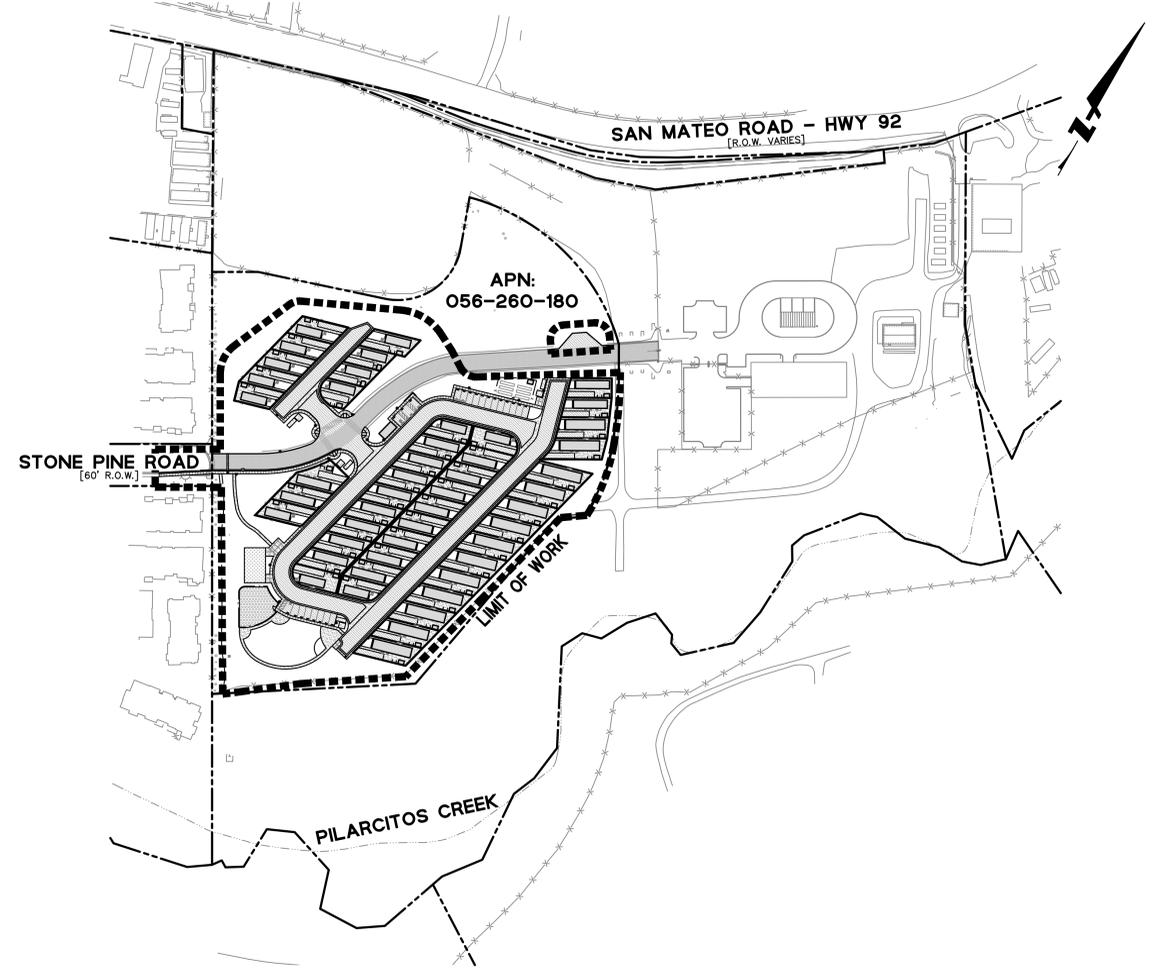
LOCATION MAP  
N.T.S.

### ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
AL	AREA LIGHT
ARV	AIR RELEASE VALVE
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BLDG	BUILDING
BO	BLOW OFF VALVE
BOT	BOTTOM OF TANK OR PIPE
BW	BOTTOM OF WALL ELEVATION
CATV	CABLE TELEVISION
CB	CATCH BASIN
CL	CENTER LINE
CIP	CAST IRON PIPE
CONC	CONCRETE
COR	CORNER
CUL	CULVERT
DDCV	DOUBLE DETECTOR CHECK VALVE
DI	DRAIN INLET
DIP	DUCTILE IRON PIPE
DN	DOCUMENT NUMBER
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
ESM	ELECTRIC SUB-METER
EV	ELECTRIC VALVE
EX. NO.	EXCEPTION NUMBER
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FNC	FENCE
FS	FINISHED SURFACE ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HDB	HEADERBOARD
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
MSB	METERING SWITCHBOARD
MON	MONUMENT
(N)	NEW
OH	OVERHEAD
PIV	POST INDICATOR VALVE
PKG	PARKING
POB	POINT OF BEGINNING
POC	POINT OF CONNECTION
(R)	REMOVES RECORD DISTANCE
(R, L, #m)	REMOVES DISTANCE MATCHING RECORD
RET	RETAINING WALL
RIM	RIM ELEVATION
R/W	RIGHT-OF-WAY
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCC	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TOB	TOP OF BANK/SLOPE
TOP	TOP OF TANK OR PIPE
TPOB	TRUE POINT OF BEGINNING
TRAN	TRANSFORMER
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
UB	UTILITY BOX
VD	PIPE VERTICAL DROP
VG	VALLEY GUTTER
W	DOMESTIC WATER LINE
WM	WATER METER

### LEGEND:

EXISTING	PROPOSED	
---	---	BOUNDARY
---	---	LIMIT OF WORK
---	---	SANITARY SEWER
---	---	SOLID STORM DRAIN
---	---	PERFORATED SUB DRAIN
---	---	FORCE MAIN
---	---	FIRE SERVICE
---	---	DOMESTIC WATER SERVICE
---	---	ELECTRIC
---	---	OVERHEAD WIRES
---	---	FENCE
---	---	CLEAN OUT TO GRADE
---	---	FOUND MONUMENT
---	---	DOUBLE DETECTOR CHECK VALVE
---	---	VALVE
---	---	BLOW OFF VALVE
---	---	AIR RELEASE VALVE
---	---	METER BOX
---	---	STREET LIGHT
---	---	DRAIN
---	---	ATRIUM DRAIN
---	---	CATCH BASIN
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BENCHMARK
---	---	MANHOLE
---	---	SIGN
---	---	SPLASH BLOCK
---	---	DETAIL NUMBER
---	---	SHEET LOCATION



### SHEET INDEX

CIVIL	
SHEET NO.	DESCRIPTION
CO.0	TITLE SHEET
CO.1	NOTES
CO.2	EXISTING CONDITIONS
C1.1	CIVIL SITE PLAN
C1.2	GRADING PLAN
C2.1	UTILITY PLAN
C3.1	STORMWATER CONTROL PLAN
C4.1	FIRE ACCESS PLAN
C5.1	STAGING AND EROSION CONTROL PLAN
C5.2	STAGING AND EROSION CONTROL DETAILS
C5.3	BEST MANAGEMENT PRACTICES SHEET
CO.1	STONE PINE TRAFFIC CALMING IMPROVEMENTS
CO.2	STONE PINE TRAFFIC CALMING IMPROVEMENTS
C7.1	SITE SECTIONS
CO.1	CONCEPTUAL RENDERINGS

### LANDSCAPE

SHEET NO.	DESCRIPTION
L1.0	LANDSCAPE SITE PLAN
L1.1	TREE REMOVAL PLAN
L1.2	LANDSCAPE IMAGERY
L2.0	SCHEMATIC PLANTING PLAN
L2.1	SCHEMATIC PLANT LIST
L2.2	SCHEMATIC PLANT IMAGES
L3.0	SCHEMATIC IRRIGATION PLAN
L4.0	SCHEMATIC PLANTING & IRRIGATION DETAILS

### FLOOR PLANS

SHEET NO.	DESCRIPTION
MH1	CONCEPTUAL MANUFACTURED HOME FLOOR PLANS

### LIGHTING

SHEET NO.	DESCRIPTION
SL1	STREET LIGHTING PLAN
SL2	STREET LIGHTING PLAN
SL3	STREET LIGHTING PHOTOMETRICS

### CONTACT INFORMATION:

PROJECT COORDINATOR:	CAPITAL PROGRAM MANAGEMENT, INC. 1851 HERITAGE LN, SUITE 210 SACRAMENTO, CA 95815 CONTACT: STEVEN MCGUCKIN STEVENM@CAPITALPM.COM (916) 553-4400
CIVIL:	BKF ENGINEERS 255 SHORELINE DR, SUITE 200 REDWOOD CITY, CA 94065 CONTACT: DALE LEDA DALE@BKF.COM (650) 482-6300
LANDSCAPE ARCHITECT:	KIKUCHI + KANKEL DESIGN GROUP 730 MILL ST, HALF MOON BAY, CA 94019 CONTACT: TOM CONROY TOM@KIKUCHIKANKELDESIGNGROUP.COM (650) 726-7100
ELECTRICAL:	EMERALD CITY ENGINEERS, INC. 21705 HIGHWAY 99, LYNNWOOD, WA 98036 CONTACT: ADAM FRENCH AFRENCH@EMERALDCITYENG.COM (425) 741-1200
JOINT TRENCH:	MILLENIUM DESIGN AND CONSULTING, INC. P.O. BOX 737, ALAMO, CA 94507 CONTACT: KAHN SENMANORA KAHN@MDCUTILTY.COM (510) 837-7602

### SOILS REPORT NOTES:

- A PROJECT SOILS REPORT WHICH INCLUDES EXPLORATION OF SUBSURFACE CONDITIONS HAS BEEN PREPARED BY BAGG ENGINEERS, DATED AUGUST 23, 2023.
- GROUNDWATER WAS ENCOUNTERED AT A DEPTH OF 9 FT. THE HIGHEST ANTICIPATED GROUNDWATER DEPTH IS LESS THAN 10 FT BELOW THE EXISTING GROUND SURFACE.
- REFER TO THE REPORT FOR MORE DETAILED ASSESSMENT OF SUBSURFACE CONDITIONS
- ALL WORK ONSITE SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE PROJECT SOILS REPORT AND AS DIRECTED IN THE FIELD BY THE PROJECT GEOTECHNICAL ENGINEER.

### ENGINEER'S STATEMENT

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

BRIAN K. SCOTT \_\_\_\_\_ DATE \_\_\_\_\_  
PRINCIPAL  
P.E. #61034  
BKF ENGINEERS



### ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

DALE LEDA \_\_\_\_\_ DATE \_\_\_\_\_  
PROJECT MANAGER  
P.E. #78436  
BKF ENGINEERS



### FLOOD PLAIN NOTES:

- 100-YEAR AND 500-YEAR FLOOD ELEVATIONS ARE SHOWN PER PILARCITOS CREEK FLOODPLAIN STUDY BY BKF ENGINEERS, DATED JUNE 29, 2023.

### HAUL ROUTE:

- CONTRACTOR SHALL UTILIZE THE FOLLOWING HAUL ROUTE FOR IMPORTING/EXPORTING SOILS AND OTHER CONSTRUCTION MATERIALS:
- FROM JOB SITE, HEAD WEST ON STONE PINE RD TOWARDS MAIN ST.
  - TURN RIGHT ONTO MAIN ST HEADING NORTH TOWARDS HWY 92.
  - TURN RIGHT ONTO HWY 92.

### DISTURBED AREA

ONSITE DISTURBED AREA	5.29 ACRES
OFFSITE DISTURBED AREA	0.10 ACRES
TOTAL	5.39 ACRES
WIID NO.	

### IMPERVIOUS AREAS

TOTAL PROPERTY AREA	297,155 SF (6.82 AC)
IMPERVIOUS AREAS:	
PRE-CONSTRUCTION	24,600 SF
POST-CONSTRUCTION	157,440 SF

### EARTHWORK QUANTITIES

GROSS FIGURES		QUANTITY BREAKDOWN	
CUT	3,470 CUBIC YARDS	BIORETENTION AREA	
FILL	3,510 CUBIC YARDS	CUT	860 CUBIC YARDS
TOTAL	6,980 CUBIC YARDS	UTILITY TRENCHING	
BALANCE	40 CUBIC YARDS OF IMPORT	CUT	1,160 CUBIC YARDS
		SITE WORK AND LANDSCAPING	
		CUT	1,450 CUBIC YARDS
		FILL	3,510 CUBIC YARDS

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

PLANS HAVE BEEN REVIEWED AND APPROVED BY:

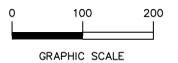
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

PLANS HAVE BEEN REVIEWED AND APPROVED BY:

COASTSIDE FIRE PROTECTION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

PLANS HAVE BEEN REVIEWED AND APPROVED BY:

COASTSIDE COUNTY WATER DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_





CALIFORNIA

NOTES  
STONE PINE COVE  
880 STONE PINE ROAD  
SAN MATEO COUNTY

HALF MOON BAY



Revisions	Date	No.

CO.1  
OF

**DEVELOPMENT STANDARDS NOTES:**

REQUIREMENTS PER CITY OF HALF MOON BAY MUNICIPAL CODE CHAPTER 18.17 FOR MOBILE HOME PARK DISTRICT:

- ALL MOBILE HOME SPACES SHALL BE SERVED FROM INTERNAL PRIVATE ROADWAYS AND THERE SHALL BE NO DIRECT VEHICULAR ACCESS FROM A MOBILE HOME SPACE TO A PUBLIC STREET OR ALLEY. INTERNAL ROADS SHALL HAVE A CLEAR AND UNOBSTRUCTED ACCESS TO A PUBLIC STREET OR HIGHWAY.
- WALKWAYS SHALL BE PROVIDED THROUGHOUT THE MOBILE HOME PARK TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN ACCESS TO AMENITIES, OPEN SPACE AREAS, AND PUBLIC ROADWAYS. WALKWAYS SHALL COMPLY WITH APPLICABLE ACCESSIBILITY STANDARDS BUT IN NO CASE SHALL BE LESS THAN THREE FEET IN WIDTH. WALKWAYS SHALL BE PAVED AND SEPARATE FROM ROADWAYS AND DRIVEWAYS FOR AUTOMOBILES.
- A LANDSCAPING PLAN AND LANDSCAPE MAINTENANCE PLAN FOR THE SETBACK AREAS FROM THE PROPERTY PERIMETER OF THE MOBILE HOME PARK SHALL BE SUBMITTED FOR CONSIDERATION WITH EACH PERMIT APPLICATION FOR DEVELOPMENT OR EXPANSION OF A MOBILE HOME PARK. LANDSCAPING SHALL BE USED AS A BUFFER BETWEEN MOBILE HOME SPACES AND ADJACENT PROPERTIES. SERVICE AREAS AND OUTDOOR STORAGE AREAS SHALL BE SCREENED FROM VIEW FROM PUBLIC STREETS.
- NO PLANT SPECIES LISTED AS PROBLEMATIC AND/OR INVASIVE BY THE CALIFORNIA NATIVE PLANT SOCIETY, THE CALIFORNIA INVASIVE PLANT COUNCIL, OR AS MAY BE IDENTIFIED FROM TIME TO TIME BY THE STATE OF CALIFORNIA SHALL BE EMPLOYED IN ANY LANDSCAPING IN THE MOBILE HOME PARK. NO PLANT SPECIES LISTED AS A NOXIOUS WEED BY THE STATE OF CALIFORNIA OR THE U.S. FEDERAL GOVERNMENT SHALL BE UTILIZED. ONLY NATIVE PLANTS OF LOCAL STOCK AND/OR DROUGHT-TOLERANT NONINVASIVE PLANTS SHALL BE USED FOR LANDSCAPING.
- ONE NONILLUMINATED OR INDIRECTLY ILLUMINATED DETACHED MONUMENT SIGN, IDENTIFYING THE NAME OF THE MOBILE HOME PARK, SHALL BE PERMITTED. SUCH SIGN SHALL BE CONSTRUCTED OF NATURAL MATERIAL, SUCH AS WOOD AND SHALL NOT EXCEED A HEIGHT OF FOUR FEET OR AN AREA OF SIXTEEN SQUARE FEET. ANY SUCH SIGN SHALL BE INTEGRATED INTO THE LANDSCAPE DESIGN.
- MOBILE HOME PARKS SHALL BE REQUIRED TO USE GARBAGE COLLECTION AND RECYCLING SERVICES. CENTRAL COLLECTION CONTAINERS SHALL BE PROVIDED AT CONVENIENT LOCATIONS WITHIN DECORATIVE FENCED OR WALLED ENCLOSURES.
- THE DEVELOPMENT, REDEVELOPMENT, OR MODIFICATION OF MOBILE HOME PARKS SHALL BE UNDERTAKEN PURSUANT TO THE WATER QUALITY PROTECTION STANDARDS SPECIFIED IN SECTION 18.38.121.
- PRIOR TO ISSUANCE OF ANY COASTAL DEVELOPMENT PERMIT OR USE PERMIT, THE APPLICANT SHALL RECEIVE PRELIMINARY APPROVAL OF PLANS BY THE HALF MOON BAY FIRE PROTECTION DISTRICT.
- LIGHTING SHALL BE THE MINIMUM NECESSARY TO ILLUMINATE THE INTERNAL ROADS WITHOUT ADVERSE IMPACT ON ADJACENT PROPERTIES. LIGHT FIXTURES SHALL BE THE MINIMUM HEIGHT NEEDED FOR PUBLIC SAFETY, BUT SHALL NOT EXCEED FIFTEEN FEET IN HEIGHT, AND SHALL BE SHIELDED TO DOWNCAST LIGHT TO PREVENT GLARE ON ADJACENT PROPERTIES.
- IN DEVELOPMENT OF NEW AND EXPANSION OF EXISTING MOBILE HOME PARKS, ALL NEW ELECTRICAL, TELEPHONE, CABLE TV, AND SIMILAR DISTRIBUTION LINES PROVIDING DIRECT SERVICE TO THE DEVELOPMENT, INCLUDING INDIVIDUAL SPACES, SHALL BE INSTALLED UNDERGROUND.
- MOBILE HOME UNITS WITHIN MOBILE HOME PARKS SHALL BE LIMITED TO USE AS PERMANENT RESIDENCES. NO MOBILE HOME SHALL BE RENTED TO OR OCCUPIED BY ANY INDIVIDUAL OR GROUP OF INDIVIDUALS FOR A TERM LESS THAN THIRTY CONSECUTIVE DAYS.

**CAUTION:**

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION - PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

**GENERAL SITE NOTES:**

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING A BID.
- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO PROJECT MANAGER.
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN, SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE CITY/TOWN HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY BAGG ENGINEERS, DATED AUGUST 23, 2023.

**DEMOLITION NOTES :**

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENDOCRINEMENT, GRADING, DEMOLITION, AND DISPOSAL OF SOIL MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH REMAIN. ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
- THE DEMOLITION PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THE PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THE PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THE PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENDOCRINEMENT AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

**RECORD DRAWINGS:**

- THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.

**STORM DRAIN MAINTENANCE NOTES:**

PLEASE NOTE THAT REGULAR MAINTENANCE ON GRADING AND DRAINAGE STRUCTURES IS REQUIRED TO ENSURE FUNCTIONALITY THROUGHOUT THE LIFE OF THE PROPERTY. MAINTENANCE SHOULD INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- THE CLEARING OF DEBRIS FROM THE STORMWATER BIOTRETION AREAS AND STORM DRAIN LINES.
- ROOF GUTTERS AND DOWNSPOUTS SHOULD BE CLEARED BEFORE THE BEGINNING OF EACH RAINY SEASON AND AS NEEDED THROUGHOUT THE WINTER MONTHS.
- SURFACE GRADING MAY ALSO REQUIRE CONTINUED REFINEMENT, INCLUDING THE CLEARING AND RE-FINISHING OF VEGETATED SWALES AND SLOPES TO MINIMIZE PONDING, MAINTAIN POSITIVE DRAINAGE AWAY FROM IMPROVEMENTS AND PROTECT AGAINST EROSION.
- GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NEEDED.
- FINALLY, DRAINAGE SWALES AND CONCRETE VALLEY GUTTERS SHOULD BE CONTINUOUSLY MONITORED AND CLEARED OF LEAVES AND DIRT DEBRIS.

**TREE/PLANT PROTECTION NOTES:**

- PRIOR TO BEGINNING CONSTRUCTION ON-SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY HAZARDOUS MATERIALS. AS WELL AS FROM PONDING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY/TOWN'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE ARBORIST REPORT BY WEST COAST ARBORISTS, INC., DATED AUGUST 21, 2023.

**ARBORIST TREE PROTECTION NOTES:**

THE FOLLOWING TREE PROTECTION MEASURES SHOULD BE APPLIED TO ALL TREES THAT ARE TO BE RETAINED:

- PRE-CONSTRUCTION:**
  - A PRE-CONSTRUCTION MEETING SHOULD BE HELD TO DISCUSS TREE PROTECTION MEASURES AND ENSURE ALL TREE PROTECTION MEASURES HAVE BEEN PROPERLY INSTALLED.
  - ANY CLEARANCE PRUNING THAT IS DEEMED NECESSARY FOR CONSTRUCTION SHALL BE COMPLETED USING THE MINIMAL DOSE NECESSARY AND SHALL BE APPROVED BY THE PROJECT ARBORIST PRIOR TO PRUNING.
  - TREE PROTECTION ZONES (TPZ) SHALL BE ESTABLISHED AND ENFORCED TO PREVENT SOIL COMPACTION, GRADE CHANGE, AND ROOT DAMAGE. TREE PROTECTION AREAS SHALL BE ESTABLISHED WITH FIVE-FOOT-HIGH CHAIN LINK FENCING MOUNTED ON 2-INCH DIAMETER GALVANIZED IRON POSTS, DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST 2-FEET, AT NO MORE THAN 10-FOOT SPACING.
    - THE DIAMETER OF THE TPZ SHALL BE DETERMINED BY THE TRUNK DIAMETER OF TREES TO BE PROTECTED. FOR EVERY 1 INCH OF TRUNK DIAMETER, THE TPZ SHALL EXTEND 1 FOOT. FOR EXAMPLE, A 10-INCH DIAMETER TREE SHALL HAVE A TPZ WITH A RADIUS OF 10-FEET AROUND THE TREE. IN AREAS WHERE THIS TPZ SIZE IS GREATER THAN WHAT CONSTRUCTION CAN ALLOW, THE CANOPY PERIMETER SHALL BE THE MINIMUM RADIUS FOR THE TPZ.
    - FOR TREES GROWING ALONG THE EAST PERIMETER OF THE PROPERTY, TPZS CAN BE COMBINED TO FORM ONE LARGE TPZ FOR TREES IN THIS AREA. ADDITIONALLY, FENCING IS NOT REQUIRED ON THE WEST SIDE OF THE TREES AS THE PROPERTY LINE FENCING IS ALREADY IN PLACE.
  - A WARNING DO NOT ENTER SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH TREE PROTECTIVE FENCE.
  - A 4-INCH LAYER OF CHIP BARK MULCH SHALL BE PLACED ON TOP OF THE TPZ AND ENCLOSED WITHIN THE TREE PROTECTIVE FENCING. THIS MULCH SHALL ONLY BE MOVED FOR LANDSCAPE PLANTS TO BE INSTALLED AFTER ALL EXCAVATION AND SOIL COMPACTION WORK HAS BEEN COMPLETED.
  - ESTABLISH AN AREA OUTSIDE OF THE TPZS OR ON PREEXISTING HARDBASE TO STORE SEDIMENT AND BACKFILL. ENSURE NO FLOW PATHS LEAD TO TPZS FROM SEDIMENT OR BACKFILL PILES IF PRESENT.
  - NO MATERIAL OR EQUIPMENT SHALL BE STORED OR PLACED WITHIN THE TPZ OF PRESERVED TREES.
- CONSTRUCTION:**
  - IN AREAS WHERE CONSTRUCTION ACTIVITY IS TO TAKE PLACE BENEATH THE CANOPY OF EXISTING TREES, SUCH AS THE WALKING PATH, THE TPZ SHALL BE MOVED TO THE GREATEST DISTANCE POSSIBLE FROM THE SUBJECT TREE WHILE ALSO ALLOWING FOR CONSTRUCTION TO PROCEED. ONCE CONSTRUCTION IN THE SUBJECT AREA HAS OCCURRED, THE TPZ SHALL BE MOVED BACK TO THE PREESTABLISHED BOUNDARY.
    - PROJECT ARBORIST SHALL CONDUCT SITE OBSERVATIONS DURING ANY CONSTRUCTION ACTIVITY THAT IS TO TAKE PLACE BENEATH THE CANOPY DRIPLINE OF TREES.
    - ANY EXCAVATION ACTIVITY THAT IS TO TAKE PLACE IN THESE AREAS IS PROHIBITED FROM USING BACKHOES, TREAD TRACTORS, OR ANY OTHER HEAVY VEHICLES. METHODS PERMITTED INCLUDE HAND DIGGING, HYDRAULIC OR PNEUMATIC AIR EXCAVATION.
  - DURING EXCAVATION ACTIVITY, SHOULD ANY ROOTS BE ENCOUNTERED, ROOT PRUNING SHALL BE DONE WITH HAND TOOLS IN ORDER TO MAKE CLEAN CUTS THAT FACE THE EXCAVATED AREA.
    - ROOTS LARGER THAN 2.5 INCHES SHALL NOT BE CUT WITHOUT PROJECT ARBORIST PRIOR APPROVAL.
    - ROOTS LARGER THAN 2.5 INCHES THAT ARE CUT SHALL IMMEDIATELY SHADEN AND KEPT MOIST WITH WET BURLAP OR SIMILAR MATERIAL UNTIL THEY CAN BE RECOVERED.
  - NO PRUNING SHOULD BE PERFORMED ON TREES THAT HAVE ROOTS IMPACTED BY CONSTRUCTION ACTIVITY FOR AT LEAST ONE YEAR FOLLOWING THE COMPLETION OF THIS PROJECT OTHER THAN NECESSARY MAINTENANCE SUCH AS BUILDING CLEARANCE.
- POST CONSTRUCTION:**
  - A PROJECT ARBORIST SHOULD CONDUCT MONITORING TWICE A YEAR FROM THE DATE OF PROJECT COMPLETION FOR NO LESS THAN TWO YEARS TO ENSURE TREES ARE IN GOOD CONDITION.

**HORIZONTAL CONTROL NOTES:**

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

**PAVEMENT SECTION:**

- SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

**SITE MAINTENANCE:**

- REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS POINTS FOR THE SITE AND PLACE STABILIZED CONSTRUCTION ENTRANCES AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPE Caked-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY.
- CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
- NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.

**NPDES REQUIREMENTS:**

- ALL CONSTRUCTION ON OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY/TOWN OR COUNTY STORM DRAIN SYSTEMS.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPOSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION-SITE.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- BMPS AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2015, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY/TOWN INSPECTORS).
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

**EROSION AND SEDIMENTATION CONTROL NOTES:**

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN, IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION-SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTIPOATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL, FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH W/SCREEN OR A TARP/AULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDS OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION-SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS, NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE CITY/TOWN'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.

**SITE FENCE NOTES:**

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION-SITE TO THE CITY/TOWN STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

**DUST CONTROL:**

- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT NPDES AT ALL TIMES. THE SITE SHALL BE WATERED (BY HAND OR TRUCK) AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY/TOWN'S DEPARTMENT OF PUBLIC WORKS.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARP/AULINS OR OTHER EFFECTIVE COVERS.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.

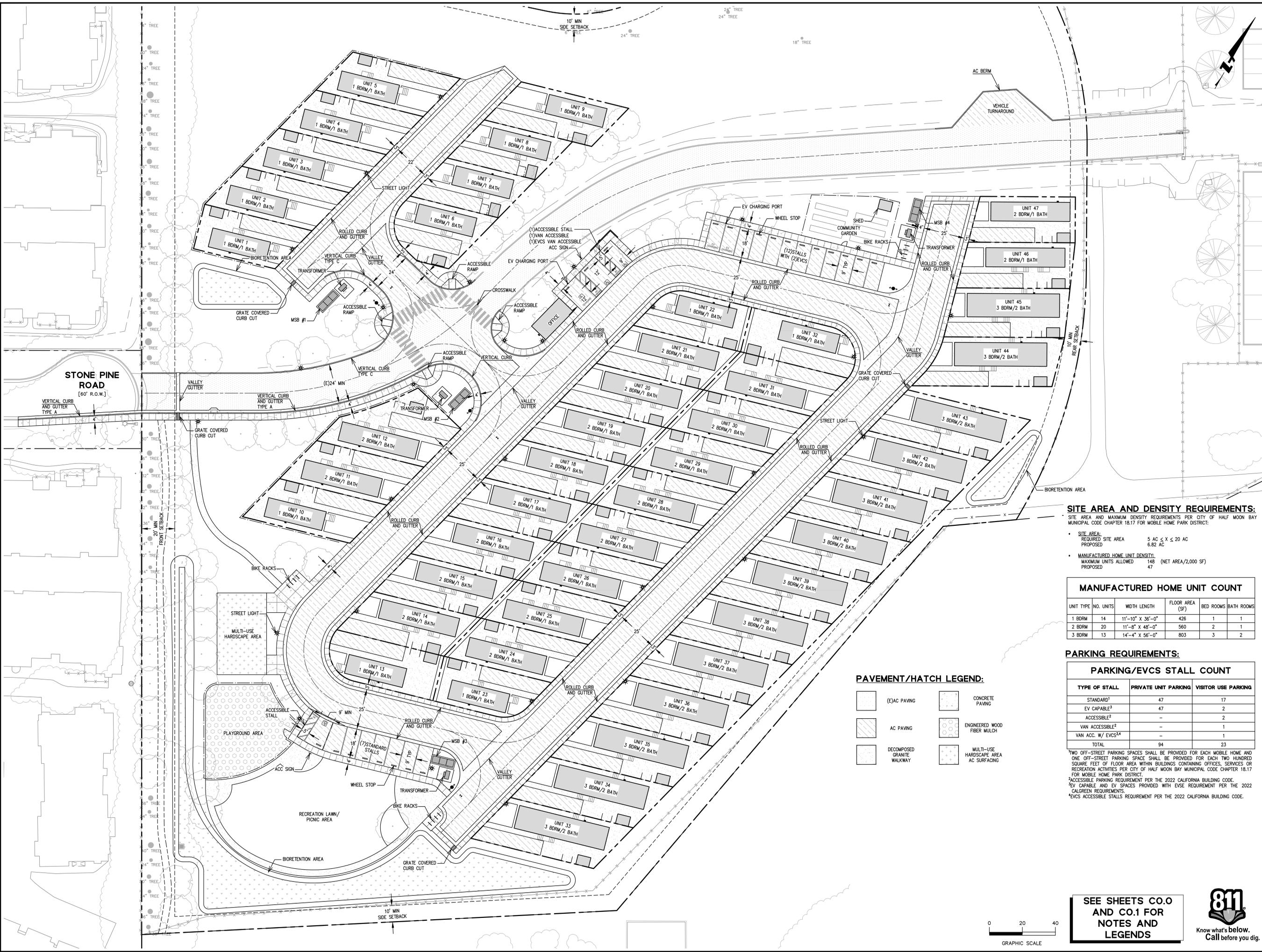
**GENERAL UTILITY SYSTEM NOTES:**

- ALL TRENCHES SHALL BE BACKFILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
- CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, SATELLITE DISH, TRANSFORMER, GAS METER, ETC.) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK. THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDUITS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS, THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
- CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL. IF RECOMMENDED BY THE GEOTECHNICAL REPORT, CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNER'S PROJECT MANAGER.
- COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THEREOF, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERGROUND HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERGROUND; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR WISHES TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
- EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSINGS (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- SEPARATION REQUIREMENTS:
  - A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
  - WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
- HORIZONTAL SEPARATION REQUIREMENTS:
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' MINIMUM, UNLESS OTHERWISE NOTED.
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5' FEET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.

**FIRE PROTECTION NOTES:**

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM/CALIFORNIA FIRE CODE AND CITY STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC'S, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS.
- ALL WORK MUST COMPLY WITH THE APPLICABLE PROVISIONS OF THE OFC CHAPTER 33 "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION".





**SITE AREA AND DENSITY REQUIREMENTS:**  
SITE AREA AND MAXIMUM DENSITY REQUIREMENTS PER CITY OF HALF MOON BAY MUNICIPAL CODE CHAPTER 18.17 FOR MOBILE HOME PARK DISTRICT:

- **SITE AREA:**  
REQUIRED SITE AREA 5 AC ≤ X ≤ 20 AC  
PROPOSED 6.82 AC
- **MANUFACTURED HOME UNIT DENSITY:**  
MAXIMUM UNITS ALLOWED 148 (NET AREA/2,000 SF)  
PROPOSED 47

**MANUFACTURED HOME UNIT COUNT**

UNIT TYPE	NO. UNITS	WIDTH LENGTH	FLOOR AREA (SF)	BED ROOMS	BATH ROOMS
1 BDRM	14	11'-10" X 36'-0"	426	1	1
2 BDRM	20	11'-8" X 48'-0"	560	2	1
3 BDRM	13	14'-4" X 56'-0"	803	3	2

**PARKING REQUIREMENTS:**

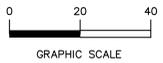
**PARKING/EVCS STALL COUNT**

TYPE OF STALL	PRIVATE UNIT PARKING	VISITOR USE PARKING
STANDARD <sup>1</sup>	47	17
EV CAPABLE <sup>3</sup>	47	2
ACCESSIBLE <sup>2</sup>	-	2
VAN ACCESSIBLE <sup>2</sup>	-	1
VAN ACC. W/ EVCS <sup>4</sup>	-	1
<b>TOTAL</b>	<b>94</b>	<b>23</b>

<sup>1</sup>TWO OFF-STREET PARKING SPACES SHALL BE PROVIDED FOR EACH MOBILE HOME AND ONE OFF-STREET PARKING SPACE SHALL BE PROVIDED FOR EACH TWO HUNDRED SQUARE FEET OF FLOOR AREA WITHIN BUILDINGS CONTAINING OFFICES, SERVICES OR RECREATION ACTIVITIES PER CITY OF HALF MOON BAY MUNICIPAL CODE CHAPTER 18.17 FOR MOBILE HOME PARK DISTRICT.  
<sup>2</sup>ACCESSIBLE PARKING REQUIREMENT PER THE 2022 CALIFORNIA BUILDING CODE.  
<sup>3</sup>EV CAPABLE AND EV SPACES PROVIDED WITH EVSE REQUIREMENT PER THE 2022 CALIFORNIA REQUIREMENTS.  
<sup>4</sup>EVCS ACCESSIBLE STALLS REQUIREMENT PER THE 2022 CALIFORNIA BUILDING CODE.

**PAVEMENT/HATCH LEGEND:**

- (E)AC PAVING
- AC PAVING
- DECOMPOSED GRANITE WALKWAY
- CONCRETE PAVING
- ENGINEERED WOOD FIBER MULCH
- MULTI-USE HARDSCAPE AREA AC SURFACING



SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS



Date	Revisions	No.	Description
11/29/2023 <td></td> <td>1</td> <td>Scale 1" = 20'</td>		1	Scale 1" = 20'
		2	Design D/P
		3	Drawn DLG
		4	Approved DJL
		5	Lab. No. 20231397-15



**GRADING NOTES:**

- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 10', WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
- COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASEROCK OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONG. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH IN THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE OUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOIL OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

**PAVEMENT/HATCH LEGEND:**

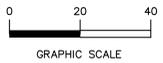
SEE GEOTECHNICAL REPORT FOR EXACT RECOMMENDATION FOR GRADING OPERATIONS AND OVEREXCAVATION ON-SITE.

- (E)AC PAVING 3" AC PAVING OVER 8" OF CALTRANS CLASS 2 AGGREGATE BASE.
- 
- AC PAVING DRIVE AISLE - 3" AC PAVING OVER 12" OF CALTRANS CLASS 2 AGGREGATE BASE.
- DECOMPOSED GRANITE WALKWAY PARKING AREAS - 3" AC PAVING OVER 8" OF CALTRANS CLASS 2 AGGREGATE BASE.
- CONCRETE PAVING 3" DECOMPOSED GRANITE OVER 6" OF CALTRANS CLASS 2 AGGREGATE BASE.
- ENGINEERED WOOD FIBER MULCH 4" CONCRETE OVER 6" OF CALTRANS CLASS 2 AGGREGATE BASE. SEE LANDSCAPE PLANS FOR SCORE JOINTS.
- MULTI-USE HARDSCAPE AREA AC SURFACING SEE LANDSCAPE PLANS FOR SECTION DETAILS.

**PAVEMENT NOTES:**

- PAVEMENT SECTION TO BE APPROVED BY GEOTECHNICAL ENGINEER
- COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
- SEE LANDSCAPE PLANS FOR ALL WALKWAY FINISHES AND MATERIALS.

SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS



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PLOT DATE: 11-29-23  
PLOTTED BY: gold

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**SANITARY SEWER NOTES:**

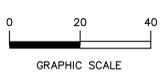
1. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY.
2. PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER CITY/TOWN STANDARDS.
3. ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.
4. IF (E) SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL PERFORM PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS. EXTEND (N) OR (E) SEWER LINE AS SHOWN ON THE PLANS SLOPED AT 2% MINIMUM. INSTALL CLEANOUT AT FACE OF BUILDING AND AT PROPERTY LINE.
5. SANITARY SEWER SYSTEMS INCLUDING MAINS, MANHOLES, LATERALS AND SANITARY FORCE MAINS SHALL BE TESTED PER CITY'S STANDARD DESIGN GUIDELINES FOR PUBLIC WORKS CONSTRUCTION 2016.

**GENERAL NOTES:**

1. WATER LINES ARE SHOWN SCHEMATICALLY. CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
2. CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINES IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES.
3. ALL LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.

**UTILITY LEGEND:**

1" SD	STORM DRAIN LATL
4" SS	SANITARY SEWER LATL
1" DW	DOMESTIC WATER LATL DUCTILE IRON PIPE
1" FW	FIRE WATER LATL
E	UNDERGROUND ELECTRICAL SERVICE LATL
---	JOINT TRENCH



**STORM DRAIN NOTES:**

1. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
2. PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
4. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
5. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
7. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT IMPERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

**DOMESTIC WATER SYSTEM NOTES:**

1. WATER SYSTEM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE COASTSIDE COUNTY WATER DISTRICT DOCUMENT TITLED "STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, MAY 2018, LATEST REVISION."
2. INSTALLATION SHALL CONFORM TO THE COWD STANDARD DRAWINGS INCLUDED IN THESE IMPROVEMENT PLANS AND OTHER COWD STANDARD DRAWINGS.
3. WATER METER BOXES SHALL NOT BE LOCATED IN DRIVEWAY AREAS OR WITHIN 3 FEET HORIZONTAL AND 1 FOOT VERTICAL OF OTHER UTILITIES INCLUDING ELECTRICAL, GAS, TELEPHONE, AND CABLE TV.

SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS



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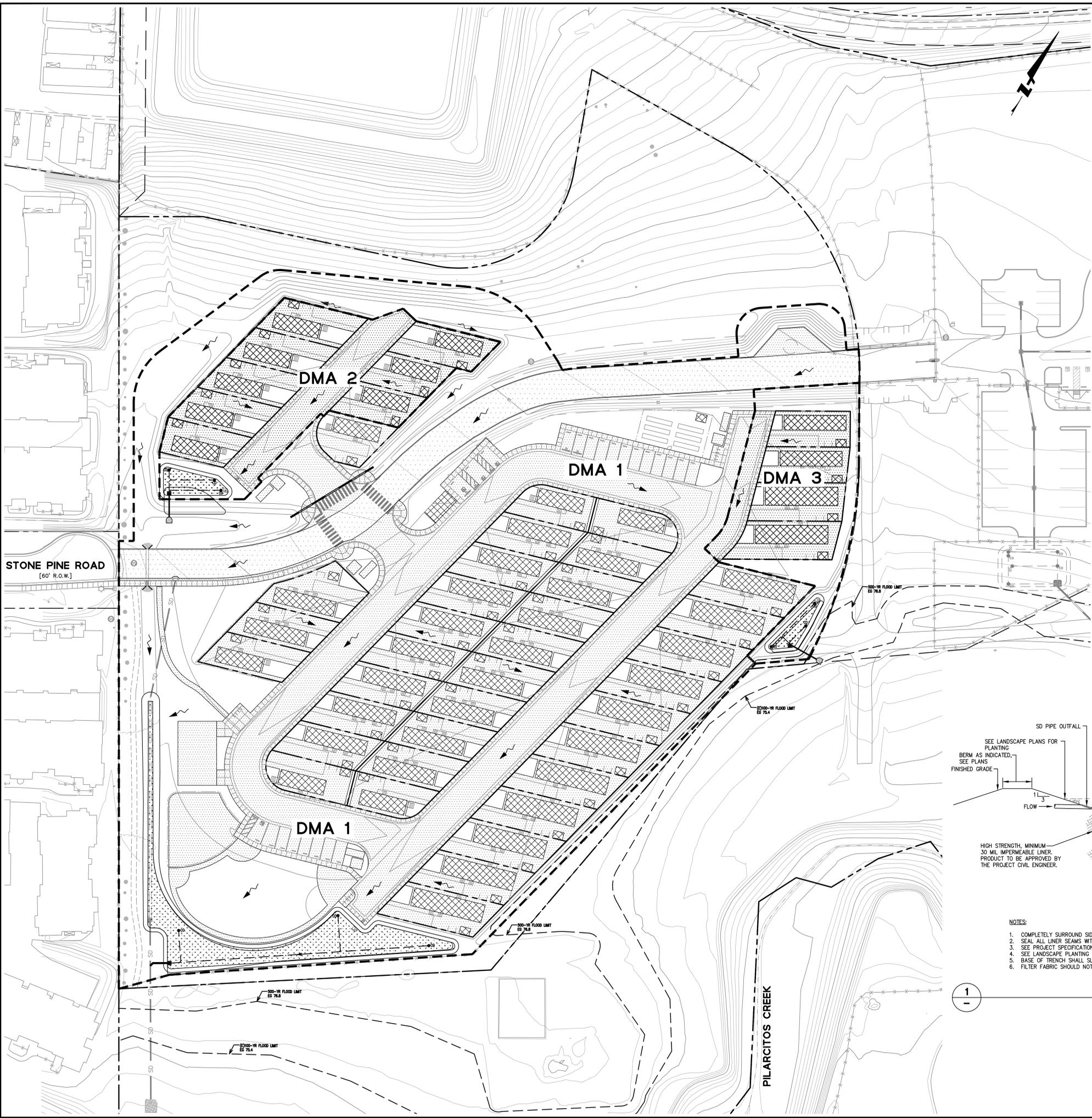
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**STORMWATER CONTROL PLAN**  
**STONE PINE COVE**  
**880 STONE PINE ROAD**  
SAN MATEO COUNTY



Date	11/29/2023
Scale	1" = 30'
Design	DJP
Drawn	DJG
Approved	DJL
Lab. No.	20231129-15
Drawing Number:	<b>C3.1</b>

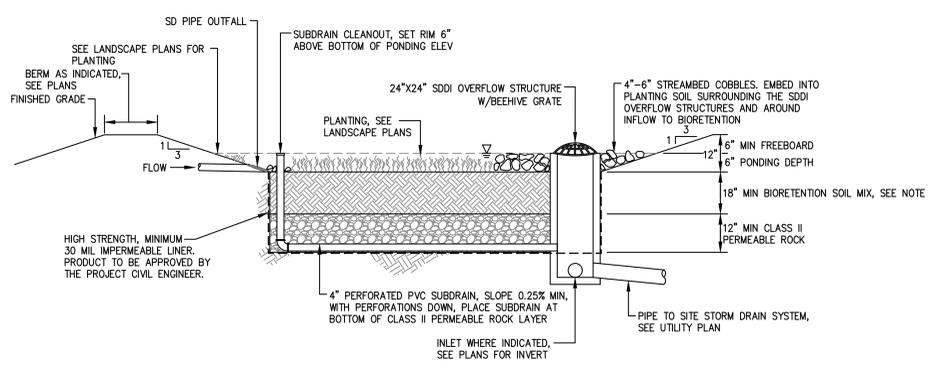


**LEGEND:**

- DMA BOUNDARY
- FLOW DIRECTION ARROW
- CREATED/REPLACED IMPERVIOUS HARDSCAPE
- CREATED/REPLACED IMPERVIOUS BUILDING
- EXISTING IMPERVIOUS HARDSCAPE RETAINED
- EXISTING IMPERVIOUS BUILDING RETAINED
- PROPOSED TREATMENT AREA

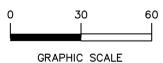
ONSITE TRIBUTARY AREA					
DRAINAGE MANAGEMENT AREA (DMA)	IMPERVIOUS AREA	PERVIOUS AREA	EFFECTIVE IMPERVIOUS AREA	REQUIRED TREATMENT AREA	PROVIDED TREATMENT AREA
DMA 1	130,770	72,790	138,049	5,522	5,540
DMA 2	17,220	3,535	17,574	703	800
DMA 3	9,450	6,435	10,094	404	515
<b>TOTAL</b>	<b>157,440</b>	<b>82,760</b>	<b>165,717</b>	<b>6,629</b>	<b>6,855</b>

- BIOTREATMENT AREAS ARE SIZED TO TREAT 4% OF EFFECTIVE IMPERVIOUS AREA IN DMA'S 1-3.
- EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 0.1 TIMES THE TOTAL PERVIOUS AREA PER THE SAN MATEO COUNTY C.3 MANUAL.



- NOTES:**
- COMPLETELY SURROUND SIDES AND BOTTOM OF BIOTREATMENT AREA WITH IMPERMEABLE LINER. NO INFILTRATION INTO SURROUNDING SOIL IS PERMITTED.
  - SEAL ALL LINER SEAMS WITH WATERPROOF TAPE AS RECOMMENDED BY LINER MANUFACTURER.
  - SEE PROJECT SPECIFICATIONS FOR BIOTREATMENT SOIL MIX.
  - SEE LANDSCAPE PLANTING PLAN FOR TREE LOCATIONS AND OTHER PLANT SPECIES IN BIOTREATMENT AREA.
  - BASE OF TRENCH SHALL SLOPE AT 0.25% TO PARALLEL UNDERDRAIN.
  - FILTER FABRIC SHOULD NOT BE USED IN OR AROUND THE UNDERDRAIN OR BETWEEN THE BSM AND CLASS II PERM.

**BIOTREATMENT AREA**



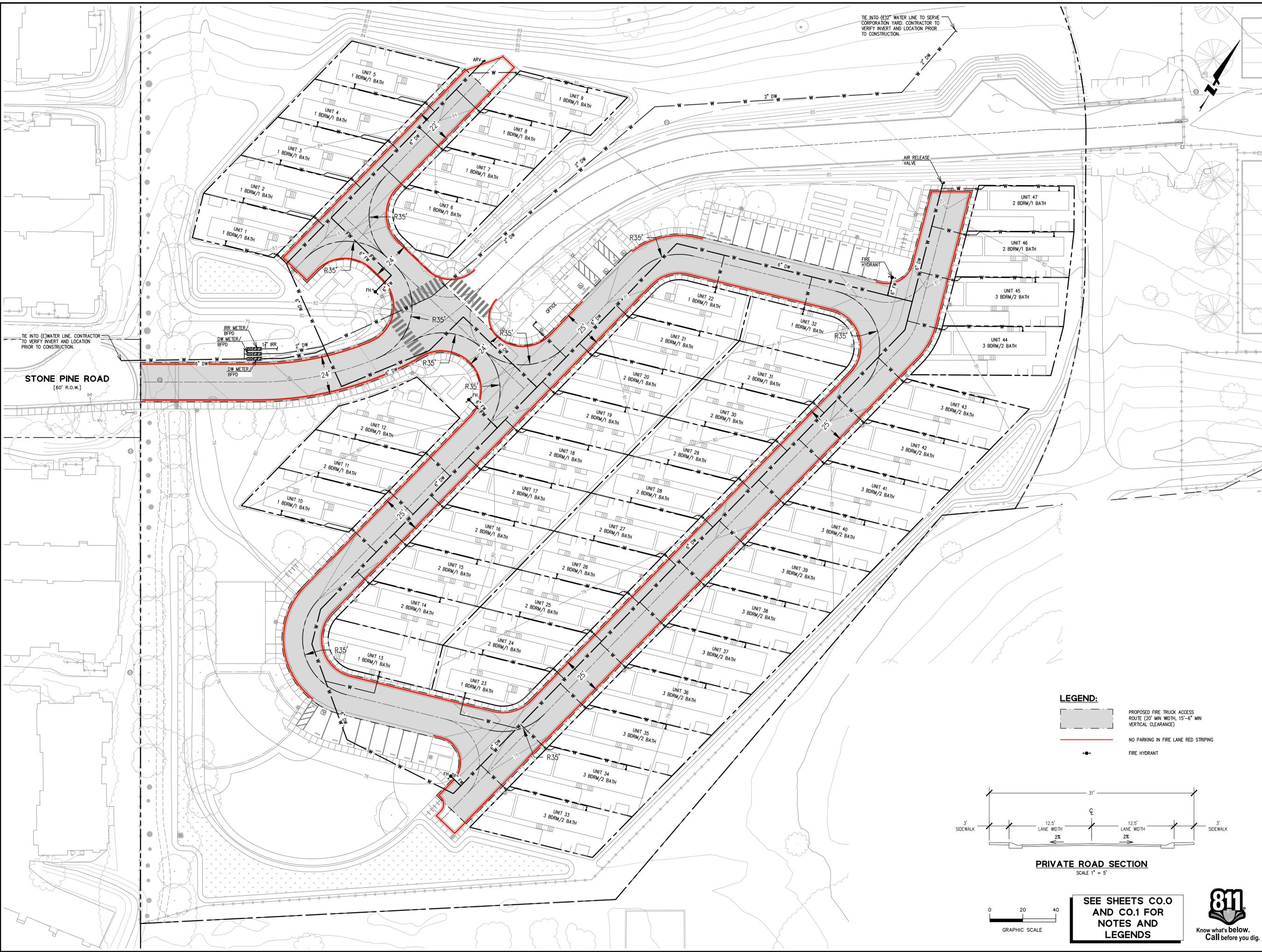
**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**



**FIRE ACCESS PLAN**  
**STONE PINE COVE**  
**880 STONE PINE ROAD**  
SAN MATEO COUNTY



Date	No.	Revisions
11/29/2023	1	Design D/P
	2	Drawn DLG
	3	Approved DJL
	4	Iss. No. 22011397-15



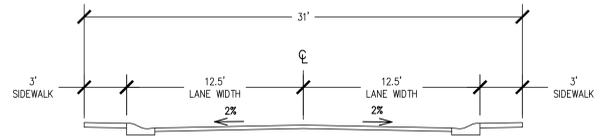
THE INTO (E)2\"/>

THE INTO (E)WATER LINE CONTRACTOR TO VERIFY INVERT AND LOCATION PRIOR TO CONSTRUCTION.

**STONE PINE ROAD**  
[60' R.O.W.]

**LEGEND:**

- PROPOSED FIRE TRUCK ACCESS ROUTE (20' MIN WIDTH, 15'-6\"/>
- NO PARKING IN FIRE LANE RED STRIPING
- FIRE HYDRANT



**PRIVATE ROAD SECTION**  
SCALE 1" = 5'



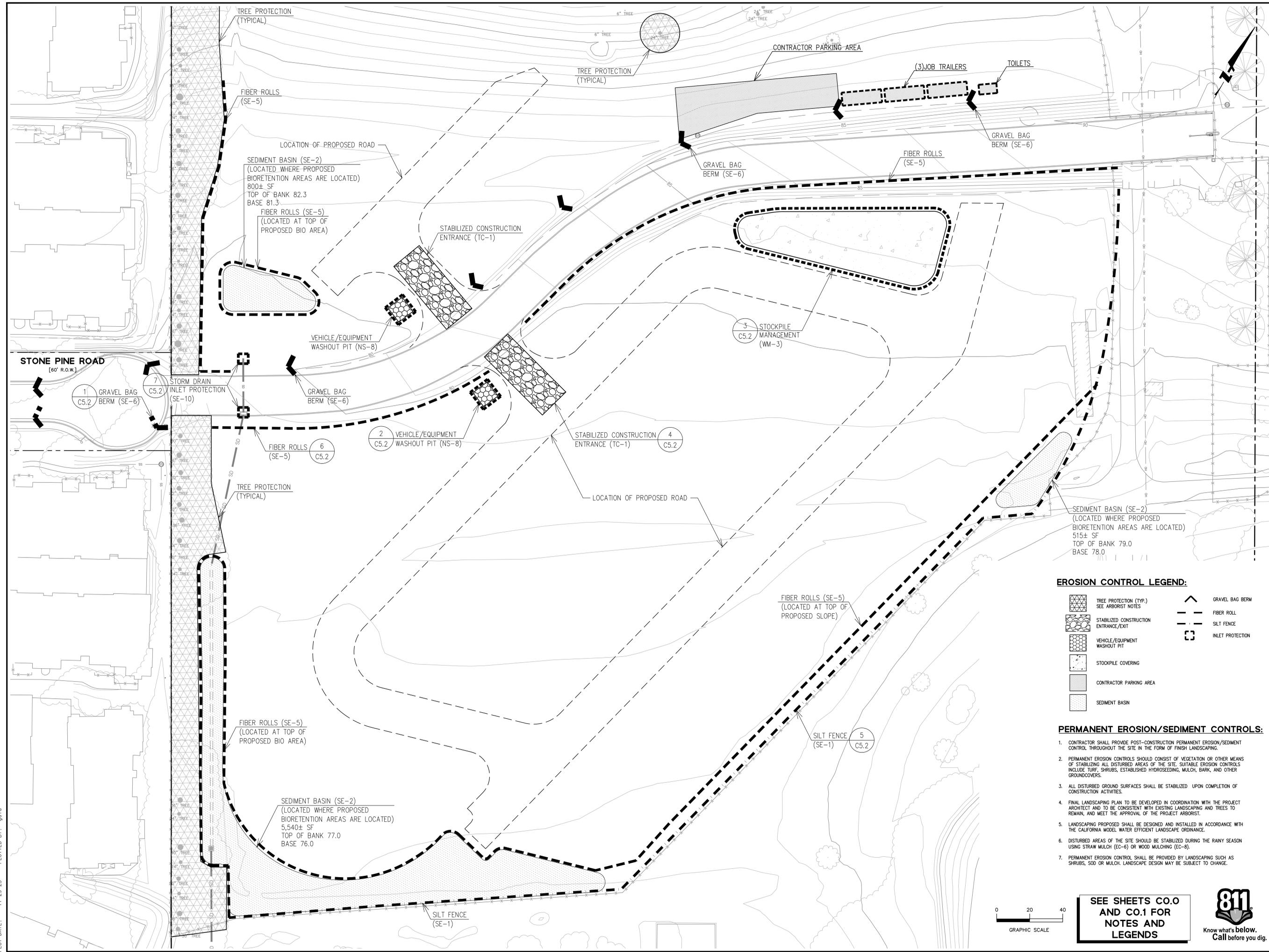
**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**





Date	No.	Revisions
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	2	Design D/P
	3	Drawn DLG
	4	Approved DJL
	5	Lab. No. 20231129-15

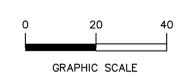
Drawing Number: **C5.1**



**EROSION CONTROL LEGEND:**

	TREE PROTECTION (TYP.) SEE ARBORIST NOTES		GRAVEL BAG BERM
	STABILIZED CONSTRUCTION ENTRANCE/EXIT		FIBER ROLL
	VEHICLE/EQUIPMENT WASHOUT PIT		SILT FENCE
	STOCKPILE COVERING		INLET PROTECTION
	CONTRACTOR PARKING AREA		
	SEDIMENT BASIN		

- PERMANENT EROSION/SEDIMENT CONTROLS:**
- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
  - PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
  - ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
  - FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARBORIST.
  - LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
  - DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
  - PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

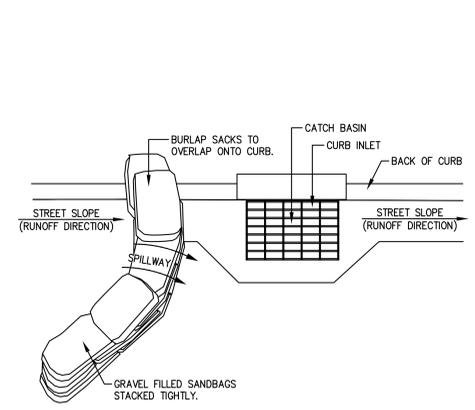


**SEE SHEETS C0.0 AND C0.1 FOR NOTES AND LEGENDS**

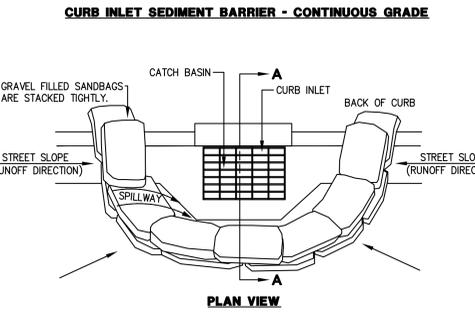


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PLOTTED BY: gold

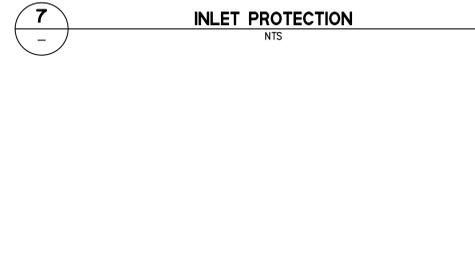
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11/28/2023	AS SHOWN	
	Design	DJP
	Drawn	DJG
	Approved	DJL
	Lab. No.	20231387-15



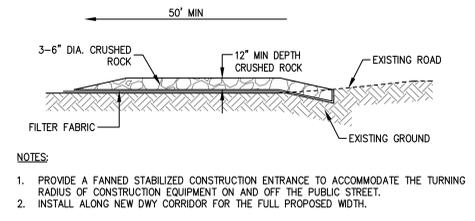
- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
  2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
  3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW. TOP OF SPILLWAY SHALL BE LOWER THAN TOP OF CURB.
  4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



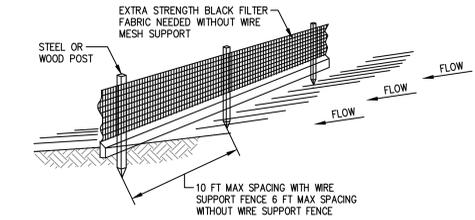
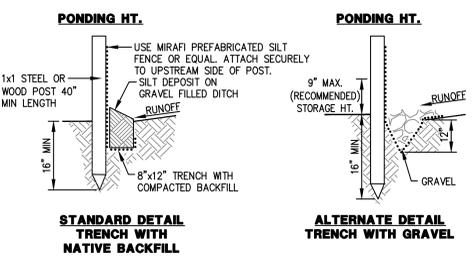
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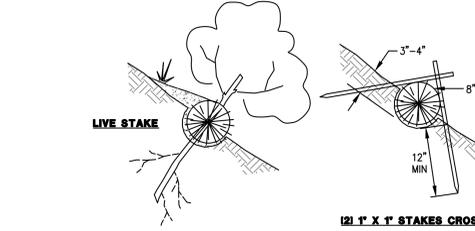
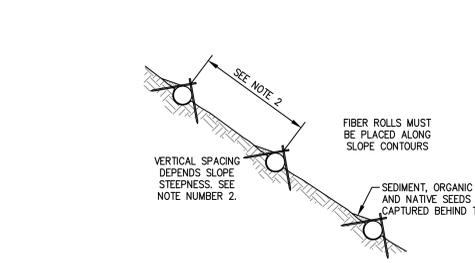
**7** INLET PROTECTION  
NTS



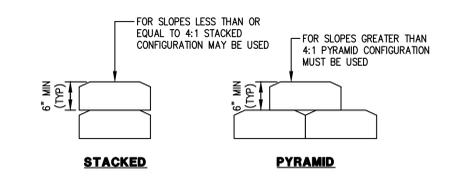
**4** STABILIZED CONSTRUCTION ENTRANCE  
NTS



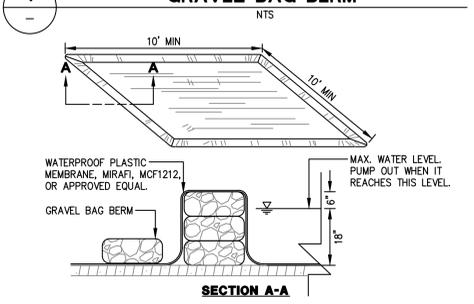
**5** SILT FENCE  
NTS



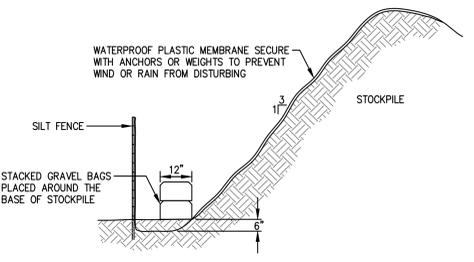
**6** FIBER ROLL  
NTS



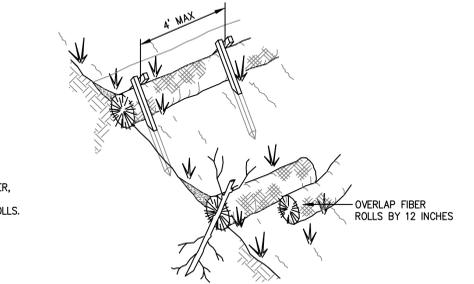
**1** GRAVEL BAG BERM  
NTS



**2** VEHICLE/EQUIPMENT WASHOUT PIT  
NTS



**3** STOCKPILE COVERING  
NTS



- NOTES:**
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3\"/>
  1. VERTICAL SPACING FOR SLOPE INSTALLATIONS:  
SLOPE OF 2:1 OR GREATER = 10 FEET APART  
SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART  
SLOPE OF 4:1 OR FLATTER = 20 FEET APART
  2. INSPECT AND REPAIR FIBER ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

Date	Revisions	No.
11/26/2023	Scale AS SHOWN	
	Design DFP	
	Drawn DLG	
	Approved DJL	
	Lab. No. 202311267-15	

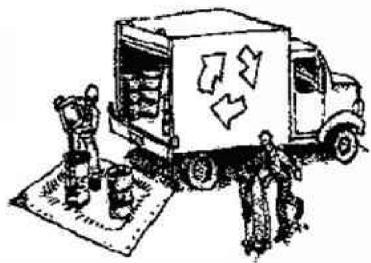


SAN MATEO COUNTYWIDE  
**Water Pollution Prevention Program**  
Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



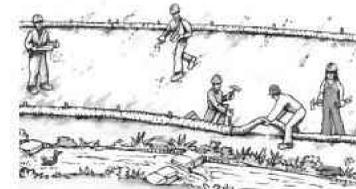
- Non-Hazardous Materials**
- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - ❑ Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - ❑ Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
  - ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



- Maintenance and Parking**
- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
  - ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center. (800) 852-7550 (24 hours).

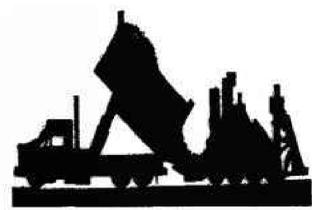
## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soils**
- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
    - Unusual soil conditions, discoloration, or odor.
    - Abandoned underground tanks.
    - Abandoned wells
    - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
  - ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
  - ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
  - ❑ Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
  - ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
  - ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



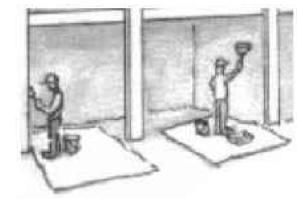
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



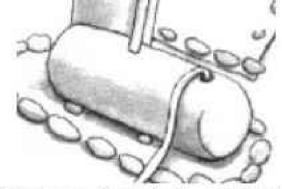
- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



- Painting Cleanup and Removal**
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
  - ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
  - ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
  - ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
  - ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

**STONE PINE TRAFFIC CALMING IMPROVEMENTS**  
**STONE PINE COVE**  
**880 STONE PINE ROAD**  
SAN MATEO COUNTY

HALF MOON BAY



Date	No.	Revisions
11/29/2023	1	Design D&P
	2	Drawn DLG
	3	Approved DJL
	4	Lab. No. 2023-1397-15

**C6.1**  
OF

**SIGNING AND STRIPING NOTES:**

- ALL SIGNING, STRIPING, AND MARKINGS SHALL CONFORM TO THE 2022 CALTRANS STANDARDS AND THE 2014 MUTCD UNLESS NOTED TO BE PER CITY STANDARDS.
- ALL SIGNS SHALL BE INSTALLED 18" OFF THE FACE OF CURB OR EDGE OF TRAVELED PATH UNLESS OTHERWISE NOTED.
- RECTANGULAR RAPID FLASHING BEACONS SHALL BE PROVIDED WITH POLERA IDETECT APS BUTTONS OR APPROVED EQUIVALENT.
- WHERE THE FOLLOWING SYMBOLS OCCUR ON THE DRAWINGS PROVIDE THE SPECIFIED SIGNING AND/OR STRIPING:
  - 4" THERMOPLASTIC WHITE STRIPE 2' OFFSET FROM FACE OF CURB UNLESS OTHERWISE NOTED.
  - CROSSWALK STRIPING SHALL BE 2' WIDE AND 8' LONG THERMOPLASTIC WHITE STRIPES ALIGNED WITH CORRESPONDING CURB RAMP. SPACE STRIPES 4' ON CENTER.
  - YIELD LINES SHALL BE ROW OF SOLID WHITE ISOSCELES TRIANGLES WITH 12"-24" BASE WIDTH AND HEIGHT EQUAL TO 1.5 TIMES THE BASE. SPACE BETWEEN TRIANGLES SHOULD BE 3'-12".
  - SHARROWS TO BE LOCATED AT LEAST 4' FROM FACE OF CURB, IMMEDIATELY AFTER AN INTERSECTION AND SPACED AT INTERVALS NOT GREATER THAN 250' THEREAFTER.
  - DETECTABLE WARNING SURFACE: 36" MIN. IN DIRECTION OF TRAVEL WHERE SHOWN. SIGN PER CALTRANS AND MUTCD STANDARDS. SEE PLANS FOR DETAILS.



DRAWING NAME: K:\2023\211367-15\_HMB\_Corridor\_Housing\ENG\hmsheet.s.dwg  
PLOT DATE: 11-29-23  
PLOTTED BY: gold

**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**

0 20 40  
GRAPHIC SCALE



**STONE PINE TRAFFIC CALMING IMPROVEMENTS**  
**STONE PINE COVE**  
**880 STONE PINE ROAD**  
SAN MATEO COUNTY



Date	No.	Revisions
11/26/2023	1	Design D/P
		Drawn DLG
		Approved DJL
		Lab. No. 202311267-15



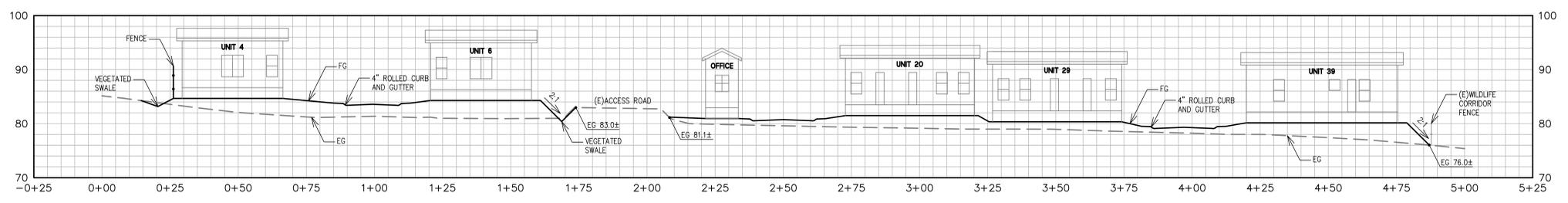
SEE SHEET C6.1

SEE SHEETS C0.0 AND C0.1 FOR NOTES AND LEGENDS

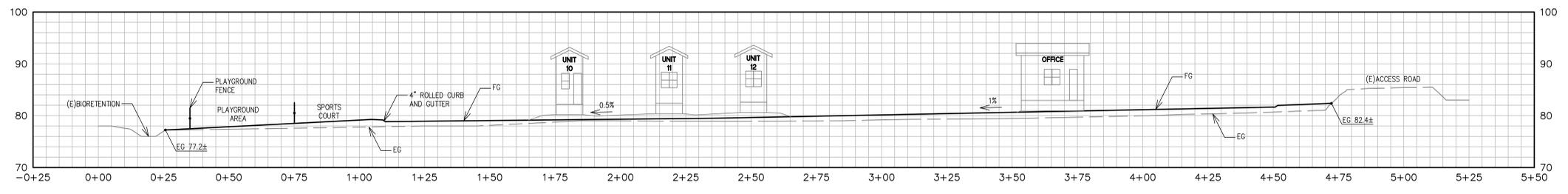




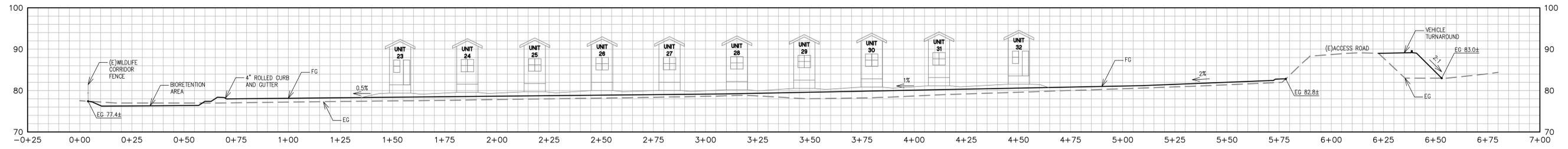
No.	Date	Revisions



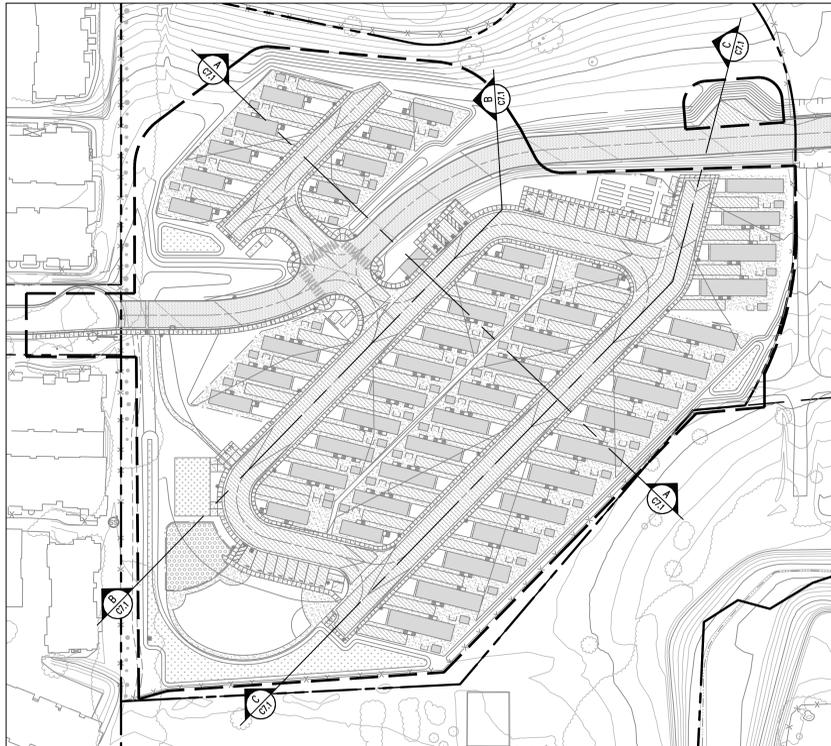
**SECTION A-A**  
SCALE: 1:20 HORIZONTAL  
1:10 VERTICAL



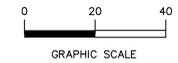
**SECTION B-B**  
SCALE: 1:20 HORIZONTAL  
1:10 VERTICAL



**SECTION C-C**  
SCALE: 1:20 HORIZONTAL  
1:10 VERTICAL



**SITE SECTION KEYMAP**  
N.T.S.



**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**



Date	No.	Revisions
11/28/2023		
NO SCALE		
Design D/P		
Drawn DLG		
Approved DJL		
Job No 2023-1387-15		



VIEW #1 - ENTRY POINT, LOOKING SOUTHEAST



VIEW #2 - MAIN INTERSECTION



VIEW #3 - MANAGERS UNIT, LOOKING SOUTHWEST



VIEW #4 - COMMUNITY PARK



VIEW #5 - COMMUNITY GARDEN, LOOKING SOUTH



VIEW #6 - STREET LEVEL, LOOKING SOUTH



APPROXIMATE LIMITS OF NEW PLANTINGS IN THIS AREA SHALL FOLLOW LIMITS OF GRADING - SEE CIVIL DRAWINGS

FENCING SCREENS BACK OF UNITS

CYPRESS COVE TOWNHOMES

ELECTRICAL EQUIPMENT

SIDEWALK EXTENSION & PLANTING BUFFER

STONE PINE ROAD

PROPERTY MANAGEMENT UNIT

FENCING SCREENS BACK OF UNITS

INDICATES FUTURE TRAIL CONNECTION TO PILARCITOS CREEK TRAIL CORRIDOR

TRAIL (4' WIDE, PERVIOUS)

BIKE PARKING

MULTI-USE HARDSCAPE AREA (±30' x 50'), ASPHALT

CYPRESS COVE TOWNHOMES

PLAY STRUCTURE AREA (±2,600 sf) w/ SAFETY SURFACING AND LOW FENCING FOR ENCLOSURE

PICNIC AREAS (VARIOUS SIZES) w/ ADA-ACCESSIBLE PICNIC TABLE, PERVIOUS PAVING

TRAIL (4' WIDE, PERVIOUS)

LIMITS OF CONSERVATION TRAIL EASEMENT (Ex. No. 13, DN 2021-007595, S.L.D.)

RECREATION LAWN (±5,400 sf)

GUEST PARKING (8 STALLS)

BIKE PARKING

ELECTRICAL EQUIPMENT

LANDSCAPE SCREENING ALONG BACK OF UNITS

MODIFIED EXISTING WILDLIFE EXCLUSIONARY FENCING PER CIVIL DRAWINGS

SEE SHEET L1.2 FOR SCHEMATIC IMAGERY OF TYPICAL AMENITY AREAS

APPROXIMATE LIMITS OF NEW PLANTINGS IN THIS AREA SHALL FOLLOW LIMITS OF GRADING - SEE CIVIL DRAWINGS

PROPERTY MANAGEMENT OFFICE (±288 sf), 3 DEDICATED PARKING STALLS

GUEST PARKING (12 STALLS)

FENCED RESIDENTS' GARDEN w/ TOOL STORAGE, RAISED BEDS, SEATING, & PERMEABLE MULCH SURFACING

ELECTRICAL EQUIPMENT

EXISTING ASPHALT ACCESS ROAD

EXISTING 50'-0" WIDE WILDLIFE CORRIDOR TO REMAIN

BIKE PARKING

EXISTING MODIFIED WILDLIFE EXCLUSIONARY FENCING PER CIVIL DRAWINGS

LIMITS OF CONSERVATION TRAIL EASEMENT (Ex. No. 13, DN 2021-007595, S.L.D.)

**SITE PLAN LEGEND**

- ASPHALT DRIVE AISLE AND ROADWAY: w/ 2" ROLLED GUTTERS & 3" CONCRETE SIDEWALKS ON BOTH SIDES. SEE CIVIL DRAWINGS.
- LANDSCAPE AREA: MIX OF NATIVE AND ADAPTED LOW WATER-USE SHRUBS, GROUNDCOVERS, AND GRASSES (±50,700 sf). SEE SCHEMATIC PLANTING PLAN & PLANT LISTS.
- STORMWATER MANAGEMENT & BIORETENTION AREAS (±11,000 sf): SEE CIVIL DRAWINGS FOR BIORETENTION SPECIFICATIONS. SEE SCHEMATIC PLANTING PLAN FOR SPECIES LISTS.
- SOFTSCAPE (±3,700 sf): PERVIOUS BARK MULCH SURFACING OR ENGINEERED WOOD FIBERS.
- PERVIOUS PAVING (±40,000 sf): STABILIZED DECOMPOSED GRANITE.

**OPEN SPACE**

(PER HMBMC §18.17.030)

--- INDICATES APPROXIMATE LIMITS OF PROPOSED COMMUNITY OPEN SPACE.

A MINIMUM OF 300 sf FOR EACH UNIT DEVELOPED SHALL BE DEVOTED TO COMMUNITY OPEN SPACE AVAILABLE FOR THE USE OF ALL RESIDENTS.

UNITS PROPOSED: 47  
 MIN. OPEN SPACE REQUIRED: 14,100 sf (47 x 300 sf)  
 OPEN SPACE PROVIDED: 24,100 sf (+10,000 sf ABOVE MIN. REQUIRED)

**PARKING**

(PER HMBMC §18.17.030 & §18.36.050)

**RESIDENT PARKING:**

TWO OFF-STREET PARKING SPACES PROVIDED PER UNIT

**GUEST PARKING:**

OFF-STREET PARKING SHALL BE PROVIDED AT A RATIO OF ONE SPACE FOR EACH FOUR UNITS

UNITS PROPOSED: 47  
 GUEST PARKING REQUIRED: 12 SPACES (4:1 RATIO)  
 GUEST PARKING PROVIDED: 20 SPACES (1 ADA)

**OFFICE PARKING:**

ONE OFF-STREET PARKING SPACE SHALL BE PROVIDED FOR EACH 200 sf OF OFFICE FLOOR AREA

PROPOSED OFFICE: 288 sf  
 OFFICE PARKING REQUIRED: 2 SPACES  
 OFFICE PARKING PROVIDED: 3 SPACES (2 ADA)

**TREES**

(PER HMBMC §7.40)

EXISTING HERITAGE TREES TO BE REMOVED: 12 SEE TREE PLAN, SHEET L1.1 FOR COMPLETE LIST OF TREES PROPOSED FOR REMOVAL.

REPLACEMENT TREES REQUIRED: 21 (24" BOX MINIMUM) SEE SCHEMATIC PLANTING PLAN & PLANT LISTS.

PROPOSED NEW TREES: 68 (24" BOX MINIMUM)

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RE-USE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.



### TREES TO BE REMOVED

TOTAL TREES TO BE REMOVED: 106  
TOTAL HERITAGE TREES TO BE REMOVED: 12  
TOTAL # OF REPLACEMENT TREES REQUIRED: 21  
ALL HERITAGE TREES = 1:1 REPLACEMENT RATIO EXCEPT WILLOW = 10:1 REPLACEMENT RATIO

#	SCIENTIFIC NAME	DBH (INCHES)	HERITAGE? (Y/N)
47	SALIX LUCIDA	7	Y
48	EUCALYPTUS GUNNII	4	N
49	ALNUS RHOMBIFOLIA	5	N
50	PINUS RADIATA	10	N
51	PINUS RADIATA	10	N
52	PINUS RADIATA	10	N
53	EUCALYPTUS GLOBULUS	13	N
54	HESPEROCYPARIS MACROCARPA	15	Y
55	PINUS RADIATA	13	Y
56	PINUS RADIATA	15	Y
57	PINUS RADIATA	11	N
58	HESPEROCYPARIS MACROCARPA	9	N
59	HESPEROCYPARIS MACROCARPA	10	N
60	HESPEROCYPARIS MACROCARPA	7	N
61	HESPEROCYPARIS MACROCARPA	9	N
62	HESPEROCYPARIS MACROCARPA	8	N
63	HESPEROCYPARIS MACROCARPA	9	N
64	HESPEROCYPARIS MACROCARPA	8	N
65	HESPEROCYPARIS MACROCARPA	7	N
66	HESPEROCYPARIS MACROCARPA	7	N
67	HESPEROCYPARIS MACROCARPA	6	N
68	HESPEROCYPARIS MACROCARPA	11	N
69	HESPEROCYPARIS MACROCARPA	6	N
70	HESPEROCYPARIS MACROCARPA	12	Y
71	ACACIA MELANOXYLON	6	N
72	HESPEROCYPARIS MACROCARPA	5	N
73	EUCALYPTUS GLOBULUS	26	N
74	PINUS RADIATA	8	N
75	ACACIA MELANOXYLON	6	N
76	HESPEROCYPARIS MACROCARPA	13	Y
77	HESPEROCYPARIS MACROCARPA	8	N
78	HESPEROCYPARIS MACROCARPA	5	N
79	PINUS RADIATA	12	Y
80	HESPEROCYPARIS MACROCARPA	5	N
81	EUCALYPTUS GLOBULUS	13	N
82	EUCALYPTUS GLOBULUS	16	N
83	EUCALYPTUS GLOBULUS	15	N
84	HESPEROCYPARIS MACROCARPA	10	N
85	ACACIA MELANOXYLON	4	N
86	QUERCUS AGRIFOLIA	4	N
87	HESPEROCYPARIS MACROCARPA	8	N
88	PINUS RADIATA	12	Y
89	EUCALYPTUS GLOBULUS	6	N
90	PINUS RADIATA	11	N
91	PINUS RADIATA	14	Y
92	PINUS RADIATA	15	Y
93	EUCALYPTUS GLOBULUS	17	N
94	PINUS RADIATA	9	N
95	PINUS RADIATA	7	N
96	EUCALYPTUS GLOBULUS	26	N
97	EUCALYPTUS GLOBULUS	16	N
98	PINUS RADIATA	8	N
99	PINUS RADIATA	5	N
100	PINUS RADIATA	5	N
101	PINUS RADIATA	10	N
102	PINUS RADIATA	8	N
103	PINUS RADIATA	7	N
104	PINUS RADIATA	11	N
105	PINUS RADIATA	7	N
106	PINUS RADIATA	8	N
107	PINUS RADIATA	8	N
108	PINUS RADIATA	8	N
115	PINUS RADIATA	8	N
116	PINUS RADIATA	8	N
117	PINUS RADIATA	7	N
118	PINUS RADIATA	4	N
119	PINUS RADIATA	10	N
120	PINUS RADIATA	8	N
121	PINUS RADIATA	10	N
122	PINUS RADIATA	10	N
123	PINUS RADIATA	8	N
124	PINUS RADIATA	10	N
125	QUERCUS AGRIFOLIA	3	N
126	QUERCUS AGRIFOLIA	3	N
127	EUCALYPTUS GLOBULUS	11	N
128	EUCALYPTUS GLOBULUS	12	N
129	PINUS RADIATA	7	N
130	EUCALYPTUS GLOBULUS	14	N
131	PINUS RADIATA	8	N
132	EUCALYPTUS GLOBULUS	13	N
133	PINUS RADIATA	11	N
134	PINUS RADIATA	11	N
135	PINUS RADIATA	7	N
136	PINUS RADIATA	7	N
137	EUCALYPTUS GLOBULUS	10	N
138	EUCALYPTUS GLOBULUS	14	N
139	EUCALYPTUS GLOBULUS	12	N
140	HESPEROCYPARIS MACROCARPA	8	N
141	PINUS RADIATA	11	N
142	PINUS RADIATA	11	N
143	PINUS RADIATA	12	Y
144	HESPEROCYPARIS MACROCARPA	5	N
145	HESPEROCYPARIS MACROCARPA	6	N
146	HESPEROCYPARIS MACROCARPA	5	N
147	PINUS RADIATA	14	Y
148	HESPEROCYPARIS MACROCARPA	11	N
149	PINUS RADIATA	9	N
150	HESPEROCYPARIS MACROCARPA	5	N
151	HESPEROCYPARIS MACROCARPA	5	N
152	HESPEROCYPARIS MACROCARPA	6	N
153	HESPEROCYPARIS MACROCARPA	2	N
154	HESPEROCYPARIS MACROCARPA	2	N
155	ALNUS RHOMBIFOLIA	3	N
156	ALNUS RHOMBIFOLIA	3	N
157	ALNUS RHOMBIFOLIA	4	N
158	ALNUS RHOMBIFOLIA	4	N

### TREE REMOVAL LEGEND

- EXISTING HERITAGE TREE TO BE REMOVED >12" DBH, VARIES PER PLAN
- EXISTING TREE TO BE REMOVED <12" DBH, VARIES PER PLAN
- EXISTING TREE TO REMAIN DBH VARIES PER PLAN
- TREE PROTECTION FENCING

### TREE PROTECTION NOTES

- THE FOLLOWING TREE PROTECTION MEASURES SHOULD BE APPLIED TO ALL TREES THAT ARE TO BE RETAINED:
- PRE-CONSTRUCTION:**
    - A PRE-CONSTRUCTION MEETING SHALL BE HELD TO DISCUSS TREE PROTECTION MEASURES AND ENSURE ALL TREE PROTECTION MEASURES HAVE BEEN PROPERLY INSTALLED.
    - ANY CLEARANCE PRUNING THAT IS DEEMED NECESSARY FOR CONSTRUCTION SHALL BE COMPLETED USING THE MINIMAL DOSE NECESSARY AND SHALL BE APPROVED BY THE PROJECT ARBORIST PRIOR TO PRUNING.
    - TREE PROTECTION ZONES SHALL BE ESTABLISHED AND ENFORCED TO PREVENT SOIL COMPACTION, GRADE CHANGE, AND ROOT DAMAGE.
    - TREE PROTECTION AREAS SHALL BE ESTABLISHED WITH FIVE-FOOT HIGH CHAIN LINK FENCING MOUNTED ON 2" DIAMETER GALVANIZED IRON POSTS, DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST 2', AT NO MORE THAN 10' SPACING.
    - THE DIAMETER OF THE TPZ SHALL BE DETERMINED BY THE TRUNK DIAMETER OF TREES TO BE PROTECTED. FOR EVERY 1" OF TRUNK DIAMETER, THE TPZ SHALL EXTEND 1'. FOR EXAMPLE, A 10" DIAMETER TREE SHALL HAVE A TPZ WITH A RADIUS OF 10' AROUND THE TREE.
    - IN AREAS WHERE THIS TPZ SIZE IS GREATER THAN WHAT CONSTRUCTION CAN ALLOW, THE CANOPY DRIFLINE SHALL BE THE MINIMUM RADIUS FOR THE TPZ.
    - FOR TREES GROWING ALONG THE EAST PERIMETER OF THE PROPERTY, TPZs CAN BE COMBINED TO FORM ONE LARGE TPZ FOR TREES IN THIS AREA. ADDITIONALLY, FENCING IS NOT REQUIRED ON THE WEST SIDE OF THE TREES AS THE PROPERTY LINE FENCING IS ALREADY IN PLACE.
    - A "WARNING: DO NOT ENTER" SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH TREE PROTECTIVE FENCE.
    - A 4" LAYER OF CHIP BARK MULCH SHALL BE PLACED ON TOP OF THE TPZ AND ENCLOSED WITHIN THE TREE PROTECTIVE FENCING. THIS MULCH SHALL ONLY BE MOVED FOR LANDSCAPE PLANTS TO BE INSTALLED AFTER ALL EXCAVATION AND SOIL COMPACTION WORK HAS BEEN COMPLETED.
    - ESTABLISH AN AREA OUTSIDE OF ALL THE TPZs OR ON PREEXISTING HARDSCAPE TO STORE SEDIMENT AND BACKFILL. ENSURE NO FLOW PATHS LEAD TO TPZs FROM SEDIMENT OR BACKFILL PILES IF PRESENT.
    - NO MATERIAL OR EQUIPMENT SHALL BE STORED OR PLACED WITHIN THE TPZ OF PRESERVED TREES.
  - CONSTRUCTION:**
    - IN AREAS WHERE CONSTRUCTION ACTIVITY IS TO TAKE PLACE BENEATH THE CANOPY OF EXISTING TREES, SUCH AS THE WALKING PATH, THE TPZ SHALL BE MOVED TO THE GREATEST DISTANCE POSSIBLE FROM THE SUBJECT TREE WHILE ALSO ALLOWING FOR CONSTRUCTION TO PROCEED. ONCE CONSTRUCTION IN THE SUBJECT AREA HAS OCCURRED, THE TPZ SHALL BE MOVED BACK TO BE PREESTABLISHED BOUNDARY.
    - PROJECT ARBORIST SHALL CONDUCT SITE OBSERVATIONS DURING ANY CONSTRUCTION ACTIVITY THAT IS TO TAKE PLACE BENEATH THE CANOPY DRIFLINE OF TREE.
    - ANY EXCAVATION ACTIVITY THAT IS TO TAKE PLACE IN THESE AREAS IS PROHIBITED FROM USING BACKHOES, TREAD TRACTORS, OR ANY OTHER HEAVY VEHICLES.
    - METHODS PERMITTED INCLUDE HAND-DIGGING, HYDRAULIC OR PNEUMATIC AIR EXCAVATION.
    - DURING EXCAVATION ACTIVITY, SHOULD ANY ROOTS BE ENCOUNTERED, ROOT PRUNING SHALL BE DONE WITH HAND TOOLS IN ORDER TO MAKE CLEAN CUTS THAT FACE THE EXCAVATED AREA.
    - ROOTS LARGER THAN 2.5" SHALL NOT BE CUT WITHOUT PROJECT ARBORIST PRIOR APPROVAL.
    - ROOTS LARGER THAN 2.5" THAT ARE CUT SHALL IMMEDIATELY BE SHADED AND KEPT MOIST WITH WET BURLAP OR SIMILAR MATERIAL UNTIL THEY CAN BE RECOVERED.
    - NO PRUNING SHALL BE PERFORMED ON TREES THAT HAVE ROOTS IMPACTED BY CONSTRUCTION ACTIVITY FOR AT LEAST ONE YEAR FOLLOWING THE COMPLETION OF THE PROJECT OTHER THAN NECESSARY MAINTENANCE SUCH AS BUILDING CLEARANCE.
  - POST-CONSTRUCTION:**
    - PROJECT ARBORIST SHALL CONDUCT MONITORING TWICE A YEAR FROM THE DATE OF PROJECT COMPLETION FOR NO LESS THAN TWO YEARS TO ENSURE TREES ARE IN GOOD CONDITION.

**Kikuchi + Kankel Design Group**  
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 www.kikuchikankel.com  
 Landscape Architecture | Site Planning | Environmental Design

**TREE REMOVAL PLAN**  
 STONE PINE COVE  
 880 STONE PINE ROAD  
 SAN MATEO COUNTY, CALIFORNIA

**NOT FOR CONSTRUCTION**  
 HALF MOON BAY

Date	Revisions	No.	Scale	Drawn	US	TPC
11/28/2023			1/20" = 1'-0"			

Approved:

**L1.1**

XX% SUBMITTAL - NOT FOR CONSTRUCTION

**PICNIC AREAS**



**PLAY AREAS**



**BIKE RACKS**



**BIOTREATMENT AREAS**



**NEIGHBORHOOD GARDEN**



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**L1.2**

Drawing Number:

Date: 11/28/2023  
 Scale: AS NOTED  
 Drawn: JLS  
 Approved: TPC

Revisions	No.	Date

NOT FOR CONSTRUCTION  
 HALF MOON BAY

LANDSCAPE IMAGERY  
 STONE PINE COVE  
 880 STONE PINE ROAD  
 SAN MATEO COUNTY

CALIFORNIA



XX% SUBMITTAL - NOT FOR CONSTRUCTION



APPROXIMATE LIMITS OF NEW PLANTINGS IN THIS AREA SHALL FOLLOW LIMITS OF GRADING - SEE CIVIL DRAWINGS

APPROXIMATE LIMITS OF NEW PLANTINGS IN THIS AREA SHALL FOLLOW LIMITS OF GRADING - SEE CIVIL DRAWINGS

### SCHEMATIC PLANTING LEGEND

	TREES: NATIVE OR ADAPTED MODERATE TO LARGE TREES FOR SHADE AND/OR SCREENING	
	EXISTING TREE TO REMAIN. SEE TREE PLAN, SHEET L2.1, AND PROJECT ARBORIST'S REPORT FOR TREE HEALTH & DISPOSITION AND ADDITIONAL INFORMATION.	
	HIGH & MODERATE DENSITY PLANTING: MIX OF NATIVE AND ADAPTED SHRUBS, GROUNDCOVERS, AND HERBACEOUS PLANTS FOR SCREENING AND SEASONAL INTEREST	#9,400 S.F.
	LOW DENSITY PLANTING: MIX OF NATIVE AND ADAPTED SHRUBS, AND HERBACEOUS PLANTS FOR SCREENING AND SEASONAL INTEREST	#13,300 S.F.
	SCREENING & BANK STABILIZATION PLANTING: NATIVE SHRUBS & GROUNDCOVERS INTENDED TO PROVIDE STRUCTURE TO RECENTLY GRADED AREAS AND PROVIDE PRIVACY SCREENING.	#12,100 S.F.
	EROSION CONTROL NATIVE SEED MIX: BLEND OF NATIVE GRASSES AND FORBS TO STABILIZE RECENTLY GRADED AREAS.	#15,200 S.F.
	BIOTREATMENT AREA PLANTING MIX: BLEND OF NATIVE SHRUBS, GRASSES, AND FORBS SUITABLE FOR STORMWATER TREATMENT AREAS	#10,900 S.F.
	RECREATION LAWN: DWARF FESCUE BLEND	#5,400 S.F.
	RESIDENTIAL LANDSCAPE AREAS: ADAPTED SHRUBS, GROUNDCOVER, AND SMALL TREES FOR SCREENING AND SEASONAL INTEREST.	#7,200 S.F. #150 S.F. PER LOT
	VEGETABLE PLANTERS: DEDICATED AREAS FOR RESIDENT GARDENS; PLANT TYPES VARY AS SELECTED.	#400 S.F.
	PROPOSED HARDSCAPE (PERVIOUS OR IMPERVIOUS): SURFACE VARIES BY LOCATION. SEE SITE PLAN, SHEET L1.0.	#130,600 S.F.
	PROPOSED SOFTSCAPE: SURFACES COVERED WITH BARK MULCH (VEGETABLE GARDEN) OR ENGINEERED WOOD FIBERS (PLAY AREA). PERVIOUS. SEE SITE PLAN, SHEET L1.0.	#4,300 S.F.

### SCHEMATIC PLANTING NOTES

- PERMANENT & TEMPORARY IRRIGATION ZONES SHALL BE PROVIDED FOR PLANTING AREAS AS SHOWN ON THE SCHEMATIC IRRIGATION PLAN, SHEET L3.0.
- SEEDED AREAS SHALL BE INSTALLED JUST PRIOR TO OR DURING THE RAINY SEASON (NOVEMBER-FEBRUARY). WHEN THIS IS NOT POSSIBLE, A TEMPORARY SYSTEM SHALL BE INSTALLED TO PROVIDE IRRIGATION THROUGH THE PLANT ESTABLISHMENT PERIOD ONLY (TYPICAL, NO MORE THAN TWO GROWING SEASONS).
- SEE CIVIL DRAWINGS FOR LIMITS & DISPOSITION OF ALL STRUCTURES, HARDSCAPE, WALLS, AND UTILITIES.
- CONTRACTOR SHALL TAKE THE UTMOST CARE WHEN PERFORMING PLANTING ACTIVITIES UNDER THE DRIP LINES OR TREE PROTECTION ZONES (TPZs) OF EXISTING SITE TREES. SEE TREE PLAN, SHEET L2.1 & PROJECT ARBORIST'S REPORT FOR ADDITIONAL INFORMATION.
- PRIOR TO PLANTING, CONTRACTOR SHALL OBTAIN A COMPLETE SOIL ANALYSIS FROM AT LEAST THREE (3) LOCATIONS IDENTIFIED BY THE PROJECT LANDSCAPE ARCHITECT TO DETERMINE SOIL AMENDMENT REQUIREMENTS. A COPY OF THE FERTILITY ANALYSIS SHALL BE PROVIDED TO THE OWNER & CITY OF HALF MOON BAY FOR REVIEW PRIOR TO THE COMMENCEMENT OF PLANTING ACTIVITIES.
- ALL NEW PLANTING AREAS SHALL RECEIVE A 3" LAYER OF MULCH EXCEPT SEEDED AREAS.
- FINAL PLANT PIT LOCATIONS SHALL BE REVIEWED & APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.
- ADDITIONAL DETAILS PER SHEET L4.0.

Date	11/28/2023	No.	
Scale	1/20" = 1'-0"	Revisions	
Drawn	JLS	1	
Approved	TJC	2	
Drawing Number:			

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## TREES

SCIENTIFIC NAME	COMMON NAME	EVERGREEN OR DECIDUOUS?	CA or SMCo NATIVE? (1)	WATER USE (WUCOLS IV)	SUMMER IRRIG. FREQUENCY (2)	BEE/POLLINATOR FRIENDLY (2,3)	FIRE SAFE (4,5,6)
HESPEROCYPARIS MACROCARPA	(Monterey Cypress)	Evergreen	CA	MEDIUM	-	-	-
LYONOTHAMNUS FLORIBUNDUS	(Catalina Ironwood)	Evergreen	CA	LOW	1X/MO	YES (2)	YES (4)
METROSIDEROS EXCELSA	(Pohutukawa)	Evergreen	-	LOW	-	-	-
ULMUS PARVIFOLIA 'TRUE GREEN'	(Chinese Elm)	Deciduous	-	MEDIUM	-	-	-

## TYPICAL HIGH, MODERATE, & LOW DENSITY PLANTINGS

SCIENTIFIC NAME	COMMON NAME	SHRUB, GRASS, OR FORB?	CA or SMCo NATIVE? (1)	WATER USE (WUCOLS IV)	SUMMER IRRIG. FREQUENCY (2)	BEE/POLLINATOR FRIENDLY (2,3)	FIRE SAFE (4,5,6)
ARCTOSTAPHYLOS UVA-URSI	(Southern Kinnikinnick)	Shrub	CA	LOW	2X/MO MAX	YES (2,3)	YES (4,6)
ARTEMESIA CALIFORNICA	(California Sagebrush)	Shrub	SMCo	LOW	-	YES (2)	-
BACCHARIS PILULARIS 'PIGEON POINT'	(Coyote Bush)	Forb	SMCo	LOW	1X/WK MAX	YES (2,3)	YES (5)
BOUTELOUA GRACILIS 'BLONDE AMBITION'	(Blue Grama Grass)	Grass	CA	LOW	2X/MO MAX	YES (2)	-
CAREX DENSA	(Dense Sedge)	Grass	SMCo	MEDIUM	-	-	-
CEANOOTHUS GRISEUS HORIZONTALIS	(Diamond Heights Carmel Creeper)	Shrub	-	LOW	-	YES (2)	YES (6)
CEANOOTHUS THYRSIFLORUS	(California Lilac)	Shrub	SMCo	LOW	1X/MO MAX	YES (2,3)	YES (4,6)
DIETES BICOLOR	(African Iris)	Forb	-	MEDIUM	-	-	YES (5)
DIPLOCLADUS AURANTIACUS	(Sticky Monkeyflower)	Forb	SMCo	LOW	1X/MO MAX	YES (2,3)	YES (4)
EPILOBIUM CANUM	(California Fuchsia)	Shrub	SMCo	LOW	1X/MO MAX	YES (2)	YES (4,6)
ERIGERON GLAUCUS	(Seaside Fleabane)	Forb	SMCo	LOW	2X/MO MAX	YES (2)	YES (5)
ERIOGONUM LATIFOLIUM	(Coast Buckwheat)	Forb	SMCo	LOW	1X/MO MAX	YES (2)	YES (5)
FRANGULA CALIFORNICA 'MOUND SAN BRUNO'	(Coffeeberry)	Shrub	SMCo	LOW	-	YES (2,3)	(YES 4,5)
GRINDELIA STRICTA	(Coastal Wild Gum)	Forb	SMCo	MEDIUM	3X/MO MAX	YES (2)	YES (5)
HETEROMELES ARBUTIFOLIA	(Toyon)	Shrub	SMCo	LOW	2X/MO MAX	YES (2,3)	YES (4,6)
IRIS DOUGLASSIANA	(Douglas Iris)	Forb	SMCo	LOW	1X/MO MAX	-	YES (4,5,6)
LAVANDULA STOECHAS	(Lavender)	Forb	-	LOW	1X/WK MAX	-	YES (5,6)
LOMANDRA LONGIFOLIA	(Dwarf Mat Rush)	Grass	-	LOW	-	-	-
MORELLA CALIFORNICA	(Pacific Wax Myrtle)	Shrub	SMCo	MEDIUM	1X/WK MAX	-	YES (5,6)
MUHLENBERGIA RIGENS	(Deer Grass)	Grass	CA	LOW	1X/MO MAX	YES (2)	YES (4,6)
POLYSTICHUM MUNITUM	(Western Sword Fern)	Forb	SMCo	LOW	2X/MO MAX	YES (2)	YES (4,5,6)
ROSA RUGOSA	(Beach Rose)	Shrub	-	MEDIUM	-	-	-
SALVIA CLEVELANDII	(Cleveland Sage)	Shrub	CA	LOW	-	YES (2)	-
STIPPA PULCHRA	(Purple Needlegrass)	Grass	SMCo	LOW	1X/MO MAX	YES (2)	-

## SCREENING & BANK STABILIZATION PLANTING

SCIENTIFIC NAME	COMMON NAME	SHRUB, GRASS, OR FORB?	CA or SMCo NATIVE? (1)	WATER USE (WUCOLS IV)	SUMMER IRRIG. FREQUENCY (2)	BEE/POLLINATOR FRIENDLY (2,3)	FIRE SAFE (4,5,6)
ARTEMESIA CALIFORNICA	(California Sagebrush)	Shrub	SMCo	LOW	-	YES (2)	-
BACCHARIS PILULARIS 'PIGEON POINT'	(Coyote Bush)	Forb	SMCo	LOW	1X/WK MAX	YES (2,3)	YES (5)
CEANOOTHUS THYRSIFLORUS	(California Lilac)	Shrub	SMCo	LOW	1X/MO MAX	YES (2,3)	YES (4,6)
ERIOGONUM LATIFOLIUM	(Coast Buckwheat)	Forb	SMCo	LOW	1X/MO MAX	YES (2)	YES (5)
FRANGULA CALIFORNICA 'MOUND SAN BRUNO'	(Coffeeberry)	Shrub	SMCo	LOW	-	-	YES (4,5)
HETEROMELES ARBUTIFOLIA	(Toyon)	Shrub	SMCo	LOW	2X/MO MAX	YES (2,3)	YES (4,6)
MORELLA CALIFORNICA	(Pacific Wax Myrtle)	Shrub	SMCo	MEDIUM	1X/WK MAX	-	YES (5,6)
SALVIA MELLIFERA	(Black Sage)	Shrub	SMCo	LOW	1X/MO MAX	YES (2,3)	-

## SEE SHEET L2.2 FOR REPRESENTATIVE PLANT IMAGES

## BIOTREATMENT AREA SHRUB & SEED MIX

SCIENTIFIC NAME	COMMON NAME	SHRUB, GRASS, OR FORB?	CA or SMCo NATIVE? (1)	WATER USE (WUCOLS IV)	SUMMER IRRIG. FREQUENCY (2)	BEE/POLLINATOR FRIENDLY (2,3)	FIRE SAFE (4,5,6)
ACHILLEA MILLEFOLIUM CALIFORNICA	(Western Yarrow)	Forb	SMCo	LOW	1X/WK MAX	YES (2,3)	YES (4,5,6)
ARTEMESIA CALIFORNICA	(California Sagebrush)	Shrub	SMCo	LOW	-	YES (2)	-
BACCHARIS GLUTINOSA	(Saltmarsh Baccharis)	Forb	SMCo	MEDIUM	-	YES (2)	-
BOUTELOUA GRACILIS 'BLONDE AMBITION'	(Blue Grama Grass)	Grass	CA	LOW	2X/MO MAX	YES (2)	-
CAREX DENSA	(Dense Sedge)	Grass	SMCo	MEDIUM	-	-	YES (6)
CERCIS OCCIDENTALIS	(Western Redbud)	Shrub	SMCo	LOW	1X/WK MAX	YES (2)	YES (4,5,6)
CORNUS SERICEA	(Red Osier Dogwood)	Shrub	SMCo	MEDIUM	1X/WK MAX	YES (2)	-
ERIOGONUM FASCICULATUM	(Coast Buckwheat)	Forb	SMCo	LOW	1X/MO MAX	YES (2)	-
HORDEUM BRACHYANTHERUM	(Meadow Barley)	Grass	SMCo	LOW	2X/MO MAX	YES (2)	-
IRIS DOUGLASSIANA	(Douglas Iris)	Forb	SMCo	LOW	1X/MO MAX	-	YES (4,5,6)
JUNCUS EFFUSUS	(Soft Rush)	Grass	SMCo	MEDIUM	1X/WK MAX	YES (2)	-
JUNCUS PATENS	(Common Rush)	Grass	SMCo	LOW	1X/MO MAX	-	YES (4)
KOELERIA MACRANTHA	(Prairie Junegrass)	Grass	SMCo	LOW	-	-	-
LASTHENIA CALIFORNICA	(California Goldfields)	Forb	SMCo	LOW	2X/MO MAX	YES (2)	-
MIMULUS CARDINALIS	(Scarlet Monkeyflower)	Forb	SMCo	MEDIUM	KEEP MOIST	YES (2,3)	YES (5,6)
MUHLENBERGIA RIGENS	(Deer Grass)	Grass	CA	LOW	1X/MO MAX	YES (2)	YES (4,6)
NEMOPHILA MENZIESII	(Baby Blue Eyes)	Forb	SMCo	LOW	2X/MO MAX	YES (2)	-
POTENTILLA ANSERINA	(Silver Weed)	Forb	SMCo	LOW	-	YES (2)	-
RIBES SANGUINEUM GLUTINOSUM	(Pink-flowering Currant)	Shrub	SMCo	LOW	3X/MO MAX	YES (2)	YES (4,6)
RUBUS URSINUS	(California Blackberry)	Shrub	SMCo	MEDIUM	1X/MO MAX	YES (2)	-
SAMBUCUS NIGRA	(Black Elderberry)	Shrub	SMCo	LOW	2X/MO MAX	YES (2)	-
STACHYS BULLATA	(California Hedge-nettle)	Forb	SMCo	MEDIUM	1X/WK MAX	YES (2)	-
SYMPHYOTRICHUM CHILENSE	(California Aster)	Forb	SMCo	LOW	1X/MO MAX	YES (2)	YES (5)
VACCINIUM OVATUM	(Evergreen Huckleberry)	Shrub	SMCo	LOW	3X/MO MAX	YES (2)	YES (5)

## EROSION CONTROL NATIVE SEED MIX

SHALL BE A 50/50 BLEND OF:

### CALIFORNIA HABITAT MIX:

- BROMUS CARINATUS (California Brome)
- ELYMUS GLAUCUS (Blue Wildrye)
- HORDEUM CALIFORNICUM (California Barley)
- FESTUCA IDAHOENSIS (Idaho Fescue)
- STIPPA PULCHRA (Purple Needlegrass)
- POA SECUNDA (One-sided Bluegrass)

### CALIFORNIA COASTAL NATIVE WILDFLOWER MIX:

- CAMISSONOPSIS CHEIRANTHIFOLIA (Beach Evening Primrose)
- CLARKIA AMOENA SEMI-DWARF (Farewell-to-spring)
- CLARKIA UNGUICULATA (Mountain Garland)
- COLLINSIA HETEROPHYLLA (Chinese Houses)
- ESCHSCHOLZIA CALIFORNICA (California Poppy)
- GILIA CAPITATA (Globe Gilia)
- GILIA TRICOLOR (Bird's Eye)
- LASTHENIA CALIFORNICA (Dwarf Goldfields)
- LAYIA PLATYGLOSSA (Tidy Tips)
- LUPINUS MICROCARPUS ED GEDLING (Ed Gedling's Golden Lupine)
- LUPINUS SUCCULENTUS (Arroyo Lupine)
- DIPLOCLADUS AURANTIACUS (Sticky Monkeyflower)
- NEMOPHILA MENZIESII (Baby Blue Eyes)
- PENSTEMON SPECTABILIS (Showy Penstemon)
- SISYRINCHIUM BELLUM (Blue-eyed Grass)

MIX RATE SHALL BE 20 LBS./ACRE. INSTALL VIA HYDROSEED. DO NOT TILL.

SEED MIXES AVAILABLE VIA NATURESEED.COM.

### SOURCES:

1. CALFLORA (calflora.org)
2. CALIFORNIA NATIVE PLANT SOCIETY (calcsape.org)
3. SELECTING PLANTS FOR POLLINATORS: A REGIONAL GUIDE FOR FARMERS, LAND MANAGERS, AND GARDENERS IN THE CALIFORNIA COASTAL CHAPARRAL FOREST SHRUB PROVINCE, PUBLISHED BY THE NORTH AMERICAN POLLINATOR PROTECTION CAMPAIGN (nappc.org) AND THE POLLINATOR PARTNERSHIP (pollinator.org)
4. "FIRESCAPING WITH NATIVE PLANTS: SAN MATEO COUNTY"; FIRESAFE SAN MATEO COUNTY (firesafesanmarateo.org)
5. "FIRE-RESISTANT PLANTS COMMON TO MARIN COUNTY" FIRESAFE MARIN (firesafemarin.org/plants)
6. "CENTRAL COUNTY FIRE DEPARTMENT VEGETATION MANAGEMENT PLANT LIST"; CENTRAL COUNTY FIRE

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L2.1

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SCHEMATIC PLANT LIST  
STONE PINE COVE  
880 STONE PINE ROAD  
SAN MATEO COUNTY

CALIFORNIA



Kikuchi + Kankel  
Design Group  
730 Main Street  
San Mateo, CA 94401  
www.kkdesigngroup.com  
Landscape Architecture | Site Planning | Environmental Design

Date	Revisions	No.	Date	Scale	Drawn	Approved	T/C
11/28/2023	AS NOTED						

Drawing Number:

**TREES**



HESPEROCYPARIS MACROCARPA



LYONOTHAMNUS FLORIBUNDUS



METEROSIDEROS EXCELSA



ULMUS PARVIFOLIA 'TRUE GREEN'

**SHRUBS, FORBS, & GRASSES**



ACHILLEA MILLEFOLIUM CALIFORNICA



ARCTOSTAPHYLOS UVA-URSI



ARTEMESIA CALIFORNICA



BACCHARIS GLUTINOSA



BACCHARIS PILULARIS 'PIGEON POINT'



BOUTELOUA GRACILIS 'BLONDE AMBITION'



CAREX DENSA



CEANOTHUS GRISEUS HORIZONTALIS



CEANOTHUS THYRSIFLORUS



CERCIS OCCIDENTALIS



CORNUS SERICEA



DIETS BICOLOR



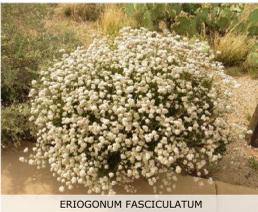
DIPLACUS AURANTIACUS



EPILOBIUM CANUM



ERIGERON GLAUCUS



ERIOGONUM FASCICULATUM



ERIOGONUM LATIFOLIUM



FRANGULA CALIFORNICA



GRINDELIA STRICTA



HETEROMELES ARBUTIFOLIA



HORDEUM BRACHYANTHERUM



IRIS DOUGLASIANA



JUNCUS EFFUSUS



JUNCUS PATENS



KOELERIA MACRANTHA



LASTHENIA CALIFORNICA



LAVANDULA STOECHAS



LOMANDRA LONGIFOLIA



MIMULUS CARDINALIS



MORELLA CALIFORNICA



MUHLENBERGIA RIGENS



NEMOPHILA MENZIESII



POLYSTICHUM MUNITUM



POTENTILLA ANSERINA



RIBES SANGUINEUM VAR. GLUTINOSUM



ROSA RUGOSA



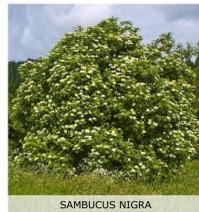
RUBUS URSINUS



SALVIA CLEVELANDII



SALVIA MELLIFERA



SAMBUCUS NIGRA



STACHYS BULLATA



STIPA PULCHRA



SYMPHORICARPOS CHILENSE



VACCINIUM OVATUM

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**L2.2**

Date	11/28/2023
Scale	AS NOTED
Drawn	JLS
Approved	TJC

Revisions	No.	Date

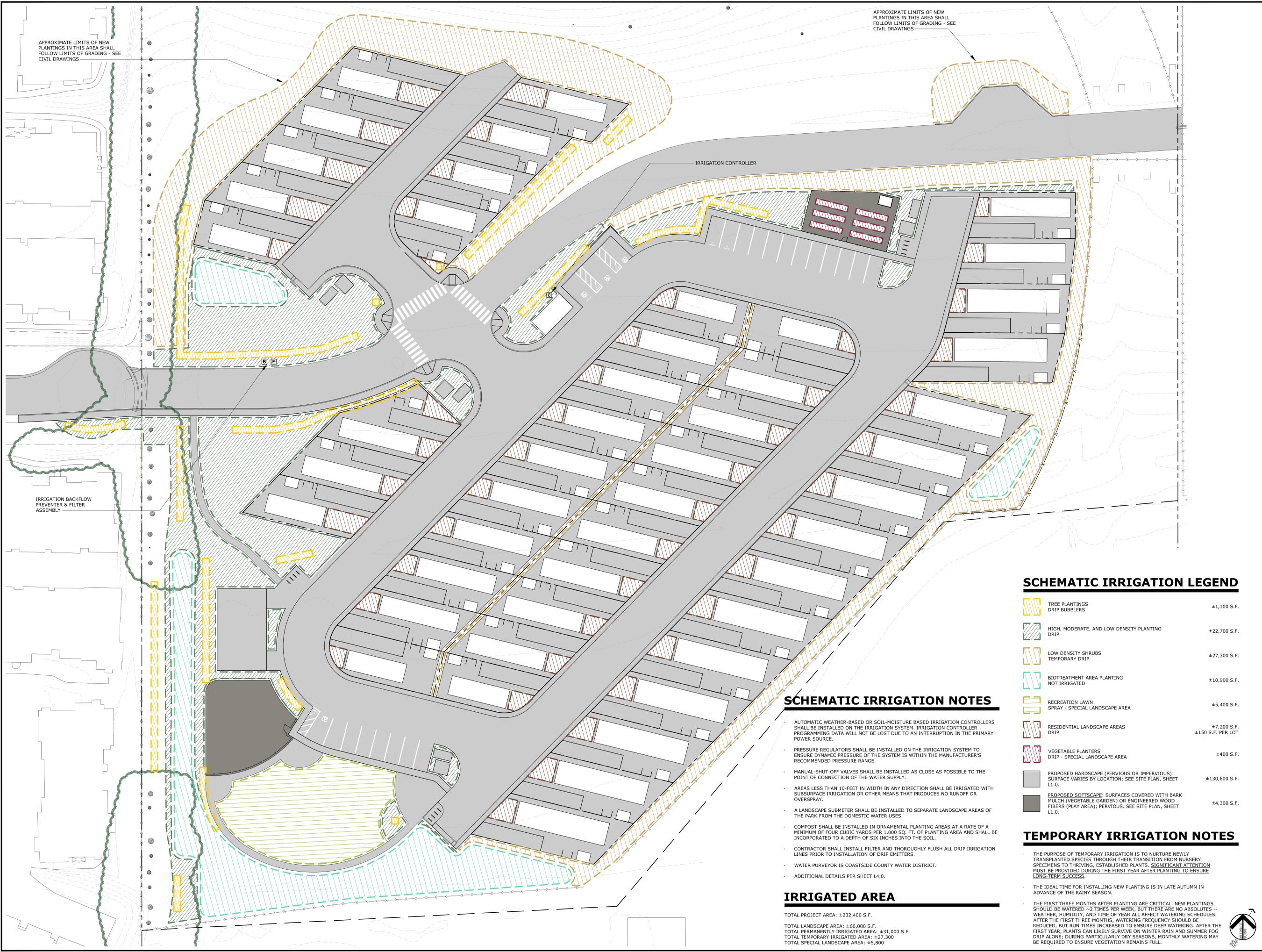
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HALF MOON BAY

SCHEMATIC PLANT IMAGES  
STONE PINE COVE  
880 STONE PINE ROAD  
SAN MATEO COUNTY

CALIFORNIA



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APPROXIMATE LIMITS OF NEW PLANTINGS IN THIS AREA SHALL FOLLOW LIMITS OF GRADING - SEE CIVIL DRAWINGS

APPROXIMATE LIMITS OF NEW PLANTINGS IN THIS AREA SHALL FOLLOW LIMITS OF GRADING - SEE CIVIL DRAWINGS

IRRIGATION BACKFLOW PREVENTER & FILTER ASSEMBLY

IRRIGATION CONTROLLER

**SCHEMATIC IRRIGATION LEGEND**

[Yellow Hatched]	TREE PLANTINGS DRIP BUBBLERS	±1,100 S.F.
[Green Hatched]	HIGH, MODERATE, AND LOW DENSITY PLANTING DRIP	±22,700 S.F.
[Orange Hatched]	LOW DENSITY SHRUBS TEMPORARY DRIP	±27,300 S.F.
[Light Blue Hatched]	BIOTREATMENT AREA PLANTING NOT IRRIGATED	±10,900 S.F.
[Yellow-Green Hatched]	RECREATION LAWN SPRAY - SPECIAL LANDSCAPE AREA	±5,400 S.F.
[Grey Hatched]	RESIDENTIAL LANDSCAPE AREAS DRIP	±7,200 S.F. ±150 S.F. PER LOT
[Red Hatched]	VEGETABLE PLANTERS DRIP - SPECIAL LANDSCAPE AREA	±400 S.F.
[Grey Box]	PROPOSED HARDSCAPE (PERVIOUS OR IMPERVIOUS); SURFACE VARIES BY LOCATION; SEE SITE PLAN, SHEET L1.0.	±130,600 S.F.
[Dark Grey Box]	PROPOSED SOFTSCAPE: SURFACES COVERED WITH BARK MULCH (VEGETABLE GARDEN) OR ENGINEERED WOOD FIBERS (PLAY AREA); PERVIOUS. SEE SITE PLAN, SHEET L1.0.	±4,300 S.F.

**SCHEMATIC IRRIGATION NOTES**

- AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
- PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- A LANDSCAPE SUBMETER SHALL BE INSTALLED TO SEPARATE LANDSCAPE AREAS OF THE PARK FROM THE DOMESTIC WATER USES.
- COMPOST SHALL BE INSTALLED IN ORNAMENTAL PLANTING AREAS AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PLANTING AREA AND SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- CONTRACTOR SHALL INSTALL FILTER AND THOROUGHLY FLUSH ALL DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF DRIP EMITTERS.
- WATER PURVEYOR IS COASTSIDE COUNTY WATER DISTRICT.
- ADDITIONAL DETAILS PER SHEET L4.0.

**IRRIGATED AREA**

TOTAL PROJECT AREA: ±232,400 S.F.  
 TOTAL LANDSCAPE AREA: ±66,000 S.F.  
 TOTAL PERMANENTLY IRRIGATED AREA: ±31,000 S.F.  
 TOTAL TEMPORARY IRRIGATED AREA: ±27,300 S.F.  
 TOTAL SPECIAL LANDSCAPE AREA: ±5,800 S.F.

**TEMPORARY IRRIGATION NOTES**

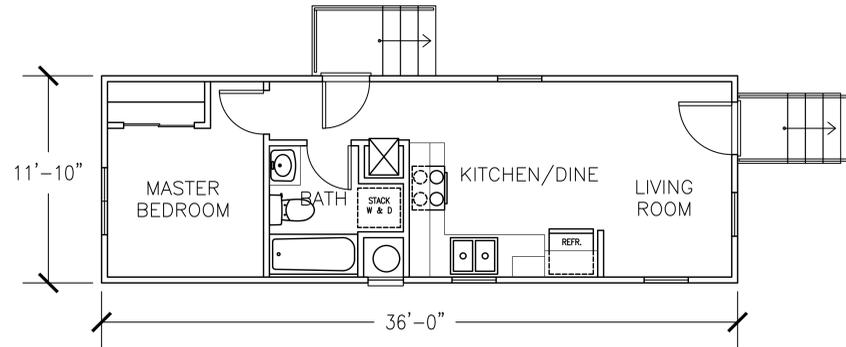
- THE PURPOSE OF TEMPORARY IRRIGATION IS TO NURTURE NEWLY TRANSPLANTED SPECIES THROUGH THEIR TRANSITION FROM NURSERY SPECIMENS TO THRIVING, ESTABLISHED PLANTS. SIGNIFICANT ATTENTION MUST BE PROVIDED DURING THE FIRST YEAR AFTER PLANTING TO ENSURE LONG-TERM SUCCESS.
- THE IDEAL TIME FOR INSTALLING NEW PLANTING IS IN LATE AUTUMN IN ADVANCE OF THE RAINY SEASON.
- THE FIRST THREE MONTHS AFTER PLANTING ARE CRITICAL. NEW PLANTINGS SHOULD BE WATERED ~2 TIMES PER WEEK, BUT THERE ARE NO ABSOLUTES -- WEATHER, HUMIDITY, AND TIME OF YEAR ALL AFFECT WATERING SCHEDULES. AFTER THE FIRST THREE MONTHS, WATERING FREQUENCY SHOULD BE REDUCED, BUT RUN TIMES INCREASED TO ENSURE DEEP WATERING. AFTER THE FIRST YEAR, PLANTS CAN LIKELY SURVIVE ON WINTER RAIN AND SUMMER FOG DRIP ALONE; DURING PARTICULARLY DRY SEASONS, MONTHLY WATERING MAY BE REQUIRED TO ENSURE VEGETATION REMAINS FULL.

Date	11/28/2023	No.	
Scale	1/20" = 1'-0"	Drawn	JLS
Revisions		Approved	TJC
Drawing Number:		<b>L3.0</b>	

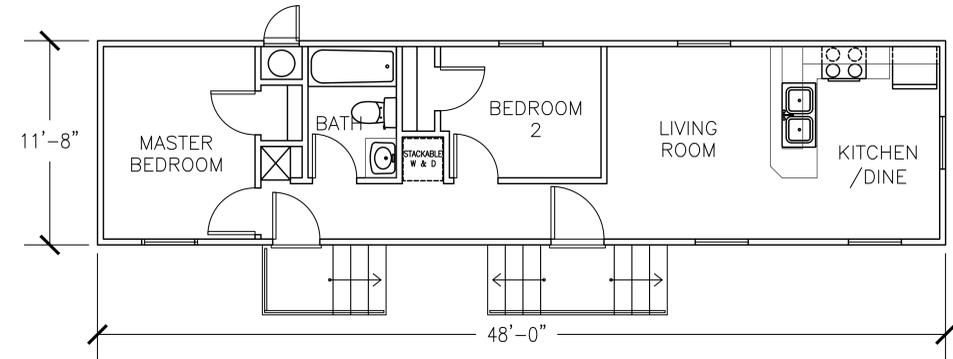
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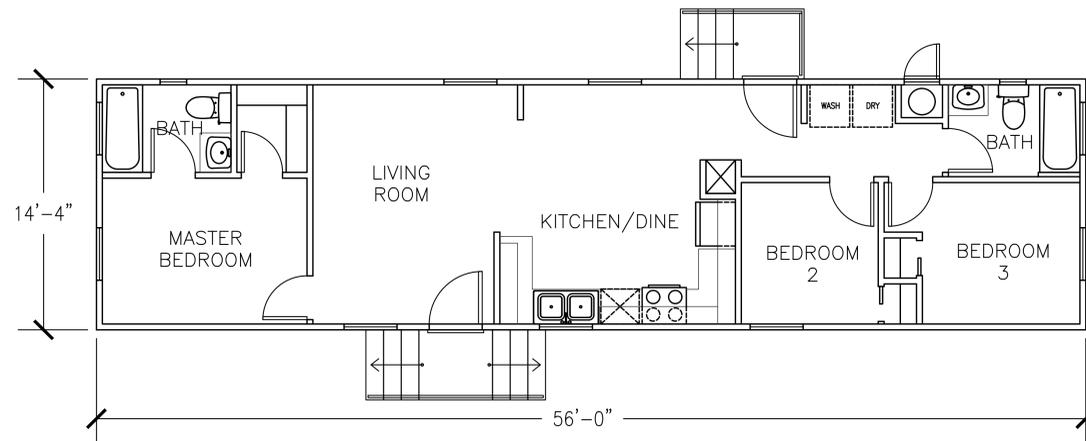




**1-BEDROOM MANUFACTURED HOME**



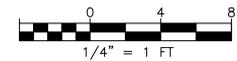
**2-BEDROOM MANUFACTURED HOME**



**3-BEDROOM MANUFACTURED HOME**

**EXTERNAL MATERIALS:**

- COMPOSITION SHINGLES
- FIBER CONCRETE SIDING/TRIM WITH HORIZONTAL OR BOARD & BATTEN PATTERN (PAINTED)
- SKIRTING TO MATCH SIDING (PAINTED)



**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**





**STREET LIGHTING PHOTOMETRICS**

Customer:  
Chris Kellner  
Millenium Design  
chris@jointutility.com  
925-301-5477

Filename: Stone Pine Cove Streetlighting\_102423 - REV02.AGI

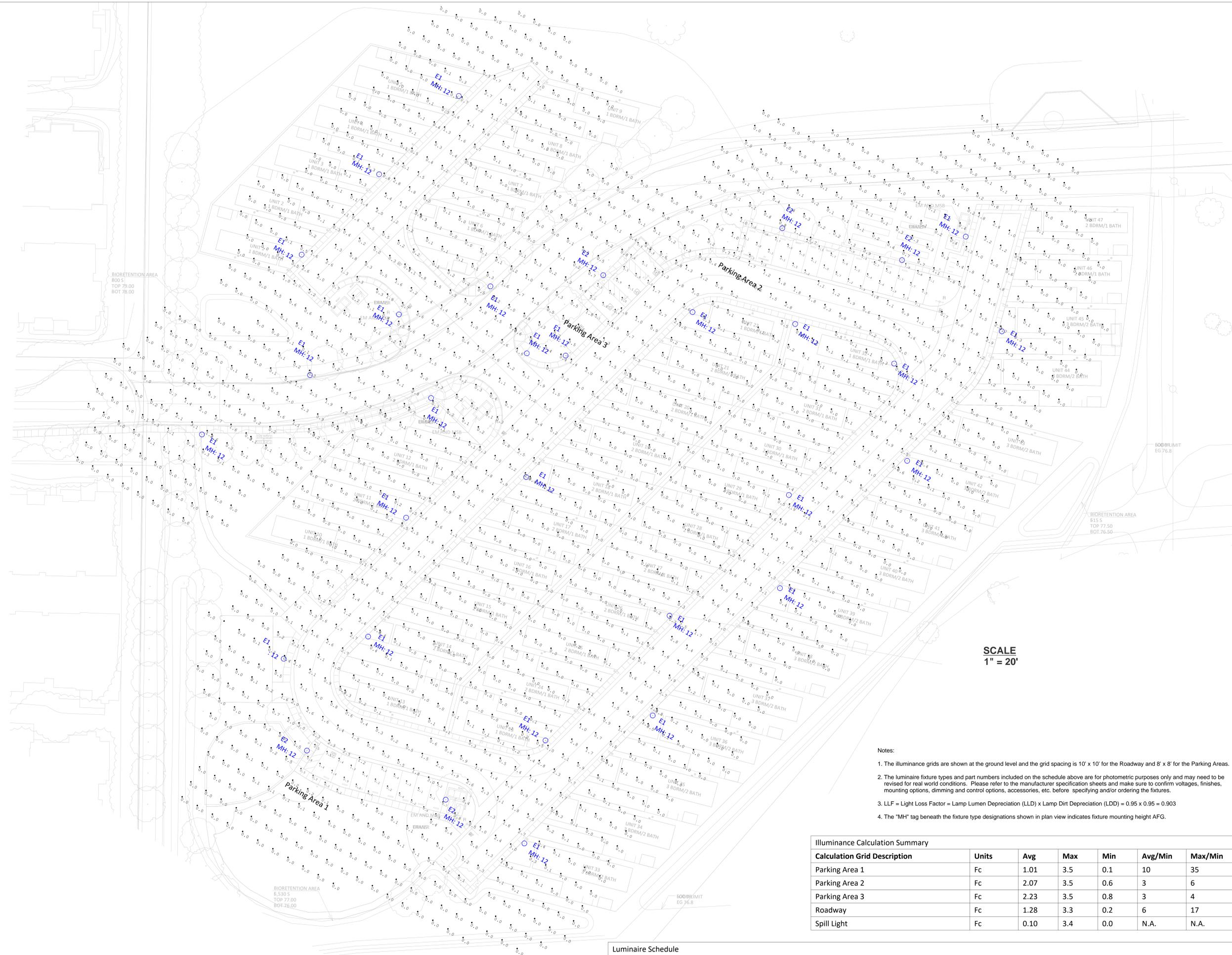
**DISCLAIMER:**

This lighting calculation report attempts to approximate the maintained light levels and is based on the information provided to LightingSystems. Please verify the information provided (space dimensions, fixture mounting heights, surface reflectances, etc.) to ensure the accuracy of the report. Many factors that can affect field-measured lighting levels cannot be anticipated when using the calculation software and as such Lighting Systems cannot guarantee lighting levels.

Date: 11/28/2023

Calcs by: Brian Franco  
Phone: (510)-982-3938  
brianf@ltgsys.com

SL3



SCALE  
1" = 20'

Notes:

- The illuminance grids are shown at the ground level and the grid spacing is 10' x 10' for the Roadway and 8' x 8' for the Parking Areas.
- The luminaire fixture types and part numbers included on the schedule above are for photometric purposes only and may need to be revised for real world conditions. Please refer to the manufacturer specification sheets and make sure to confirm voltages, finishes, mounting options, dimming and control options, accessories, etc. before specifying and/or ordering the fixtures.
- LLF = Light Loss Factor = Lamp Lumen Depreciation (LLD) x Lamp Dirt Depreciation (LDD) = 0.95 x 0.95 = 0.903
- The "MH" tag beneath the fixture type designations shown in plan view indicates fixture mounting height AFG.

**Illuminance Calculation Summary**

Calculation Grid Description	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Area 1	Fc	1.01	3.5	0.1	10	35
Parking Area 2	Fc	2.07	3.5	0.6	3	6
Parking Area 3	Fc	2.23	3.5	0.8	3	4
Roadway	Fc	1.28	3.3	0.2	6	17
Spill Light	Fc	0.10	3.4	0.0	N.A.	N.A.

**Luminaire Schedule**

Symbol	Qty	Fixture Type	Manufacturer and Part Number	LLF	Lumens	Watts
⊙	26	E1	Architectural Area Lighting - PROV2-36L-510-3K7-4W-CL-HS (mounted on 12ft pole)	0.903	2780	58.41
⊙	5	E2	Architectural Area Lighting - PROV2-36L-510-3K7-4W-CL (mounted on 12ft pole)	0.903	4763	58.41