



**AGENDA  
CITY OF HALF MOON BAY  
ARCHITECTURAL ADVISORY COMMITTEE (AAC) MEETING**

**THURSDAY MARCH 14, 2024  
9:00 A.M.**

**Ted Adcock Community Center  
(South Day Room)  
535 Kelly Avenue  
Half Moon Bay, CA 94019**

**Chad Hooker  
Steve Kikuchi  
Linda Poncini**

**This agenda contains a brief description of each item to be considered. Those wishing to address the AAC on any matter not listed on the agenda, but within the jurisdiction of the Community Development to resolve, may come forward during the Public Comment portion of the Agenda and will have a maximum of three minutes to discuss their item. Those wishing to speak on a Public Hearing matter will be called forward at the appropriate time during the Public Hearing consideration.**

**Please Note: Please provide a copy of prepared presentations to the Planning Division prior to the meeting.**

**Copies of written documentation relating to each item of business on the Agenda are on file in the Office of the City Clerk at City Hall where they are available for public inspection. If requested, the agenda shall be available in appropriate alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132.) Information may be obtained by calling 650-726-8271.**

**In compliance with the Americans with Disabilities Act, special assistance for participation in this meeting can be obtained by contacting the City Clerk's Office at 650-726-8271. A 48-hour notification will enable the City to make reasonable accommodations to ensure accessibility to this meeting (28 CFR 35.102-35.104 ADA Title II).**

**I. CALL TO ORDER**

**II. REVIEW MEETING SUMMARY NOTES**

[2/08/24](#)

**III. PUBLIC COMMENT**

**IV. COMMITTEE MEETING ITEMS**

- a. Coastal Development Permit and Architectural Review for a new mixed use 5 story building containing 40 residential units and office space on the ground floor

**CITY FILE #:** PDP-23-034

**LOCATION:** 555 Kelly Avenue

**OWNER/APPLICANT:** City of Half Moon Bay / Mercy Housing

- b. Coastal Development Permit and Architectural Review for a revised new mixed use building containing 2 residential units and commercial space

**CITY FILE #:** PDP-21-070

**LOCATION:** 540 Purissima Street

**OWNER/APPLICANT:** Robert Moody

**V. AGENDA FORCAST / STAFF UPDATE**

**VI. COMMITTEE MEMBER COMMUNICATIONS**

**VII. ADJOURNMENT**



**DRAFT MEETING SUMMARY NOTES**

**CITY OF HALF MOON BAY ARCHITECTURAL ADVISORY COMMITTEE**

**THURSDAY FEBRUARY 8, 2024**

**TED ADCOCK COMMUNITY CENTER, SOUTH DAY ROOM / 535 KELLY AVENUE**

Architectural Advisory Committee (AAC) began at 9:00 am.

**PRESENT:** Linda Poncini and Steve Kikuchi

**ABSENT:** Chad Hooker

**STAFF PRESENT:** Ocoee Wilson, Assistant Planner, Scott Phillips, Senior Planner

**PUBLIC COMMENT**

No public comments.

**COMMITTEE MEETING ITEMS**

**Item A:** Coastal Development Permit and Architectural Review for a new single family

**City File No.:** PDP-23-065

**Location:** 235 Grove Street

**Owner/Applicant:** Bruce Zuraw & Sandra Christiansen / Edward C. Love

**Clarifying Questions from the AAC:**

**Q.** What is the main house at the maximum allowed height?

**A.** No, it is at 23 feet. The maximum allowed height is 28 feet for two story, but the Maximum Building Envelope (MBE) restricts the height more than the maximum height.

**Q.** What are the setback requirements?

**A.** Setbacks are reduced due to the lot qualifying for Several Substandard development standards. Rear and interior side setbacks are also reduced for accessory dwelling units.

**Q.** Is a solar system required?

**A.** Yes

**Q.** Where will the exterior heat pump be located?

**A.** along the interior side yard. The location will be added to the plan set.

**Q.** What is the maximum allowed height for fencing along property lines?

**A.** A 3 foot solid fence with an additional 1 foot of lattice is allowed within the front yard setback. The remaining portion of the lot can have a 6 foot solid fence with a 1 foot lattice.

**Public Comments:**

None

**Applicant Presentation:**

- Applicant gave an overview of the proposal and elaborated on the exterior materials, including the zinc cladding.

**AAC Comments:**

Architecture:

- The AAC is supportive of the design and acknowledges that the MBE requirements makes design exercise challenging.
- The south elevation appears flat. Consider adding more articulation along this side of the new home. Metal awning above the windows could help with providing more articulation.

Design Compatibility:

- Arleta Park contains several contemporary design homes. The proposed would be compatible with other modern designs in the neighborhood.
- The proposed design adds to the neighborhood
- Scale of the home is nice

Detailing:

- The AAC is supportive of the high quality exterior materials that have been selected for this residential proposal, including but not limited to the zinc cladding. The AAC is concerned that the materials will be modified during construction in order to reduce costs.

Landscaping:

- Additional landscaping within the street side setback is needed.
- Consider converting the western tandem parking space to landscaping.
- Instead of planting New Zealand Christmas trees in the front yard, consider modifying the tree species to Arbutus Marina. Another option may be to consider less trees in the front yard and more trees in the side yard.

**Item B:** Coastal Development Permit and Architectural Review for a new single-family residence and attached accessory dwelling unit

**City File No.:** PDP-23-025

**Location:** 340 Central Ave

**Owner/Applicant:** Ron Rivard

**Clarifying Questions from the AAC:**

- Q. What is the primary reason the AAC is reviewing this proposal?

**A.** The current design does not substantially conform to the Single-Family Residential Design Guidelines. Staff is requesting feedback from the AAC, to assist with bringing the design in closer conformance with the Design Guidelines.

**Q.** Without access to ocean views, why is the roof deck located in the back of the residence.

**A.** The roof deck would provide for expanded outdoor space.

**Q.** Why is there a 4-foot overhang in the back of the residence?

**A.** It was assumed it may have been the intent of the architectural feature is to provide a covered entryway.

**Q.** Will neighbors be notified for future hearings?

**A.** Yes, a courtesy notice was provided for the AAC meeting. Additional noticing is required for any public hearing including mailed notices, site postings, and a published legal notice.

**Public Comments:**

None

**Applicant Presentation:**

- Not present at the meeting

**AAC Comments:**

Architecture:

- Street elevation is very unfriendly due to the blank wall appearance. Consider redesigning the front elevation to more closely conform to the design guidelines.
- The front entry lacks prominence. Consider modifying the design of the front of the house to provide emphasis to the entrance. Consider an entry porch.
- It does not seem clear how a visitor would navigate to the front entrance. Consider incorporating a nicer gate or other feature to draw attention to the entrance.
- The garage door looks very low. The plans currently show the garage door height at less than 8 feet. This appears to be an oversight and will need to be updated prior to moving forward with the review.

Design Compatibility:

- The AAC is concerned with the privacy impacts that would result from the large roof deck. Consider reducing the size of the roof deck and adding a wraparound roof, similar to the roof decks at Central and Alsace Lorraine Ave and 217 Valdez Ave.
- The size and massing is appropriate for the neighborhood.
- The design lacks continuity. The rear portion of the residence resembles an addition because of the contrasting architectural design between the front and the rear of the residence.

Floor Plan:

- No windows currently exist within the kitchen. Consider adding windows in the kitchen in order to add natural light to the space.

- Interesting concept to have main living space in the back.

Detailing:

- The plans do not clearly identify the exterior materials proposed. Callouts on the elevations note options. The exterior materials need to be decided prior to moving forward with the review.
- The AAC is supportive of the cedar siding. Exterior materials must not be changed during construction in order to save costs.
- The overhang in the back of the residence is not acceptable.
- The choice of exterior materials does not make sense and lacks compatibility.
- Glass railings for the roof deck do not make sense given the lack of ocean views from the site. In order to improve privacy, consider modifying the railings to solid railings.

Landscaping:

- The vine plants indicated on the roof deck would obscure the glass guard rail.
- Redwood trees in the backyard will not allow plant growth under the tree canopy. Consider revising the tree species.
- Texas Privete plant species noted on the landscape plan is invasive and must be removed from the plant palette.
- Plants on the roof deck are not advised. The amount of wind and sun exposure will dry the plants out and reduce the survivability rate. Consider non-living screening methods on the roof deck instead of the plants.

Conclusion:

- The AAC is not supportive of the design.
- Extensive revisions are needed. Once revised, further AAC review will be required.

**AGENDA FORECAST / STAFF UPDATE**

Agenda forecast:

- 2/27: Joint Study Session with the Planning Commission and the AAC on the Main Street Master Plan
- 3/14: 555 Kelly Avenue and 540 Purissima Street

**ARCHITECTURAL ADVISORY COMMITTEE COMMUNICATIONS**

None

**ADJOURNMENT**

**Meeting adjourned: 11:00 am**

February 8, 2024  
Architectural Advisory Committee (AAC)  
Page 5 of 5

Respectfully Submitted:

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Scott Phillips, Senior Planner



*Architectural Advisory Committee:  
Request for Design Review and Recommendations*

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**Date:** March 14, 2024

**To:** Architectural Advisory Committee Members

**From:** Mike Noce, Housing Coordinator  
Kristi Bascom, Contract Urban Planner

**Subject:** 555 Kelly Avenue Senior Farmworker Affordable Housing / PDP 23-034

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**OVERVIEW**

The property located at 555 Kelly Avenue was purchased by the City in 2017. It is a rectangular parcel located south of the City’s Ted Adcock Community Center (TACC) adjacent to Shoreline Station. The property contains a single-family home that has been vacant since prior to the City’s acquisition of the property and is currently used for storage by the City. The property is approximately 6,200 square feet and abuts the City’s parking lot located on the south side of the TACC at 535 Kelly Avenue. Combined, the parking lot and 555 Kelly Avenue property create an approximately 16,500-square-foot site.

The City Council identified this City-owned site through the Land Use Plan update as appropriate for affordable housing under the City’s new Workforce Housing Overlay (WHO) land use designation and directed Staff to seek proposals from nonprofit affordable housing developers. The City issued a Request for The City received one proposal, submitted by a team of two organizations: non-profit affordable housing developer Mercy Housing California and non-profit community-based Ayudando Latinos A Soñar (ALAS). the proposed development includes 40 units of affordable rental housing for senior farmworkers, as well as approximately 2,000 square feet of space for a farmworker resource center to be managed by ALAS. Mercy Housing will develop the property and deliver ongoing property management and resident services. ALAS will be a vital partner throughout the development process by supporting community outreach and marketing, in addition to operating the farmworker resource center once the project is complete.

**BACKGROUND**

On June 8, 2023, staff presented the preliminary plans to the Architectural Advisory Committee (AAC) project. The purpose of this meeting was to make the AAC aware of the project and to receive initial feedback on the proposal. Qualifications (RFQ) released in Spring 2022. The RFQ was posted on the City website at this [link](#).<sup>1</sup>

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<sup>1</sup> [555 Kelly Avenue - Affordable Housing RFQ | Half Moon Bay, CA \(half-moon-bay.ca.us\)](#)

Numerous City actions have and will continue to be, required for processing this application. The City Council has previously approved two funding agreements for “predevelopment” activities, including design development and entitlement processing, with funds from the City’s Affordable Housing Fund and funds from San Mateo County. These funding agreements were approved in 2023. Any additional agreements related to the affordable housing units or funding will be at the discretion of the City Council.

## **DISCUSSION**

The design of 555 Kelly Avenue Senior Farmworker Affordable Housing project has been refined and updated to reflect feedback received from the AAC in June. Design has been further refined by the applicants (Mercy and Alas) with input from various community outreach efforts. Design also reflects input from staff, the Coastside Fire District and Coastside County Water District. The City Council has directed this project be prioritized for review by the staff as well as appointed Boards and Commissions. The Planning Commission is tentatively scheduled to review the Coastal Development Permit (CDP) for the project in April 2024. In addition to the CDP, the Project will require a Lot Line Adjustment and modifications to existing easements on and near the project site boundary.

### **Project Description**

**Uses:** The proposed development includes 40 units of housing over a concrete podium with a ground floor comprised of common and support uses, 18 secured spaces for vehicle parking, and a bike storage area. The unit mix includes 8 studio, 27 one-bedroom, and 5 two-bedroom units. The ground floor of the building includes management offices for Mercy Housing, the ALAS farmworker resource center, and a community kitchen. The building also has amenity spaces including a courtyard, community room, individual secured storage spaces for each unit, and common laundry facilities.

**Site:** The building is proposed to have a 7-foot setback on the Kelly Avenue/front side of the project, which is in context with other building setbacks along Kelly, including across the street at Cunha Intermediate School. A landscape plan is included in the plan set, Sheets L-1 to L-4, which includes a planting plan, descriptions of street trees and drought-tolerant plantings, and images of planned future site furnishings. The Project will include modifications to the existing access drive that leads to the Ted Adcock Community Center, other public buildings, and Shoreline Station. This will require the removal of 17 heritage trees. The Applicant is proposing 10 new trees be planted as shown in the landscape plan and will work with the City to identify other suitable locations on or near the site to meet the required 1:1 ratio for City heritage tree replacement. The Project also includes landscaping in the second-floor courtyard that will be visible from the street.

**Building:** The current design consists of 4 stories of building over a concrete podium. Total height is 59’ 11” at the top of the roof parapet. The perceived height of this building from various viewpoints is reduced by breaking the building with traditional horizontal articulation including a distinct base, middle, and top. The base includes active uses, the middle is punctuated with Juliet balconies and other architectural elements, and the top is stepped back nearly 30 feet from the Kelly Avenue façade at the fifth floor. A courtyard at the second floor on the southwest corner of the building removes structural bulk from Kelly Avenue and the Shoreline Station access drive and introduces a lower profile element at this key entryway. The Applicant has designated specific areas of the building that can host potential

mural spaces, shown on Sheets A0.2 and A0.3, and is working with ALAS to further develop architectural elements and room for art in the locations shown on those sheets. The color and building materials, shown on Sheet A5.0, illustrate the variety of board and batten, shingle, and lap siding designs that will be used as a primary building material and the use of metal accents in the laser cut panels, awnings, and balcony rails. The color palette is a blend of neutral brown and gray tones with darker accent colors designed to complement the dark bronze storefront window system at the ALAS resource center and the bronze windows on all the elevations.

**Zoning Standards:** The site is currently within two zoning districts: Commercial Downtown (C-D) and Public and Quasi-Public Land Use (P-S). The C-D portion of the site is required to be rezoned to the P-S district per the recently updated Local Coastal Land Use Plan. The entire site is subject to the new Workforce Housing Overlay (WHO), which enables higher density affordable housing development at this location. The City will process zoning amendments to implement both the LCLUP and the forthcoming Housing Element which is nearing completion, pending adoption by City Council and certification by HCD. In advance of rezoning, the LCLUP authorizes the City to rely on the LCLUP land use designation to determine permitted uses. This policy is certified by the California Coastal Commission. Sheet A0.8 of the plan set includes a summary of the zoning standards.

**Special Considerations:** This project is being processed under State Density Bonus Law provisions for “super density bonus” projects that are 100% affordable to lower-income households. (Government Code § 65915.) Under these provisions, the project is entitled to unlimited density (Govt. Code section 65915(f)(3)(D)(ii)); three stories above what would otherwise be the height limit (Govt. Code section 65915 (d)(2)(D)); four incentives/concessions (id.); and no minimum parking requirements (Govt. Code section 65915(p)(3)). Therefore, in accordance with State law, the Project is requesting and the City is obligated to grant the following allowances:

- **Height:** The height limit in the P-S district is 50 feet. The project is proposed to be 59 feet, 11 inches at the top of the fifth-floor parapet.
- **Parking:** The project includes 18 parking spaces on the first floor of the building and will be able to utilize 24 additional public parking spaces on the adjacent City and County properties when not in use through coordination with the City.

A parking and circulation analysis was prepared by the City’s transportation consultant, DKS, which describes how the parking provided for the project is expected to be sufficient to serve the unique senior farmworker population that will be occupying the units. While a typical, market rate 40-unit residential project would normally require 62.5 parking spaces, the City allows projects to submit for a guest parking waiver and a 20% mixed-use, shared-use parking reduction. If this project were not subject to State “super density bonus” allowances and instead utilized both of these provisions to reduce parking spaces, the total parking requirement would be 40 spaces.

As described above, these height and parking allowances are exceptions granted to the Project by State law and cannot be limited by the City. Therefore, Staff requests that the AAC provides input related to

the features and aesthetic of the overall building – understanding that building height, amount of parking, and number of units cannot be reduced.

The City Council has directed staff to move 100% affordable projects forward efficiently in support of Council priorities and Housing Element goals. These entitlement milestones are also vital to Mercy Housing’s ability to complete necessary funding applications in support of this project.

**CONCLUSION**

The feedback AAC shares with Staff, the Applicant, and the public attending this meeting help support this project’s review and informs the future deliberations of the Planning Commission.

This memo along with the meeting notes will be included in the Planning Commission Staff Report.

Following review by the AAC, the Applicant will consider the recommendations from the AAC prior to moving the Project forward to a public hearing at the Planning Commission, tentatively scheduled for April. The City Council will continue to oversee funding agreements and other aspects of the project.

**ATTACHMENTS:**

1. Project Plans



- CIVIL ENGINEERING**  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT**  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT**  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

## 01/19/2024 ENTITLEMENT SET - RESUBMITTAL #1

### PROJECT DESCRIPTION

The 100% affordable housing development at 555 Kelly Avenue is intended to provide much needed housing and support services to members of the local senior and farm working community. With the support of ALAS (Ayudando a Latinos a Sonar, Helping Latinos Dream), Mercy Housing and the City of Half Moon Bay are working together to develop this site in a way that will target the intended population, meet funding, and cost requirements, and at the same time, meet local regulatory requirements and those of the Community at large. The development is in response to a City RFQ which included the parcel at 555 Kelly Avenue (6,207 SF) and the adjacent TACC parking lot (7,361 SF).

The proposed development includes a slight expansion into the TACC site by approximately 3,000 SF in order to balance the minimum number of units to make the project pencil financially and provide units which would work best with the targeted population. While 40 units has been considered a minimum target financially, these would need to be almost entirely studios within the original site. The expanded site allows for the inclusion of predominantly 1 bedroom units while still meeting the minimum number of units for financial feasibility. The current design proposal includes 40 units of housing over a concrete podium with a ground floor of common and support uses as well as parking. The unit mix includes studios, predominantly 1 bedrooms and five 2 bedrooms. The ground floor includes management offices as well as permanent spaces for ALAS Resource Center. The building also includes amenity spaces with a common courtyard, a community room and common laundry facilities.

The building consists of 4 stories over a podium (5 stories total) with the upper most floor significantly set back so that it is less perceivable from the street. The perceived height of the building has also been mitigated by breaking the building horizontally into the traditional base, middle and top zones. The base is articulated by the active uses and entries with storefronts, the middle of the building is articulated with bay windows and the top of the building is set back in relation to the bay window at the 4th floor while the 5th floor is set back further.

The project has gone through three well attended community meetings and received the support from attendees which included members of the farmworker community, neighbors and concerned citizens as well as elected officials. The project team has listened and incorporated to the greatest extent possible, the comments and concerns that were voiced during these meetings. The project has also gone through an initial meeting with the Architectural Review Committee and the current drawings reflect some changes in response to comments received during this meeting.

Sheet A0.8 includes a summary of the current zoning standards and the anticipated process that this project will go through to obtain entitlements. The site is expected to be rezoned to P-S with a WHO overlay (Public Service with Workforce Housing Overlay) and it is expected to use State Density Bonus Law where needed. The zoning summary spreadsheet outlines the current zoning under C-D (Commercial Downtown) and P-S, what is anticipated with the P-S / WHO overlay and where density bonus law might be used.

Response to departmental comments has been provided under a separate letter response.

### VNICITY MAP



### AERIAL VIEW



### PROJECT DIRECTORY

**DEVELOPER**  
**MERCY HOUSING**  
1256 MARKET ST,  
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**JETT LANDSCAPE ARCHITECTURE + DESIGN**  
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ORINDA, CA 94563

Contact: Whitney Miller  
Email: whitneym@jett.land

### SHEET INDEX

SHEET #	SHEET NAME
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C2.0	EXISTING CONDITIONS
A0.5	EXISTING SITE PLAN
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A0.6b	SITE CIRCULATION DIAGRAM
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C7.0	PRELIMINARY STORM CONTROL PLAN
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A2.3	3RD FLOOR PLAN
A2.4	4TH FLOOR PLAN
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A5.0	MATERIAL BOARD

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

COVER SHEET

JOB #: 2236

SCALE:

**A0.0**

DATE:

SOUTHWEST VIEW ON KELLY AVE



SOUTHEAST VIEW ON KELLY AVE



**PROJECT STATISTICS**

UNIT SUMMARY					
	STUDIO	1 BR	2 BR	UNIT COUNT	PARKING
GROUND FLOOR	-	-	-	-	18
2ND FLOOR	0	7	2	9	-
3RD FLOOR	0	8	3	11	-
4TH FLOOR	0	8	3	11	-
5TH FLOOR	6	3	0	9	-
<b>TOTAL</b>	<b>6</b>	<b>26</b>	<b>8</b>	<b>40</b>	<b>18</b>

BUILDING SQUARE FOOTAGES							
	GROSS AREA	RESIDENTIAL	NON-RESIDENTIAL			CIRCULATION /SERVICE	PARKING
			COMMON	FUTURE TI	OFFICE		
GROUND FLOOR	13,745	-	-	2,794	841	3,669	6,441
2ND FLOOR	9,744	5,698	892	-	-	3,154	-
3RD FLOOR	9,783	8,118	-	-	-	1,665	-
4TH FLOOR	9,783	8,118	-	-	-	1,665	-
5TH FLOOR	6,730	5,210	-	-	-	1,520	-
<b>TOTAL GROSS AREA (COURTYARD NOT INCLUDED)</b>	<b>49,785</b>	<b>27,144</b>	<b>892</b>	<b>2,794</b>	<b>841</b>	<b>11,673</b>	<b>6,441</b>
COURTYARD AREA: 2,351							

**TRASH APPROVAL LETTER**



1680 Edgeworth Avenue, Daly City, CA 94015  
 o 650.756.1130 f 650.756.4813

October 10, 2023

TO: Planning Department  
 City of Half Moon Bay

FR: Jeannene Minnix, Sustainability Advisor  
 Republic Services

RE: Will Serve 555 Kelly Ave, Half Moon Bay

Republic Services has reviewed and approved the architectural plans as presented for 555 Kelly Avenue Multi Housing Development.

Republic Services will provide service via metal, front-loading bins for the residential portion of the development for all three waste streams: garbage, compost, and recycling. Service for the Community Center will remain via carts, a.k.a. "Toters", for all three waste streams: garbage, compost, and recycling. All containers will need to be placed at the curb for service by the property managers.

For questions please contact Jeannene Minnix directly at 415-604-9016 or JMinnix@RepublicServices.com.

**VAN METER WILLIAMS POLLACK LLP**

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | DENVER | MINNEAPOLIS  
 333 Bryant Street, Suite 300, San Francisco, CA 94107 T 415.574.5332

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ID	DATE	NAME

Project:  
**555 KELLY**  
 555 KELLY AVE,  
 HALF MOON BAY, CA 94019

Client:  
  
 1256 MARKET STREET,  
 SAN FRANCISCO, CA 94102

**3D VIEWS & BUILDING STATISTICS**

JOB #: 2236  
 SCALE:

**A0.1**

DATE: 08/02/23

SOUTH VIEW ON KELLY AVE



NORTHWEST VIEW ON DRIVE AISLE



# VAN METER WILLIAMS POLLACK LLP

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | DENVER | MINNEAPOLIS  
333 Bryant Street, Suite 300, San Francisco, CA 94107 T 415.574.5332

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2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

## 555 KELLY

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

### 3D VIEWS

JOB #: 2236  
SCALE:

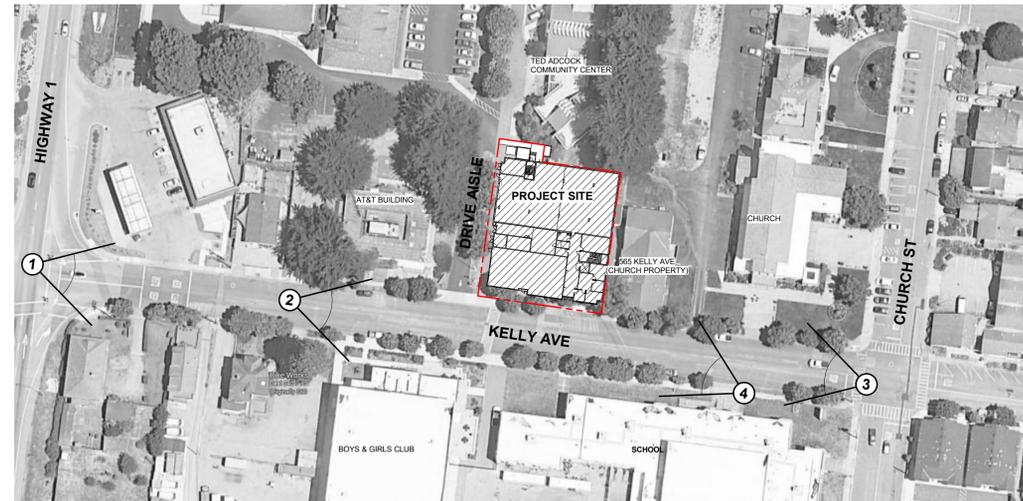
## A0.2

DATE: 10/04/23

1 - WEST VIEW FROM HIGHWAY 1



2 - WEST VIEW ON KELLY AVE



3 - EAST VIEW ON KELLY AVE



4 - EAST VIEW ON KELLY AVE



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

3D VIEWS WITH  
CONTEXT

JOB #: 2236  
SCALE: 1" = 80'-0"

**A0.2a**

DATE: 12/19/23

POTENTIAL MURAL ON UPPER WALLS OVERLOOKING THE COURTYARD



POTENTIAL MURAL ON ALAS RESOURCE CENTER



POTENTIAL MURALS

THERE ARE SEVERAL OPTIONS THAT ARE BEING CONSIDERED FOR INCORPORATING ART INTO THIS PROJECT INCLUDING INCORPORATING MURALS.

THERE ARE SEVERAL LOCATIONS BEING CONSIDERED FOR MURAL PLACEMENT THAT ARE DEPICTED IN THESE DRAWINGS. THE FINAL LOCATION WILL DEPEND ON SEVERAL FACTORS INCLUDING CITY AND COMMUNITY INPUT, THE PROCESS FOR ARTISTS SELECTION AND THE MURAL ITSELF.

THE LOCATIONS DEPICTED FOR POTENTIAL MURAL PLACEMENT DO NOT REPRESENT THE FINAL PAINTING BUT ARE ILLUSTRATIVE OF HOW A MURAL MIGHT BE PERCEIVED WITHIN CERTAIN PART OF THE BUILDING.

- THE MAIN LOCATIONS BEING CONSIDERED FOR MURALS ARE:
- THE UPPER WALLS OVERLOOKING THE COURTYARD.
  - EXTERIOR WALLS OF THE ALAS RESOURCE CENTER.
  - THE WALL FACING THE COMMUNITY CENTER BUILDING

ALAS HAS A LONGSTANDING PARTNERSHIP WITH LOCAL ARTISTS FOR THE CREATION OF PAINTINGS AND VARIOUS OTHER FORMS OF ART. THE MURALS WILL BE A COLLABORATIVE EFFORT BETWEEN THE ARTISTS, THE COMMUNITY, THE CITY AND THE DEVELOPMENT TEAM.

CIVIL ENGINEERING

**BKF ENGINEERS**

150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**

2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT

**STEINBERG HART**

333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

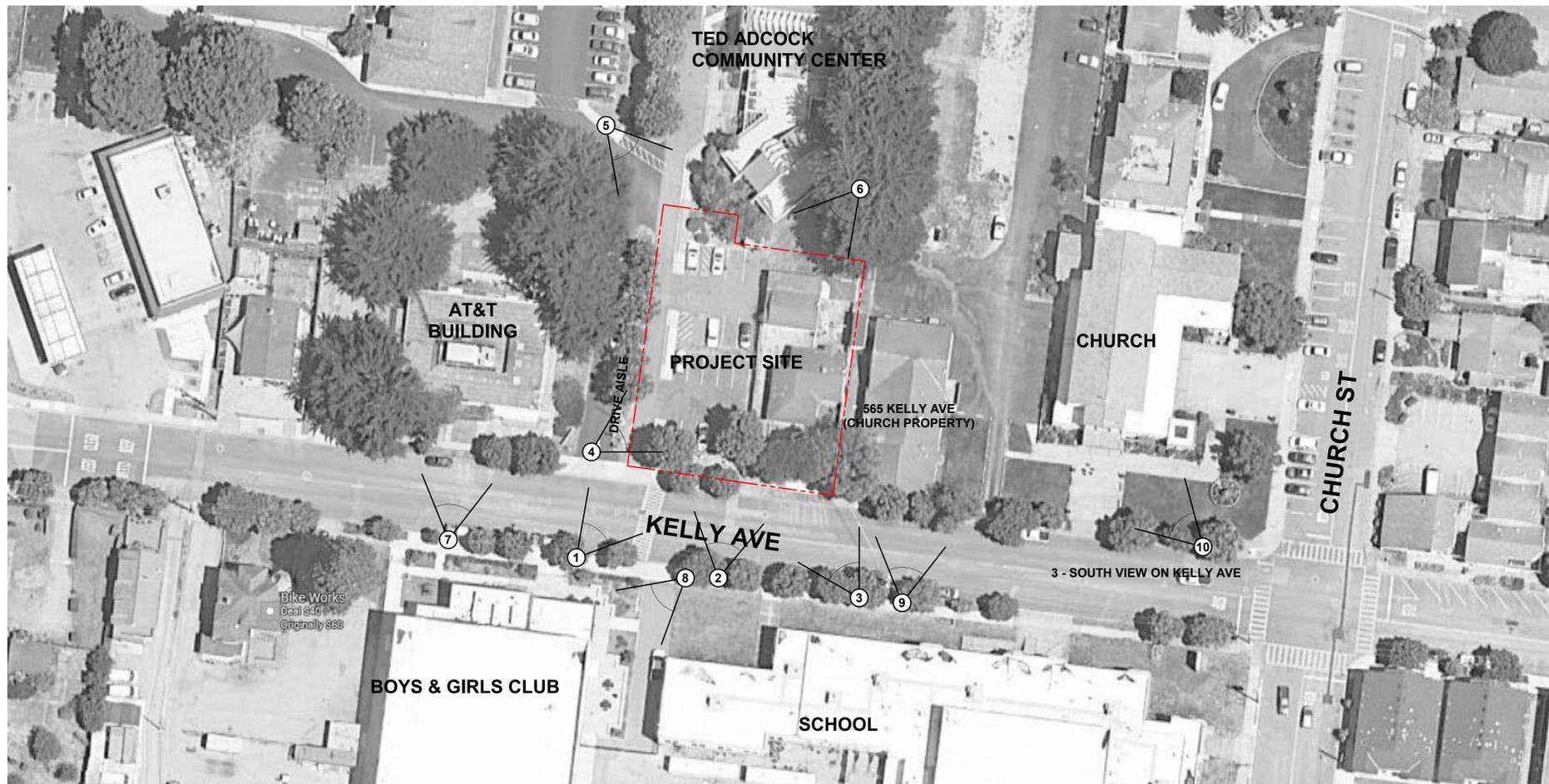
3D VIEWS -  
POTENTIAL MURALS

JOB #: 2236

SCALE:

**A0.3**

DATE: 10/04/23



**EXISTING SITE CONDITIONS**



10 - CHURCH



8 - BOYS & GIRLS CLUB



6 - NORTH VIEW



2 - SOUTH VIEW ON KELLY AVE



9 - 565 KELLY AVE (CHURCH PROPERTY)



7 - AT&T BUILDING



5 - NORTHWEST VIEW ON DRIVE AISLE



1 - SOUTHWEST VIEW ON KELLY AVE



4 - SOUTHWEST VIEW ON DRIVE AISLE



3 - SOUTHEAST VIEW ON KELLY AVE

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
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SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

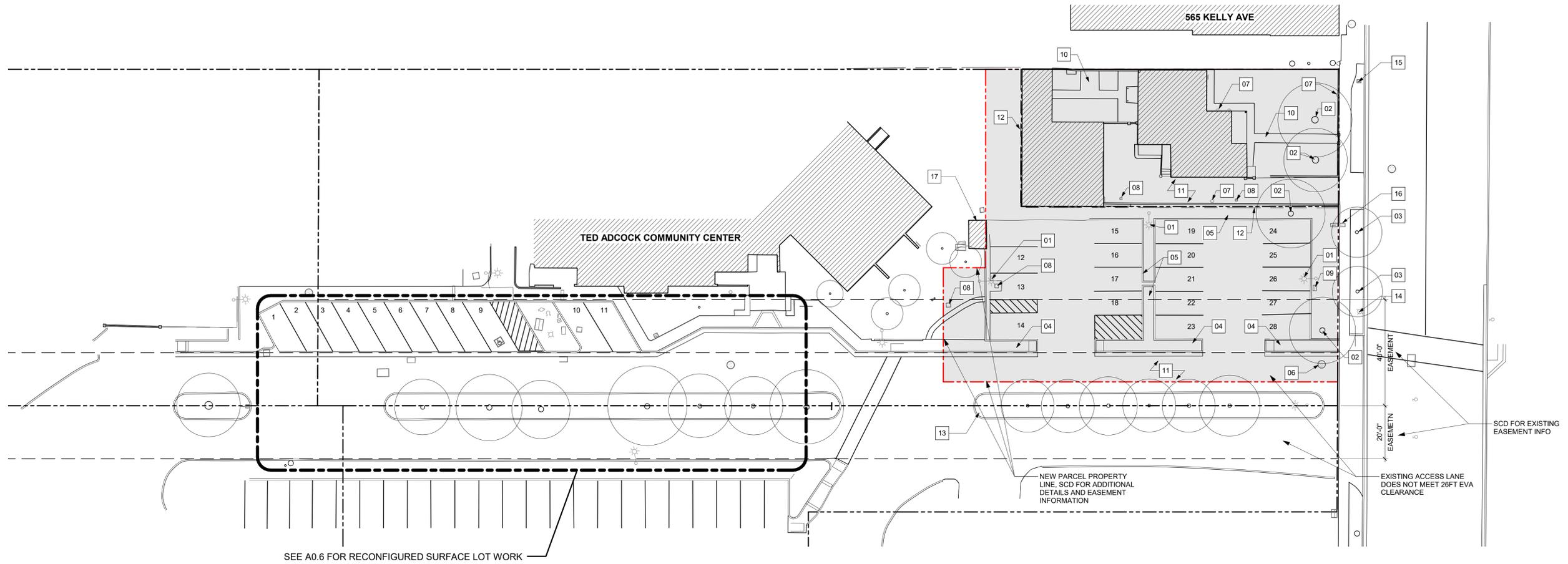
**SITE PHOTOS**

JOB #: 2236  
SCALE: 1" = 40'-0"

**A0.4**



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



**1 EXISTING SITE PLAN**  
A0.5 SCALE: 1" = 20'-0"

**LEGEND**

- — — — — EXISTING PROPERTY LINE
- - - - - ADJUSTED PROJECT PROPERTY LINE, SCD
- - - - - EASEMENT LINE, SCD
- NEW BUILDING SCOPE OF WORK AREA

**KEYNOTES**

- 01 (E) STREET LIGHT TO BE REMOVED
- 02 (E) TREE TO BE REMOVED, SLD
- 03 TREE TO BE PROTECTED, SLD
- 04 (E) SIDEWALK TO BE DEMOLISHED
- 05 (E) CONCRETE CURB & PLANTING STRIP TO BE DEMOLISHED
- 06 (E) MAN HOLE & SANITARY SEWER LINE TO BE RELOCATED, SCD
- 07 (E) CLEANOUT & SANITARY SEWER LINE TO BE REMOVED
- 08 (E) STORM WATER DROP INLET TO BE REMOVED
- 09 (E) ELECTRIC BOX TO BE REMOVED
- 10 (E) CONCRETE WALKWAY TO BE DEMOLISHED
- 11 (E) DRIVEWAY TO BE REMOVED
- 12 (E) FENCE TO BE REMOVED
- 13 (E) MEDIAN TO BE REMOVED
- 14 (E) FIRE HYDRANT TO BE REPLACED
- 15 (E) WATER METER TO BE REMOVED
- 16 (E) WATER METER & BFP TO BE REMOVED AND RELOCATED, SCD
- 17 (E) TRASH ENCLOSURE TO BE REMOVED

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

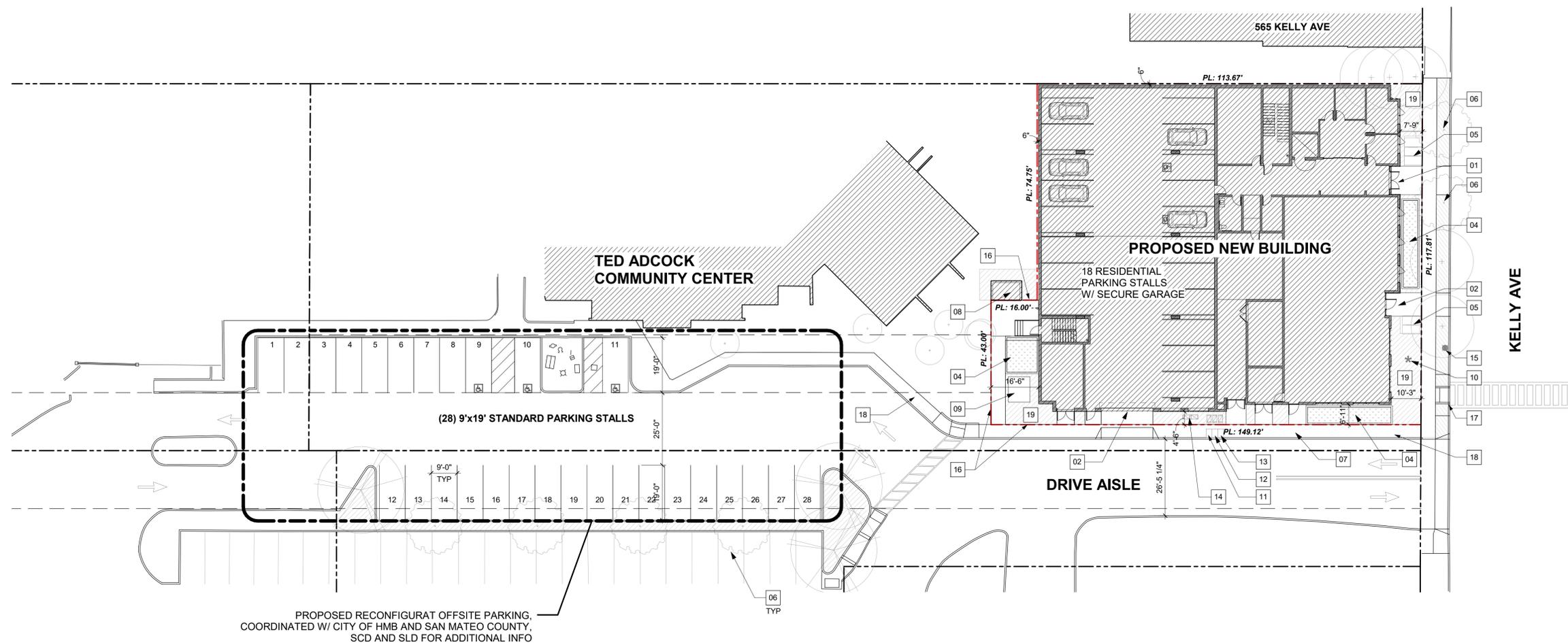
**EXISTING SITE PLAN**

JOB #: 2236  
SCALE: As indicated

**A0.5**

DATE: 07/23/23

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



PROPOSED RECONFIGURAT OFFSITE PARKING,  
COORDINATED W/ CITY OF HMB AND SAN MATEO COUNTY,  
SCD AND SLD FOR ADDITIONAL INFO

**1 ARCHITECTURAL SITE PLAN**  
A0.6 SCALE: 1" = 20'-0"

**LEGEND**

- EXISTING PROPERTY LINE
- ADJUSTED PROJECT PROPERTY LINE, SCD
- EASEMENT LINE

**KEYNOTES**

- 01 RESIDENTIAL MAIN ENTRY
- 02 ALAS RESOURCE CENTER MAIN ENTRY
- 03 GARAGE VEHICULAR ENTRY
- 04 BIORETENTION PLANTER, RECESSED IN GROUND, SCD
- 05 BIKE RACK, SLD
- 06 NEW TREE, SLD
- 07 NEW SIDEWALK, SLD
- 08 NEW AND RELOCATED TED ADCOCK TRASH ENCLOSURE
- 09 NEW TRANSFORMER
- 10 FREESTANDING FDC
- 11 WATER METER & BFP, RESIDENTIAL, SCD
- 12 WATER METER & BFP, COMMERCIAL, SCD
- 13 WATER METER & BFP, IRRIGATION, SCD
- 14 FIRE WATER BFP W/ FDC
- 15 REPLACED FIRE HYDRANT, SCD
- 16 NEW PARCEL PROPERTY LINE, SCD FOR ADDITIONAL DETAILS AND EASEMENT INFO
- 17 NEW ADA CURB CUT AND CROSS WALK, SCD AND SLD
- 18 NEW STREET CURB & SIDEWALK, SCD
- 19 NEW LANDSCAPE AREA, SLD

**SITE STATISTICS SUMMARY**

SITE CALCULATIONS	
555 KELLY	6,206 SF
TACC PARKING LOT	8,033 SF
TACC DRIVEWAY	2,156 SF
<b>NEW TOTAL PARCEL LOT AREA</b>	<b>16,395 SF (0.38 ACRE)</b>
TOTAL BUILDING AREA	49,785 SF
FAR	3.0
DENSITY	106 DUA

UNIT MIX	
STUDIO	6
1 BR	26
2 BR	8
<b>TOTAL UNITS</b>	<b>40</b>
RESIDENTIAL COMMON AMMENITY & OPEN SPACE (COURTYARD & COMMON ROOM)	3,243 SF (81 SF PER UNIT)

PARKING	
EXISTING TACC PARKING LOT BEING REMOVED	-28 SPACES
NEW ON-SITE RESIDENTIAL PARKING	18 SPACES (0.45 PER UNIT)
NEW PROPOSED RECONFIGURED OFF-SITE PARKING	28 SPACES

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

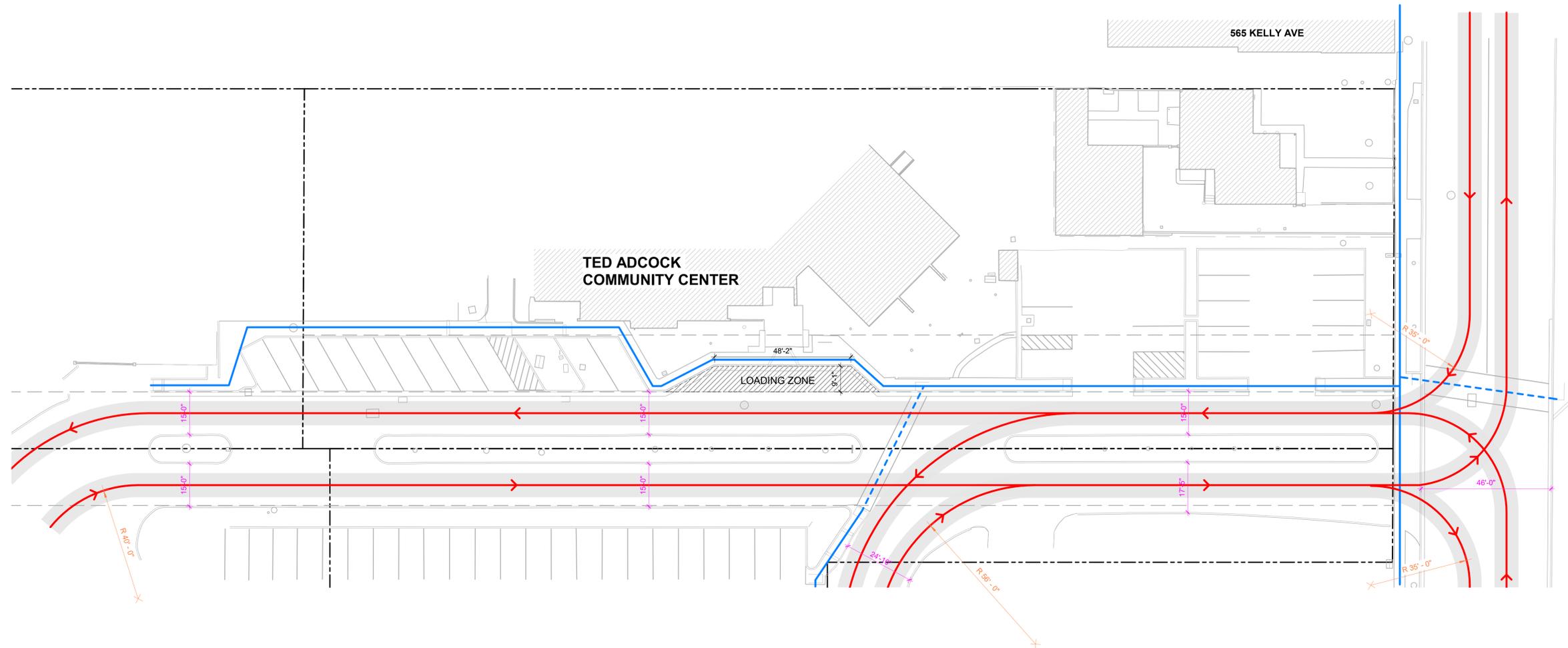
**ARCHITECTURAL SITE PLAN**

JOB #: 2236  
SCALE: As indicated

**A0.6**

DATE: 07/24/23

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



**1 SITE CIRCULATION DIAGRAM - EXISTING**  
A0.6a SCALE: 1" = 20'-0"

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
**mercy HOUSING**

1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

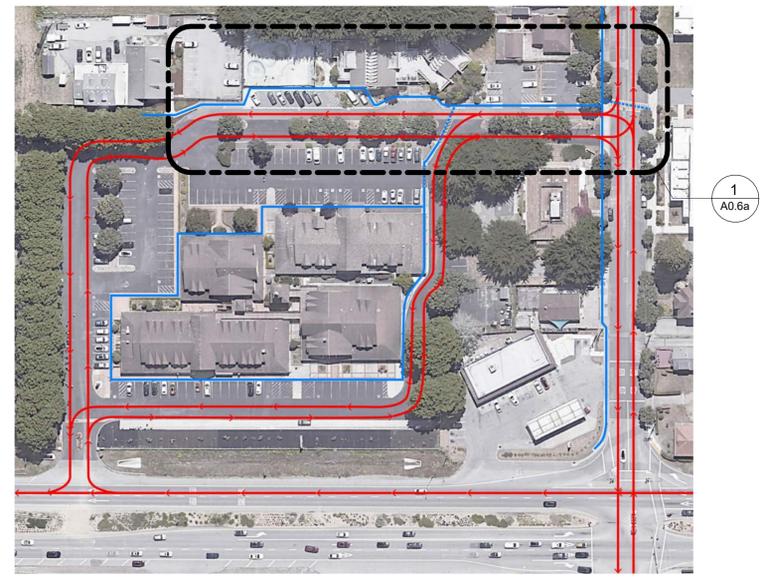
**SITE CIRCULATION  
DIAGRAM - EXISTING**

JOB #: 2236  
SCALE: 1" = 20'-0"

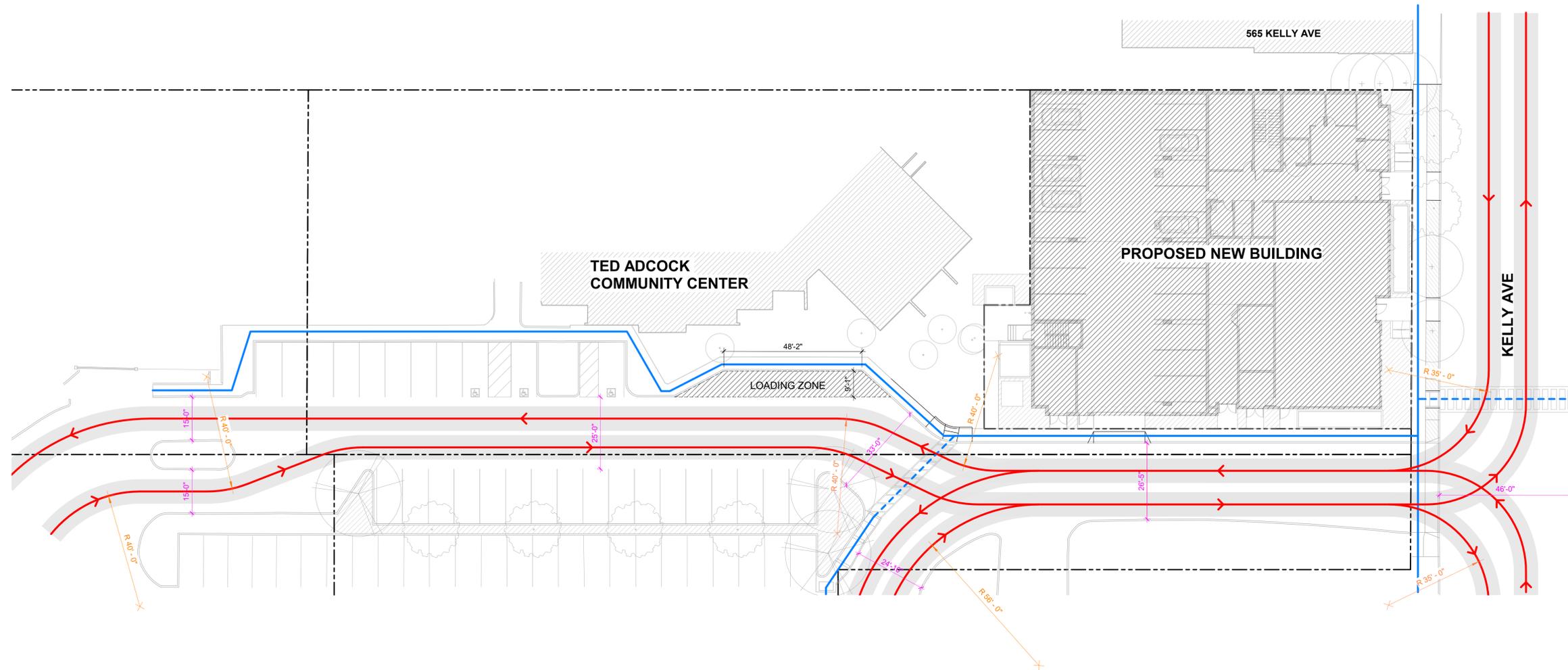
**A0.6a**  
DATE: 12/18/23

- LEGEND**
- PEDESTRIAN TRAFFIC (SIDEWALK)
  - PEDESTRIAN TRAFFIC (CROSSWALK)
  - VEHICULAR TRAFFIC W/ CENTERLINE, DIRECTION ARROW & 8'-6" VEHICLE WIDTH
  - XX'-XX" ROAD WIDTH
  - R XX'-XX" TURNING RADIUS @ CENTERLINE

**OVERALL SITE CIRCULATION - EXISTING**



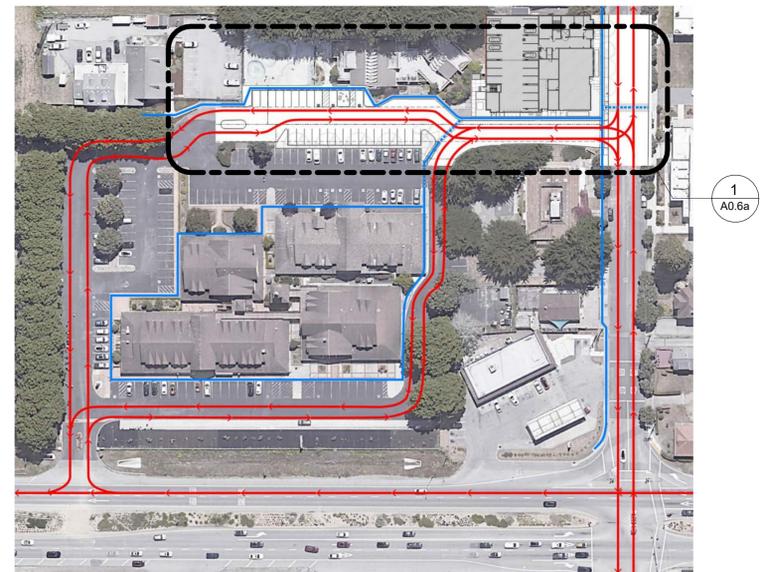
- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



**1 SITE CIRCULATION DIAGRAM**  
A0.6b SCALE: 1" = 20'-0"

- LEGEND**
- PEDESTRIAN TRAFFIC (SIDEWALK)
  - - - PEDESTRIAN TRAFFIC (CROSSWALK)
  - VEHICULAR TRAFFIC W/ CENTERLINE, DIRECTION ARROW & 8'-6" VEHICLE WIDTH
  - XX'-XX" ROAD WIDTH
  - R XX'-XX" TURNING RADIUS @ CENTERLINE

**OVERALL SITE CIRCULATION**



ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**SITE CIRCULATION  
DIAGRAM**

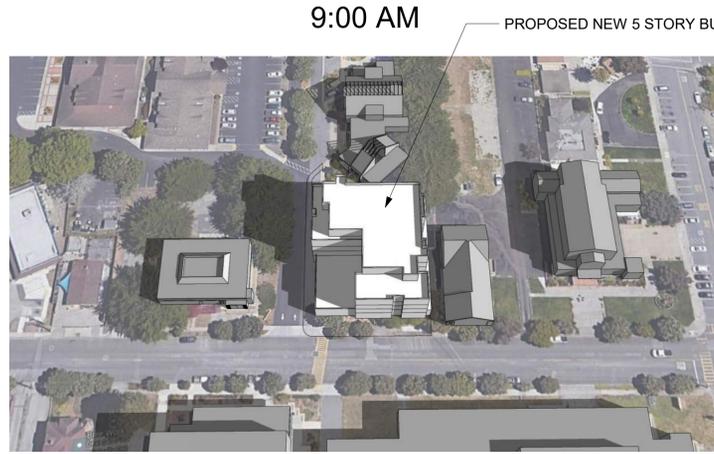
JOB #: 2236  
SCALE: 1" = 20'-0"

**A0.6b**

DATE: 12/12/23

SHADOW STUDY

MARCH, 21



9:00 AM

PROPOSED NEW 5 STORY BUILDING, TYP

12:00 PM



3:00 PM



JUNE, 21



SEPTEMBER, 21



DECEMBER, 21



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
 **mercy  
HOUSING**

1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

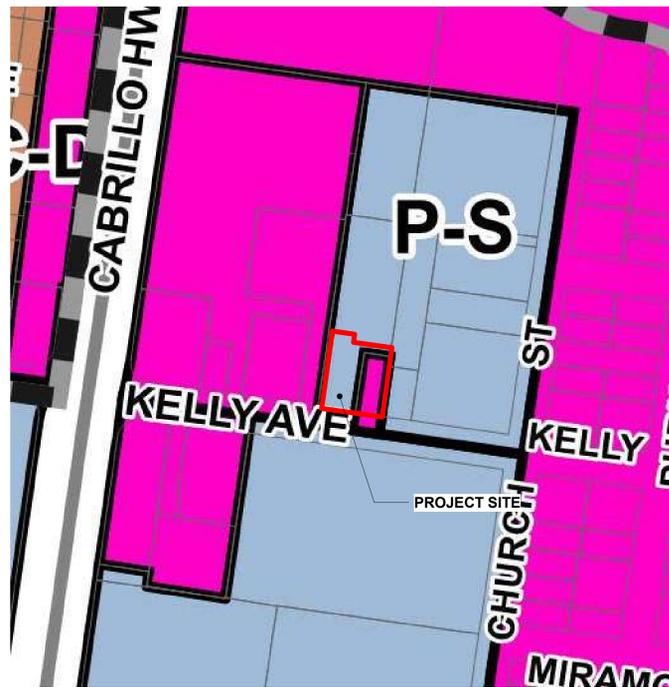
SHADOW STUDY

JOB #: 2236  
SCALE:

**A0.7**

DATE: 08/02/23

**HALF MOON BAY ZONING MAP**



**ZONING MAP OVERLAY**



**ZONING CODE SUMMARY**

SITE DATA

Site Data	Site as proposed in City RFQ		Expanded site as proposed by development team			
Project Address	555 Kelly Avenue	TACC Parking Lot	TACC Driveway	Total Site Area		
APN	056-150-200	056-150-220	056-150-220	Square Feet	Acres	
Site Area	6,206	8,033	2,156	16,395	0.38	

**ZONING STANDARDS COMPLIANCE MATRIX**

Zoning Standards	Current Zoning Standards Required		With a rezone to Workforce Housing Overlay (WHO) this project is entitled to a super density bonus as a 100% affordable to lower-income households (Govt. Code section 65915(b)(1)(G) and located within 1/2 mile of a "major transit stop." Govt. Code section 65915(o)(3) and (5); Pub. Res. Code 21155(b); the proposed project is entitled to unlimited density (Govt. Code section 65915(f)(3)(D)(ii)); three stories above what would otherwise be the height limit (Govt. Code section 65915 (d)(2)(D)); four incentives/concessions (id.); and no minimum parking requirements (Govt. Code section 65915(p)(3)).			
Zoning Category	Commercial Downtown (C-D)	Public Service (P-S)	Anticipated Zoning Standard: Public Service (P-S) with Workforce Housing Overlay (WHO)	Proposed	Standard Met or Potential Waiver, Concession or other State Density Bonus Exemption	
Residential development standards Sec. 18.07.030	Structures with three or more units shall meet the R-3 district standards. For mixed use projects, residential development standards may be modified by the planning commission as a part of any discretionary review.	No standards for residential uses	General standards as stated in the Local Coastal Land Use Plan (2020) Chapter 2	Standards that generally follow density bonus state laws with 100% affordable housing	Standards for density bonus 100% affordable housing are met	
Lot Coverage	Section 18.07.040: No Limit for multifamily housing	No Limit	No Limit	83.94%	Standard is met	
FAR	No Limit for MF over 3 units	No Limit	No Limit	3.00	Standard is met	
Density Section 18.06.030 Table C	Minimum density is 15 units an acre 6 units. No maximum noted.	No standards for residential uses	Unlimited density per Govt. Code section 65915(f)(3)(D)(ii)	106 units/acre	Standard is met per rezone density bonus regulations	
Height	Section 18.07.040: 36' and 3 stories	Section 18.09.030: 50 or 4 stories	Three stories above what would otherwise be the height limit (Govt. Code section 65915 (d)(2)(D)) or 6 stories	5 stories and 59' to top of parapet	Standard is met per rezone density bonus regulations	
<b>Setbacks</b>						
Front	Section 18.07.040: No minimum setback or 5' when bordering a residential parcel	Section 18.09.050: 20' minimum setback	5'-10' per City RFQ guidelines	7'-9"	Waiver to meet P-S standard	
Side	Section 18.07.040: No minimum setback or 5' when bordering a residential parcel	Section 18.09.060: No minimum setback or 5' when bordering a residential parcel	No minimum setback per City RFQ guidelines	6"	Standard is met	
Rear	Section 18.07.040: No minimum setback or 5' when bordering a residential parcel	Section 18.09.070: No minimum setback or 5' when bordering a residential parcel	No minimum setback per City RFQ guidelines	6"	Standard is met	
<b>Parking</b>						
Residential Parking per RFQ development Standards & Sec. 18.36.040 Table A	One parking space per studio and one-bedroom unit; one and one-half parking spaces for units with two or more bedrooms; plus one guest space for each four units, with a minimum of one guest space. Required: approximately 43 spaces Mixed-use shared-use reduction and/or guest parking waiver subject to the requirements of Chapter 18.07.	No standards for residential uses	No minimum parking requirements per Govt. Code section 65915(p)(3)	18 spaces or approximately 0.4 to 0.5 per unit	Standard is met per rezone density bonus regulations	
Commercial Parking per RFQ development Standards & Sec. 18.36.040 Table A	1 space per 300 SF Approximately 3,000 SF of community spaces or 10 spaces	1 space per 250 SF Approximately 3,000 SF of community spaces or 12 spaces	No minimum parking requirements per Govt. Code section 65915(p)(3)	No commercial parking provided.	Standard is met per rezone density bonus regulations	
Bike Parking Sec. 18.36.070	1 long term space per 3 units or 14 spaces			14 spaces	Standard is met	
	4 short term spaces			4 spaces	Standard is met	
<b>Open Space &amp; Common Areas</b>						
Open Space & Common Areas	18.060.40 Per R3 residential standards 15% of the residential floor area per unit. Total residential floor area 27,144 SFx15%=4,071.6 SF total open space required.	No standards for residential uses	Per City RFQ guidelines a shared common area recommended but not required	2,351 SF Common Courtyard or 8.6% of total residential floor area or 58.7 SF/unit	Waiver to meet R3 open space standards standards	
<b>Other Standards</b>						
Storage Space, Section 18.07.030	For each residential unit in new multifamily or mixed-use development, a minimum of sixty cubic feet of enclosed, lockable storage space shall be provided outside of the unit	No standards for residential uses	As stated by Planning flexibility in to what extent and how the 60 cubic feet of storage is provided	48 storage closets with 100 cubic feet each is provided	Standard is met	

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SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:  
**555 KELLY**  
555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
**mercy HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**ZONING CODE SUMMARY**

JOB #: 2236  
SCALE: 1" = 40'-0"

**A0.8**

- CIVIL ENGINEERING  
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**LEGEND**

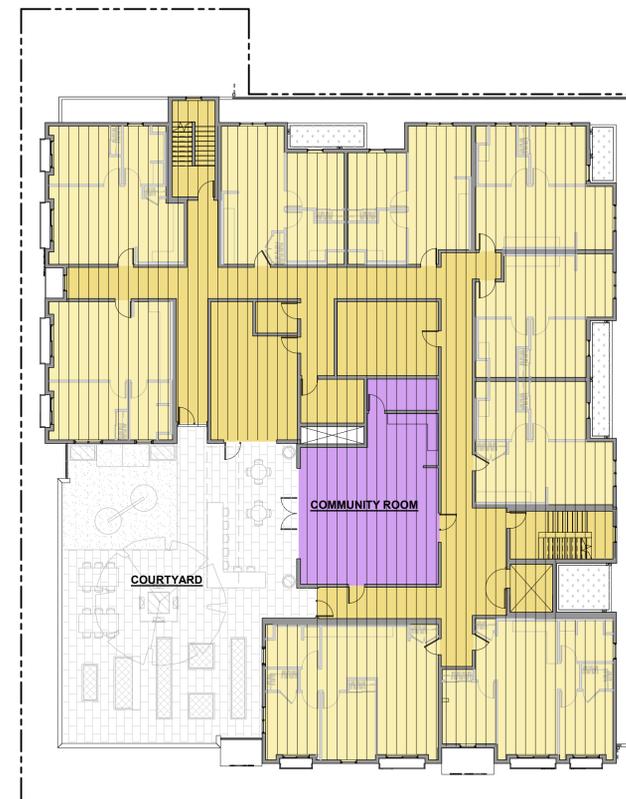
	<b>TYPE 1A CONSTRUCTION</b>		<b>R-2 OCCUPANCY DWELLING UNITS</b>
	<b>TYPE 5A CONSTRUCTION</b>		<b>R-2 OCCUPANCY CIRCULATION, UTILITY &amp; OTHER SPACES</b>
	<b>A-3 OCCUPANCY COMMUNITY ROOM</b>		<b>S-2 OCCUPANCY RESIDENTIAL GARAGE</b>
	<b>B OCCUPANCY RESIDENTIAL MANAGEMENT OFFICE</b>		<b>TBD FUTURE TI SPACE</b>

**GENERAL NOTES**

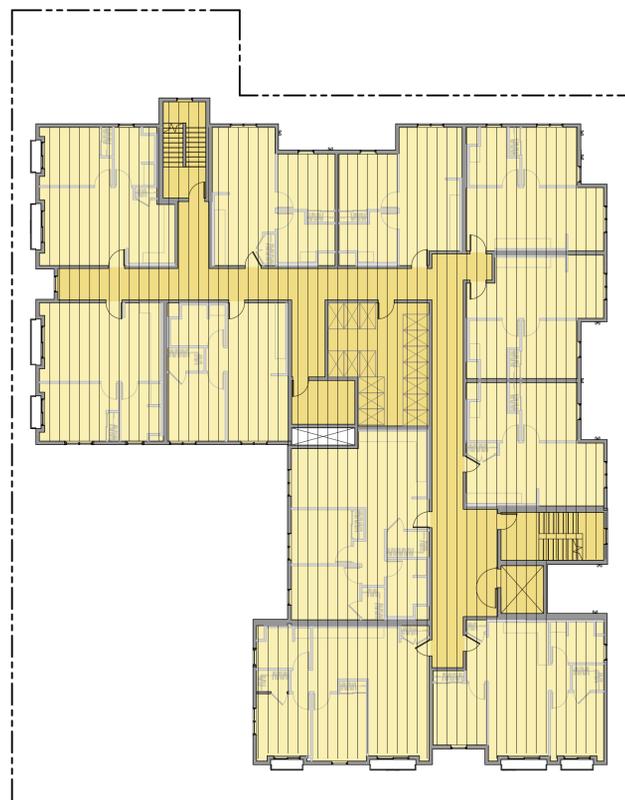
A COMPLETE BUILDING CODE SUMMARY ANALYSIS INCLUDING AREA CALCULATIONS, EXIT WIDTHS, AND ADDITIONAL RATED SEPARATION DETAILS WILL BE PROVIDED WITH THE BUILDING PERMIT SUBMITTAL



**4 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM**  
A0.9 5TH FLOOR  
SCALE: 1/16" = 1'-0"



**2 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM**  
A0.9 2ND FLOOR  
SCALE: 1/16" = 1'-0"



**3 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM**  
A0.9 3RD FLOOR (4TH FLOOR SIM)  
SCALE: 1/16" = 1'-0"



**1 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM**  
A0.9 1ST FLOOR  
SCALE: 1/16" = 1'-0"

**GENERAL**  
THIS BUILDING IS A 4 (TYPE 5A CONSTRUCTION TYPE) OVER 1 (TYPE 1A CONSTRUCTION TYPE). THE GROUND FLOOR IS CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (CONCRETE AND LIGHT GAUGE METAL). FLOORS 2 THROUGH 5 ARE FRAMED IN WOOD IN TYPICAL WESTERN PLATFORM FRAMING. THE BUILDING IS FULLY FIRE SPRINKLERED AND INCLUDES A SEPARATE FIRE WATER BACKFLOW PREVENTOR.

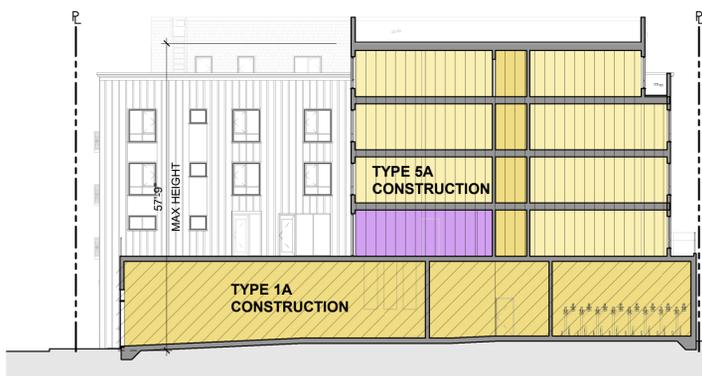
**APPLICABLE CODES**  
ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY ORDINANCES (IF CONFLICTS OCCUR, THE MORE STRINGENT REGULATION GOVERNS), REQUIREMENTS AS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS, AND THE RULES AND REGULATIONS OF THE UTILITY COMPANIES SERVING THIS PROJECT.

2022 EDITION OF THE CALIFORNIA BUILDING CONSTRUCTION CODE INCLUDES AMENDMENTS OF THE CA BUILDING STANDARDS CODE (TITLE 24)

PART 2 - CALIFORNIA BUILDING CODE (CBC)	2022 EDITION
PART 3 - CALIFORNIA ELECTRICAL CODE	2022 EDITION
PART 4 - CALIFORNIA MECHANICAL CODE	2022 EDITION
PART 5 - CALIFORNIA PLUMBING CODE	2022 EDITION
PART 6 - CALIFORNIA ENERGY CODE	2022 EDITION
PART 7 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE	2022 EDITION
PART 9 - CALIFORNIA FIRE CODE	2022 EDITION
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)	2022 EDITION

CITY OF HALF MOON BAY MUNICIPAL CODE ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS & REGULATIONS

CONSTRUCTION CLASSIFICATION	OCCUPANCY TYPE	CONSTRUCTION CLASSIFICATION	FIRE SPRINKLER REQUIREMENTS	EXTERIOR WALLS
TYPE 1A	TWO STORES ABOVE GRADE WHICH INCLUDE PARKING (S-2), COMMON AREAS (B & A-3) & DWELLING UNITS (R-2)	TYPE 1A (CBC TABLE 503)	FIRE SPRINKLERS PER NFPA-13 REQUIRED	3 HOUR BEARING WALLS
R-2, S-1, B	1st FLOOR PROVIDES NON-SEPARATED OCCUPANCIES PER PROVISIONS OF CBC SECTIONS 508.3 & 510. PER SECTION 508.3 THE TYPE 1A CONSTRUCTION IS THE PORTION OF THE BUILDING WHICH COMPLIES WITH NON-SEPARATED OCCUPANCIES AND SECTION 510 IS THE BASIS FOR HAVING THESE FLOORS WITH UNLIMITED AREA WITHOUT NEEDING OCCUPANCY SEPARATION.			1 HOUR NON BEARING WALLS
TYPE 5A	40 UNIT APARTMENT BUILDING, 4 STORES ABOVE PODIUM AND 5 STORES ABOVE GRADE	TYPE 5A (CBC TABLE 503)	FIRE SPRINKLERS PER NFPA-13 REQUIRED	1 HOUR WALLS THROUGHOUT
R-2, B, A-3	SEPARATED OCCUPANCIES PER PROVISIONS OF CBC SECTIONS 508.4 & 509.2			



**5 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM**  
A0.9 SECTION  
SCALE: 1/16" = 1'-0"

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**BUILDING CODE  
SUMMARY**

JOB #: 2236

SCALE: As indicated

**A0.9**

DATE: 08/02/23

**GENERAL NOTE:**

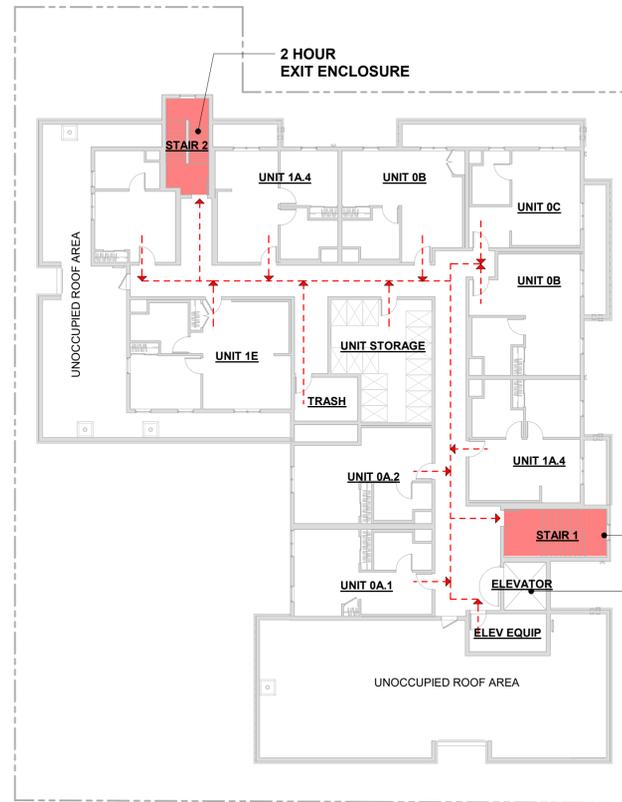
A COMPLETE BUILDING CODE SUMMARY ANALYSIS INCLUDING AREA CALCULATIONS, EXIT WIDTHS, AND ADDITIONAL RATED SEPARATION DETAILS WILL BE PROVIDED WITH THE BUILDING PERMIT SUBMITTAL.

**ACCESSIBILITY CODE SUMMARY**

GENERAL ACCESSIBILITY REQUIREMENTS	ANTICIPATED FUNDING SOURCES
<p><b>GENERAL ACCESSIBILITY REQUIREMENTS</b></p> <p>ANTICIPATED FUNDING SOURCES: BASED ON FUNDING AND IN ADDITION TO THE CODES NOTED IN THE CODE SUMMARY, THIS PROJECT WILL BE COVERED AS FOLLOWS: FEDERAL - FAIR HOUSING ACT (FHA); AMERICANS WITH DISABILITIES ACT (TITLE II) (ADA) - 2010 ADA STANDARDS (ADAS) - PART 36 - ADAAG - SECTION 8 - STATE - TITLE 24, CALIFORNIA BUILDING CODES - TITLE 4, DIV 17, CHAPTER 1 CALIFORNIA TAX CREDIT ALLOCATION COMMISSION (CALC) REGULATIONS</p> <p>TOD, COAC, FUNDING REQUIREMENTS (ITEM #): ALL NEW CONSTRUCTION PROJECTS SHALL ADHERE TO THE PROVISIONS OF CALIFORNIA BUILDING CODE (CBC) CHAPTER 11B) REGARDING ACCESSIBILITY TO PRIVATELY OWNED HOUSING MADE AVAILABLE FOR PUBLIC USE IN ALL RESPECTS EXCEPT AS FOLLOWS: INSTEAD OF THE MINIMUM REQUIREMENTS ESTABLISHED IN 11B 233.1.1 AND 11B 233.1.3, ALL NEW CONSTRUCTION PROJECTS MUST PROVIDE A MINIMUM OF FIFTEEN PERCENT (15%) OF THE LOW INCOME UNITS WITH MOBILITY FEATURES, AS DEFINED IN CBC 11B 809.2 THROUGH 11B 809.4 AND A MINIMUM OF TEN PERCENT (10%) OF THE LOW INCOME UNITS WITH COMMUNICATIONS FEATURES, AS DEFINED IN CBC 11B 809.5. THESE UNITS SHALL, TO THE MAXIMUM EXTENT FEASIBLE AND SUBJECT TO REASONABLE HEALTH AND SAFETY REQUIREMENTS, BE DISTRIBUTED THROUGHOUT THE PROJECT CONSISTENT WITH 24 CFR SECTION 8.26.</p> <p>ENHANCED ACCESSIBILITY FUNDING: THIS PROJECT IS NOT PURSUING THE ENHANCED ACCESSIBILITY TCAC FUNDING REGULATIONS SECTION 1025(b)(8).</p> <p>ADDITIONAL ACCESSIBILITY MEASURES: IN ADDITION TO THE GRAB BARS BEING INSTALLED WITHIN THE MOBILITY UNITS, GRAB BARS MAY BE INSTALLED WITHIN ADDITIONAL UNITS.</p>	<p><b>EXTERIOR ACCESSIBILITY</b></p> <p>PUBLIC STREET ACCESS: AN ACCESSIBLE ROUTE ALONG THE PUBLIC SIDEWALK, FROM PUBLIC TRANSPORTATION, STREET PARKING AND PUBLIC GARAGE PARKING TO THE BUILDING'S MAIN ENTRANCES ON FLORA VISTA AVENUE AND TO SECONDARY ACCESS POINT ON EL CAMINO REAL, THE SIDEWALKS FRONTING THE BUILDING WILL BE REFINISHED AND INCLUDE SLOPES WHICH ARE UNDER 5%.</p> <p>WALKWAYS &amp; SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:</p> <ul style="list-style-type: none"> <li>A. CONTINUOUSLY ACCESSIBLE</li> <li>B. MAX. 12" CHANGE IN ELEVATION OR PROVIDE CURB RAMPS COMPLYING WITH CBC 11B</li> <li>C. MIN. 48" WIDE, OR AS REQUIRED BY THE AHJ</li> </ul> <p>COMMON ON SITE OPEN SPACES: AN ACCESSIBLE EXTERIOR COURTYARD IS PROVIDED AT GRADE OF THE BUILDING. THE GROUND OF THIS AREA WILL BE FLAT AND INCLUDE PAVERS AS WELL AS AN ADA COMPATIBLE CHILDRENS PLAYGROUND. IN ADDITION AN ABOVE GRADE EXTERIOR COURTYARD IS PROVIDED WHICH IS ACCESSIBLE VIA AN ELEVATOR. BENCHES AND THE COURTYARD ELEMENTS WILL INCLUDE ACCESSIBLE FEATURES COMPLYING WITH CBC CHAPTER 11B.</p> <p>ACCESSIBLE PARKING REQUIREMENTS: THE NUMBER OF ACCESSIBLE STALLS IS BASED ON TABLE 11B-208.2. TOTAL STALLS PROVIDED WITHIN THE GARAGE ARE 68. 3 ACCESSIBLE STALLS ARE PROVIDED WITHIN THE GARAGE WITH ONE THAN MUST BE VAN ACCESSIBLE. 15 SURFACE STALLS ARE PROVIDED WITHIN SURFACE PARKING LOT WITH 1 ACCESSIBLE STALL, WHICH IS VAN ACCESSIBLE.</p> <p>AN ACCESSIBLE PATH OF TRAVEL IS PROVIDED FROM ADAPTABLE DWELLING UNITS PRIMARY ENTRY DOOR TO THE VEHICULAR ENTRANCE AT THE GARAGE.</p> <p>ELECTRIC VEHICLES: 10% OF PARKING STALLS PROVIDED (OFF STREET) WILL INCLUDE THE CAPABILITY FOR ELECTRIC VEHICLE CHARGING. A TOTAL OF 7 VAN ACCESSIBLE STALL, WILL INCLUDE FUTURE ELECTRIC VEHICLE CHARGING EQUIPMENT IN COMPLIANCE WITH EXCEPTION 2 IN SECTION 11B 228.3.2.</p>
<p><b>BUILDING ACCESSIBILITY</b></p> <p>EXITING: AN ACCESSIBLE MEANS OF EGRESS AT THE GROUND FLOOR ARE PROVIDED ONTO THE PUBLIC STREETS. THE UPPER FLOORS INCLUDE STAIRS WITH TWO HOUR RATED ENCLOSURES AND COMPLYING WITH ACCESSIBILITY STANDARDS OF CBC CHAPTER 10 AND CHAPTER 11. THE BUILDING ALSO WILL INCLUDE A HORIZONTAL EXIT AT FLOOR 5 WITH TWO WAY COMMUNICATION ON EITHER SIDE. A HORIZONTAL EXIT IS NOT REQUIRED AT THE LEVEL OF EXIT DISCHARGE.</p> <p>TRASH VESTIBULE ROOMS: ACCESSIBLE TRASH VESTIBULE ROOMS ARE PROVIDED WITHIN BOTH THE NEW BUILDING AND THE EXISTING BUILDING. THESE ROOMS ARE PROVIDED WITH THE REQUIRED MANEUVERING CLEARANCES. WITHIN THE NEW BUILDING THE TRASH VESTIBULES ARE SERVED BY CHUTES AND THROUGH WALL ACCESSIBLE DOORS (SEE AT 16) WHILE IN THE EXISTING BUILDING THE TRASH DISPOSAL OCCURS FROM AN ABOVE GRADE PLATFORM AND THROUGH WALL ACCESSIBLE DOORS (SEE AT 7).</p> <p>BIKE STORAGE ROOM: THE BIKE STORAGE ROOM IS ACCESSIBLE FROM STREET LEVEL AND ON THE GROUND FLOOR AND IS ACCESSIBLE TO AN INDIVIDUAL IN A WHEELCHAIR. THIS BUILDING WILL INCLUDE A FRONT DESK CUSTOMER THAT CAN ASSIST WITH BIKE STORAGE WITHIN THE BIKE ROOM.</p> <p>UNITS: 40 UNITS COVERED MULTIFAMILY DWELLING UNITS WITH ELEVATOR ACCESS TO THEIR PRIMARY ENTRANCES. ALL DWELLING UNITS SHALL BE PROVIDED WITH ADAPTABLE FEATURES IN ACCORDANCE WITH CBC SECTION 11B-809.6 THROUGH SECTION 11B-809.12. 15% OF THE UNITS WILL FOLLOW CBC 11B 809.2 THROUGH 11B 809.4 AND PROVIDING MOBILITY FEATURES. SEE FLOOR PLANS, FOR DISPERSION OF UNITS BY UNIT TYPE AND LOCATION.</p> <p>10% UNITS (12 UNITS) SHALL PROVIDE COMMUNICATION FEATURES COMPLYING WITH CBC 11B 809.5 (PER ADA 233.3.1.2) ALSO REFERRED TO AS "HEARING/VISUALLY IMPAIRED" UNITS. SEE FLOOR PLANS, FOR DISPERSION OF UNITS.</p> <p>AT MOBILITY UNITS, THE KITCHEN UNIT COUNTERTOPS IS TO BE INSTALLED AT 34" AND OF SOLID SURFACE NOT REQUIRING REPOSITIONABILITY PER 11B 804.3.2. COVERED UNITS TO INCLUDE SOLID SURFACE COUNTERTOPS AT 30" PER 11B 804.1. COVERED UNITS ARE TO BE ADAPTABLE PER CHAPTER 11A DIVISION IV WITH BLOCKING REINFORCING FOR FUTURE GRAB BARS INSTALLATION AND REMOVABLE BASE CABINETS IN THE KITCHEN AND BATHS.</p> <p>MANUAL AND AUTOMATIC FIRE ALARM SYSTEM THROUGHOUT. ALL RESIDENTIAL UNITS PRE-WIRED FOR HEARING IMPAIRED OCCUPANTS.</p> <p>ALL DWELLING UNITS EQUIPPED WITH 1 HORN IN THE LIVING AREA WITH CAPABILITY TO SUPPORT VISUAL ALARM NOTIFICATION APPLIANCE.</p> <p>ALL BEDROOM AND OR SLEEPING AREAS SHALL BE PRE-WIRED WITH "BACK BOXES" FOR FUTURE INCLUSION OF VISUAL NOTIFICATION APPLIANCE.</p> <p>ACCESS CONTROL TO UNITS TO INCLUDE A TWO WAY COMMUNICATION ENTRY SYSTEM AND TTY COMMUNICATION SYSTEM CONNECTING TO THE HEARING IMPAIRED UNITS PER CBC 11B 708 &amp; 708.4.</p> <p>COMMON AREAS: COMMON AREAS INCLUDING LOBBIES, OFFICES, COMMUNITY ROOM, BIKE PARKING ROOM, LAUNDRY ROOM, TRASH ROOMS TO COMPLY WITH STANDARDS IN CBC CHAPTER 11B.</p>	

**LEGEND**

---> EXIT PATH



**4 EGRESS PLAN - 5TH FLOOR**  
SCALE: 1/16" = 1'-0"



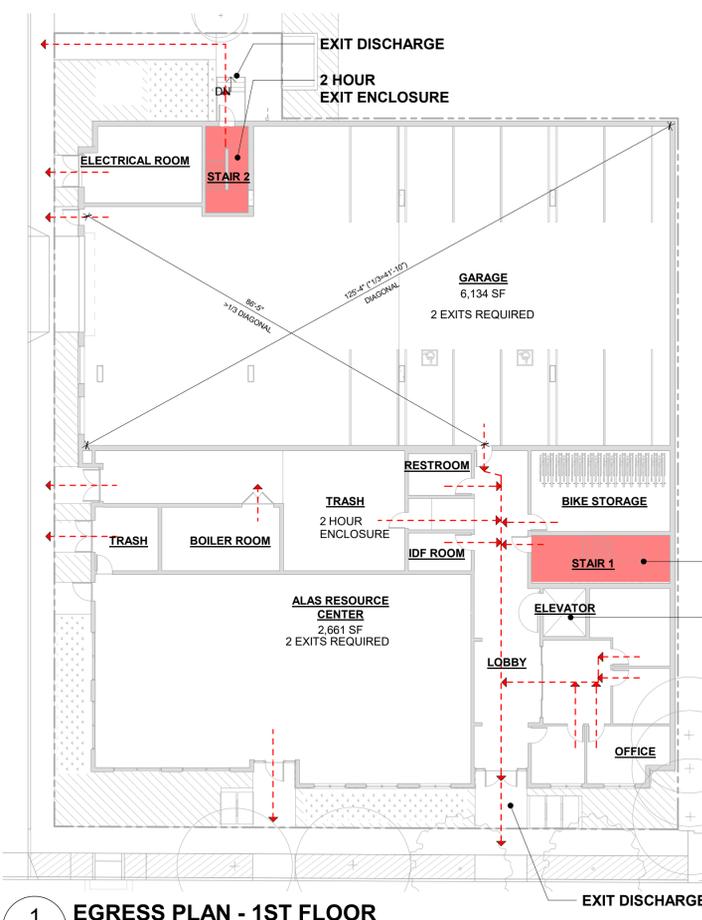
**2 EGRESS PLAN - 2ND FLOOR**  
SCALE: 1/16" = 1'-0"

CONSTRUCTION FIRE-RESISTIVE REQUIREMENTS	
TYPE 5A CONSTRUCTION PER CBC 602.3	TYPE 5A CONSTRUCTION PER CBC 602.5. TYPE 5 CONSTRUCTION IS THAT TYPE OF CONSTRUCTION IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS ARE OF ANY MATERIALS PERMITTED BY THIS CODE.
EXTERIOR BEARING WALLS PER CBC TABLE 601	1-HR RATED CONSTRUCTION AT EXTERIOR BEARING LOCATIONS. ROOF FRAMING MIRRORS THE FLOOR FRAMING AND CONSISTS OF A TA SYSTEM.
PRIMARY STRUCTURAL FRAME PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INDIVIDUAL PRIMARY STRUCTURAL MEMBERS THAT REQUIRES FIRE RESISTIVE PROTECTION	1 AND 2 HOUR RATED CONSTRUCTION PER CBC TABLE 601 AND CBC 704.
TYPICAL FLOOR CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
ROOF CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR BEARING WALLS PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR NON-BEARING WALLS PER CBC TABLE 601	NON-RATED
WALLS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.2	1-HR RATED FIRE PARTITION [PER CBC 708]
FLOORS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.3	1-HR RATED HORIZONTAL ASSEMBLY [PER CBC 711]
HORIZONTAL BUILDING SEPARATION PER CBC 510	3-HR RATED HORIZONTAL SEPARATION [PER CBC 510]
FIRE WALL BUILDING SEPARATION FIRE WALL PER CBC 706	3-HR RATED VERTICAL SEPARATION [PER CBC TABLE 706.4]
HORIZONTAL EXIT WALL PER CBC 1025	2-HR RATED HORIZONTAL SEPARATION [PER CBC TABLE 706.4]
INTERIOR EXIT ENCLOSURES PER 1022.1	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707.3.1, 711]
EXIT PASSAGEWAYS PER CBC 1023.1	1-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707.3.4, 711]
CORRIDORS PER CBC 1018	1-HR RATED FIRE PARTITION [CBC 708] - BUILDING SPRINKLER SYSTEM REQUIRED
SHAFT ENCLOSURES PER CBC 713	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707.3.1, 711]
ELEVATOR	2-HR RATED FIRE BARRIER [CBC 707.3.1]
OCCUPANCY SEPARATIONS PER CBC TABLE 508.4	1-HR OCCUPANCY SEPARATIONS BETWEEN R-2 & A-3, R-2 & S-2, R-2 & U, S-2 & A-3

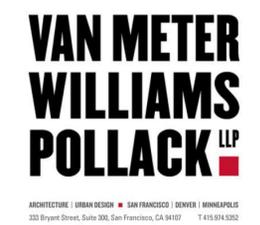
OTHER CODE PROVISIONS	
AN UNVENTED ATTIC SPACE IS BEING PROVIDED IN COMPLIANCE WITH CBC SECTION 1202.3	
WINDOWS IN HABITABLE ROOMS SHALL HAVE AN AREA OF 8% OF THE FLOOR AREA MIN. [CBC 1205.2] AND 4% OF THE FLOOR AREA FOR NATURAL VENTILATION [CBC 1203.4.1]	
EMERGENCY EGRESS WINDOWS ARE PROVIDED FROM ALL SLEEPING ROOMS IN COMPLIANCE WITH SECTION 1031	
ELEVATORS ARE NOT REQUIRED TO BE PART OF THE ACCESSIBLE MEANS OF EGRESS IN BUILDINGS ABOVE 4 STORY BECAUSE A HORIZONTAL EXIT IS PROVIDED PER CBC 1002.1 EXCEPTION 1	
STAIRWAYS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A AND 11B.	
AREAS OF REFUGE IN STAIRWELLS ARE NOT REQUIRED IN THIS BUILDING PER CBC 1007.3 EXCEPTION 2 AND 6. AREAS OF REFUGE WITH TWO WAY COMMUNICATION ARE PROVIDED AT THE HORIZONTAL EXIT.	
CLEAR WIDTH OF 48" BETWEEN HANDRAILS NOT REQUIRED PER CBC 1007.3 EXC. 1	
FIRE EXTINGUISHERS SHALL BE MOUNTED IN COMMON AREAS, CORRIDORS, PATH OF EXIT TRAVEL AT OR LESS THAN 75' FROM ANY LOCATION OR 1 FIRE EXTINGUISHER EVERY 3,000 S.F. WHOEVER RESULTS IN A HIGHER COUNT PER NFPA 10. SEE PLANS FOR LOCATIONS.	
HORIZONTAL PENETRATIONS WITHIN BOXED OUT ENCLOSURES AND WALLS TO BE FIRE CALKED AND COMPLY WITH THE PROVISIONS WITHIN CBC 714.4.1.1	
DRAFTSTOPS IN FLOOR/CEILING ASSEMBLIES ARE NOT REQUIRED PER CBC 718.3.2 EXCEPTION 1	
DRAFTSTOPS IN ATTICS ARE NOT REQUIRED PER CBC 718.4.2 EXCEPTION 2 (AN UNVENTED ATTIC IS BEING PROVIDED)	
CORRIDOR PARTITION WALL RATING CAN TERMINATE AT UNDERSIDE OF CEILING AND NOT EXTEND TO ROOF SHEATHING OR FLOOR SHEATHING ABOVE IF FIREBLOCKING AND DRAFTSTOPPING IS INSTALLED [PER CBC 708.4]	
INTERIOR FINISHES, DECORATIVE MATERIALS AND FURNISHINGS TO COMPLY WITH THE REQUIREMENTS OF THE 2019 CALIFORNIA FIRE CODE CHAPTER 8.	
RESIDENTIAL UNITS ARE GOVERNED BY CHAPTER 11B & THE FAIR HOUSING ACT; MOBILITY UNITS AND ALL COMMON AREAS ARE GOVERNED BY CHAPTER 11B & ADAAG.	
FIRE RESISTANCE RATING AT TRANSITIONS BETWEEN RATED WALL TO WALL ASSEMBLIES AND WALL TO FLOOR CEILING ASSEMBLIES CAN BE ACCOMPLISHED THROUGH SOLID BLOCKING BASED ON PROVISIONS WITHIN THE CBC AS WELL AS BASED ON STANDARD ASTM TESTING AND INFORMATION PUBLISHED BY THE USDA. CBC SECTION 722.63 PROVIDES FORMULAS FOR CALCULATING THE FIRE RESISTANCE RATING IN MINUTES OF EXPOSED WOOD MEMBERS WHICH CAN BE USED WHEN BUILDING CONDITION AT THE SAME TIME, TABLE 722.2(2) ASSIGNS 20 MINUTES TO A STANDARD 2x4 1F s.s. WOOD FRAMED WALL. IN ADDITION, BASED ON STANDARD ASTM E 119, THE USDA WOOD HANDBOOK WOOD AS AN ENGINEERING MATERIAL. ASSIGN A CHARRING RATE OF 1.5 INCHES PER HOUR FOR DOUGLAS-FIR IN CHAPTER 18 OF THIS TECHNICAL REPORT (FIRE SAFETY OF WOOD CONSTRUCTION); A PARTIAL COPY OF THIS CHAPTER WITH THE RELEVANT SECTION IS INCLUDED ON THIS SHEET AND ADDITIONAL INFORMATION CAN BE PROVIDED. DETAILS IN THIS SET ARE SHOWN BOTH WAYS WITH THE CONCEPT THAT THIS IS A MEANS AND METHOD PROCEDURE FOR THE BUILDER. DETAILS ON THIS AT SERIES SHOW THE SOLID BLOCKING ALTERNATIVE AT THE SHAFT WALL LOCATIONS WHILE DETAILS ON SHEET AS 22 SHOW BOTH SCENARIOS CONTINUOUS CYPRESS BOARD AT THE TRANSITIONS BETWEEN THE FLOORS AND THE EXTERIOR WALLS AND THE SOLID BLOCKING. AS SUGGESTED IN THE DRAWINGS, THE FIRE PROTECTION AT THESE TRANSITIONS COULD BE ACCOMPLISHED EITHER WAY AND IS UP TO THE DISCRETION OF THE BUILDER.	



**3 EGRESS PLAN - 3RD FLOOR (4TH FLOOR SIM)**  
SCALE: 1/16" = 1'-0"



**1 EGRESS PLAN - 1ST FLOOR**  
SCALE: 1/16" = 1'-0"



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:

1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

EGRESS DIAGRAMS

JOB #: 2236  
SCALE: As indicated

**A1.0**

DATE: 08/02/23



BELOW ARE THE CUT SHEETS OF THE RETRACTABLE LADDER

PRODUCT WEBSITE LINK: <https://www.jomy.com/en/ladders/retractable>

CIVIL ENGINEERING

**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

**JETT LANDSCAPE  
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TENANT IMPROVEMENT ARCHITECT

**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

**JOMY**  
Aluminium constructions  
for your safety

RETRACTABLE  
LADDERS

JOMY ladder                      Mini-JOMY ladder

STANDARD JOMY LADDER  
PERPENDICULAR TO THE WALL

Front View

Side View

Top View

Dimensions		
A	max. 1500mm	max. 4' 11"
B	max. 650mm	max. 2' 1"
C	680mm	2' 2 3/4"
D	381mm	1' 3"
E	133mm	5 1/4"
F	182mm	7 5/32"

**THE MOST ESTHETIC, SECURED, BURGLAR-RESISTANT AND COMPACT SOLUTION**

- Unobtrusive, looks like a drainpipe;
- Deploys instantly from any number of evacuation levels;
- Burglar resistant;
- RAL color with polyester powder coating (optional);
- Fixed lifetime for secure access and working at height (optional);
- At a reassuring price.

🔒 Burglar-resistant.

👁️ Closes to the size of a drainpipe when not used.

⚡ Opens in an instant when needed.

🌍 Dependable, reliable and tested in over 20,000 installations worldwide.

**Key measurements :**

- ▲ Level of highest evacuation point
- Overshoot height: approx 7 ft or 2.25 m
- Total ladder height = A + B
- Horizontal distance between evacuation balcony and ladder: approx 2 ft or 60 cm

**Options:**

JOMY	Mini-JOMY
Evacuation and access.	Mostly access.
Up to 30 m or 100 ft (and higher if needed).	Up to 15 m or 50 ft.
Multiple independent opening handles.	1 or maximum 2 simple opening latches.
Rungs: 1000 lb or 450 Kg. Ladder total: 11000 lb or 5,000 Kg.	Rungs: 770 lb or 350 Kg. Ladder total: 5500 lb or 2,500 Kg.
One attachment every 5 ft or 1.5 m. Optionally, with reinforcement profile, one attachment every 10 ft or 3m.	One attachment every 3'3" ft or 1 m.
At an affordable price.	Lower price than a JOMY for the same height.
Guardrail on the left or right.	No guardrail.

Options - Access balcony - Attachment at a distance from the facade - Reinforcement profile - RAL color (polyester powder coating) - Locking hub and padlock for opening mechanism - Protection against over-opening in the absence of a solid floor - Double opening mechanism and double guardrail to use the ladder from both sides - Opening detector.

**JOMY**  
WWW.JOMY.BE

**JOMY S.A.**  
info@jomy.be  
+32 4 278 55 12  
Rue Bourgogne 20  
4452 Wihogne, Belgium

**DO NOT COPY**

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ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:

1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

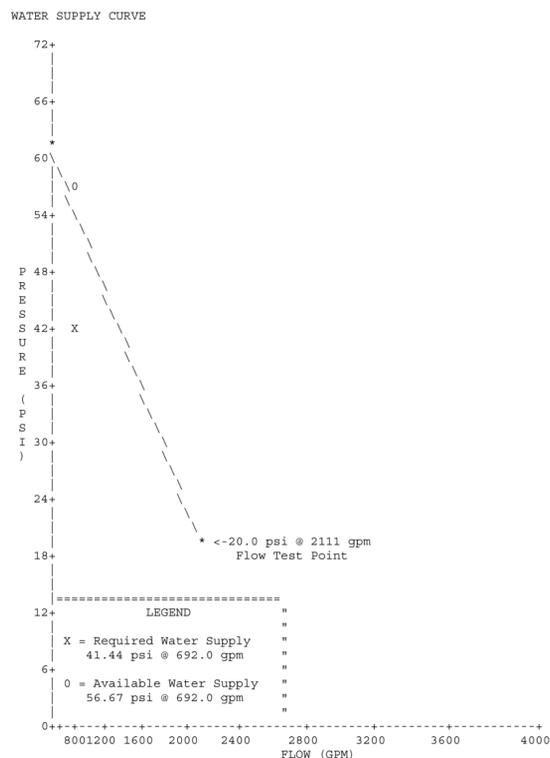
RETRACTABLE  
LADDER

JOB #: 2236

SCALE:

A1.2

DATE: 08/21/23



PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM. (PSI)
Pipe: 26						-442.0	6.275	PL 25.00	PF 0.6
BF2	1.5	0.0	40.2	0.0	4.6	140	FTG	2ETG	PE 0.6
S	0.0	SRCE	41.4	(N/A)		0.005	TL	120.80	PV

- NOTES (HASS):
- Calculations were performed by the HASS 2023 D computer program under license no. 64600052 granted by HRS Systems, Inc. 208 Southside Square, Petersburg, TN 37144 (931) 659-9760
  - The system has been calculated to provide an average imbalance at each node of 0.006 gpm and a maximum imbalance at any node of 0.152 gpm.
  - Total pressure at each node is used in balancing the system. Maximum water velocity is 12.8 ft/sec at pipe 12.
  - Items listed in bold print on the cover sheet are automatically transferred from the calculation report.

(5) PIPE FITTINGS TABLE

User Pipe Table Name: STANDARD

PAGE: A MATERIAL: S40 HWC: 120

Diameter (in)	E	T	L	C	B	G	A	D	F
2.067	5.00	10.00	3.00	11.00	6.00	1.00	10.00	10.00	14.00
4.026	10.00	20.00	6.00	22.00	12.00	2.00	20.00	13.00	30.00
6.065	14.00	30.00	9.00	32.00	10.00	3.00	28.00	31.00	16.00

PAGE: D MATERIAL: DIRON HWC: 140

Diameter (in)	E	T	L	C	B	G
6.275	22.00	47.10	14.10	50.20	15.70	4.70

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM. (PSI)
Pipe: 13						-30.3	2.067	PL 5.00	PF 0.2
14	14.0	8.0	14.4	30.3	2.9	120	FTG	T	PE 0.0
13	14.0	0.0	14.5	0.0		0.010	TL	15.00	PV
Pipe: 14						-327.9	4.026	PL 12.67	PF 0.4
13	14.0	0.0	14.5	0.0	8.3	120	FTG	---	PE 0.0
19	14.0	0.0	14.9	0.0		0.033	TL	12.67	PV
Pipe: 15						-28.1	2.067	PL 8.50	PF 0.1
15	14.0	8.0	12.4	28.1	2.7	120	FTG	---	PE 0.0
16	14.0	8.0	12.5	28.2		0.009	TL	8.50	PV
Pipe: 16						-56.4	2.067	PL 8.50	PF 0.3
16	14.0	8.0	12.5	28.2	5.4	120	FTG	---	PE 0.0
17	14.0	8.0	12.7	28.5		0.033	TL	8.50	PV
Pipe: 17						-84.9	2.067	PL 8.50	PF 0.6
17	14.0	8.0	12.7	28.5	8.1	120	FTG	---	PE 0.0
18	14.0	8.0	13.3	29.2		0.069	TL	8.50	PV
Pipe: 18						-114.1	2.067	PL 3.50	PF 1.6
18	14.0	8.0	13.3	29.2	10.9	120	FTG	T	PE 0.0
19	14.0	0.0	14.9	0.0		0.120	TL	13.50	PV
Pipe: 19						-442.0	4.026	PL 70.00	PF 10.5
19	14.0	0.0	14.9	0.0	11.1	120	FTG	3ETCBF	PE 3.9
1F	5.0	0.0	29.3	0.0		0.057	TL	184.00	PV
Pipe: 20						-442.0	6.065	PL 8.00	PF 0.3
1F	5.0	0.0	29.3	0.0	4.9	120	FTG	T	PE -3.5
99	13.0	0.0	26.2	0.0		0.008	TL	38.00	PV
Pipe: 21						-442.0	6.065	PL 70.00	PF 0.9
99	13.0	0.0	26.2	0.0	4.9	120	FTG	TB	PE 0.0
100	13.0	0.0	27.0	0.0		0.008	TL	110.00	PV
Pipe: 22						-442.0	6.065	PL 21.50	PF 0.4
100	13.0	0.0	27.0	0.0	4.9	120	FTG	2E	PE 0.0
TR	13.0	0.0	27.4	0.0		0.008	TL	49.50	PV
Pipe: 23						-442.0	6.065	PL 12.00	PF 0.4
TR	13.0	0.0	27.4	0.0	4.9	120	FTG	CB	PE 5.2
BR	1.0	0.0	33.0	0.0		0.008	TL	54.00	PV
Pipe: 24						-442.0	6.275	PL 10.00	PF 0.4
BR	1.0	0.0	33.0	0.0	4.6	140	FTG	3E	PE -0.2
BF1	1.5	0.0	33.2	0.0		0.005	TL	76.00	PV
Pipe: 25						FIXED PRESSURE LOSS DEVICE			
BF1	1.5	0.0	33.2	0.0		7.0 psi,	442.0 gpm		
BF2	1.5	0.0	40.2	0.0					

PIPE DATA

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM. (PSI)
Pipe: 1						-26.0	2.067	PL 8.50	PF 0.1
1	14.0	8.0	10.6	26.0	2.5	120	FTG	---	PE 0.0
2	14.0	8.0	10.6	26.1		0.008	TL	8.50	FV
Pipe: 2						-52.1	2.067	PL 8.50	PF 0.2
2	14.0	8.0	10.6	26.1	5.0	120	FTG	---	PE 0.0
3	14.0	8.0	10.9	26.4		0.028	TL	8.50	FV
Pipe: 3						-78.5	2.067	PL 8.50	PF 0.5
3	14.0	8.0	10.9	26.4	7.5	120	FTG	---	PE 0.0
4	14.0	8.0	11.4	27.0		0.060	TL	8.50	FV
Pipe: 4						-105.4	2.067	PL 8.50	PF 0.9
4	14.0	8.0	11.4	27.0	10.1	120	FTG	---	PE 0.0
5	14.0	8.0	12.3	28.0		0.104	TL	8.50	FV
Pipe: 5						-133.4	2.067	PL 3.50	PF 2.2
5	14.0	8.0	12.3	28.0	12.8	120	FTG	T	PE 0.0
6	14.0	0.0	14.4	0.0		0.160	TL	13.50	PV
Pipe: 6						-30.2	2.067	PL 5.50	PF 0.2
7	14.0	8.0	14.3	30.2	2.9	120	FTG	T	PE 0.0
6	14.0	0.0	14.4	0.0		0.010	TL	15.50	FV
Pipe: 7						-163.7	4.026	PL 11.08	PF 0.1
6	14.0	0.0	14.4	0.0	4.1	120	FTG	---	PE 0.0
13	14.0	0.0	14.5	0.0		0.009	TL	11.08	FV
Pipe: 8						-26.1	2.067	PL 8.50	PF 0.1
8	14.0	8.0	10.6	26.1	2.5	120	FTG	---	PE 0.0
9	14.0	8.0	10.7	26.2		0.008	TL	8.50	FV
Pipe: 9						-52.3	2.067	PL 8.50	PF 0.2
9	14.0	8.0	10.7	26.2	5.0	120	FTG	---	PE 0.0
10	14.0	8.0	10.9	26.5		0.028	TL	8.50	FV
Pipe: 10						-78.7	2.067	PL 8.50	PF 0.5
10	14.0	8.0	10.9	26.5	7.5	120	FTG	---	PE 0.0
11	14.0	8.0	11.5	27.1		0.060	TL	8.50	FV
Pipe: 11						-105.8	2.067	PL 8.50	PF 0.9
11	14.0	8.0	11.5	27.1	10.1	120	FTG	---	PE 0.0
12	14.0	8.0	12.3	28.1		0.104	TL	8.50	FV
Pipe: 12						-133.9	2.067	PL 3.50	PF 2.2
12	14.0	8.0	12.3	28.1	12.8	120	FTG	T	PE 0.0
13	14.0	0.0	14.5	0.0		0.161	TL	13.50	PV

WATER SUPPLY DATA

SOURCE	STATIC PRESS. (PSI)	RESID. PRESS. (PSI)	FLOW @ (GPM)	AVAIL. PRESS. (PSI)	TOTAL @ DEMAND (GPM)	REQ'D PRESS. (PSI)
S	62.0	20.0	2111.0	56.7	692.0	41.4

Available pressure is 15.2 psi (27%) greater than required pressure.

AGGREGATE FLOW ANALYSIS:

TOTAL FLOW AT SOURCE	TOTAL HOSE STREAM ALLOWANCE AT SOURCE	OTHER HOSE STREAM ALLOWANCES	TOTAL DISCHARGE FROM ACTIVE SPRINKLERS
692.0 GPM	250.0 GPM	0.0 GPM	442.0 GPM

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
1	14.0	K= 8.00	10.6	26.0
2	14.0	K= 8.00	10.6	26.1
3	14.0	K= 8.00	10.9	26.4
4	14.0	K= 8.00	11.4	27.0
5	14.0	K= 8.00	12.3	28.0
6	14.0	K= 8.00	14.4	0.0
7	14.0	K= 8.00	14.3	30.2
8	14.0	K= 8.00	10.6	26.1
9	14.0	K= 8.00	10.7	26.2
10	14.0	K= 8.00	10.9	26.5
11	14.0	K= 8.00	11.5	27.1
12	14.0	K= 8.00	12.3	28.1
13	14.0	K= 8.00	14.5	0.0
14	14.0	K= 8.00	14.4	30.3
15	14.0	K= 8.00	12.4	28.1
16	14.0	K= 8.00	12.5	28.2
17	14.0	K= 8.00	12.7	28.5
18	14.0	K= 8.00	13.3	29.2
19	14.0	K= 8.00	14.9	0.0
1F	5.0	K= 8.00	29.3	0.0
99	13.0	K= 8.00	26.2	0.0
100	13.0	K= 8.00	27.0	0.0
TR	13.0	K= 8.00	27.4	0.0
BR	1.0	K= 8.00	33.0	0.0
BF1	1.5	K= 8.00	33.2	0.0
BF2	1.5	K= 8.00	40.2	0.0
S	0.0	SOURCE	41.4	442.0

Hydraulic Calculations

Project Information

Project Name: 555 Kelly  
 Address: 555 Kelly Ave.  
 Half Moon Bay, CA

Date: 8/30/23  
 File #: 33025-1  
 Index: 202

Calculation Area: Level 1 - Parking Garage

Design Criteria

Occupancy Classification: Ordinary Hazard II

Density: 20 gpm/sq. ft.

Area of Operation: 1,500 sq. ft.

Number of Sprinklers Calculated: 16 heads

Hose Allowance: 000 gpm inside, 250 gpm outside  
 Rack Sprinkler Allowance: 0 gpm

Water Supply: Static 62.0 psi, Residual 20.0 psi, Flow 2111 gpm  
 Sprinklers: Make: Sprinkler, Size: K=8.0

Calculation Summary

Total Sprinkler Water Flow: 442.0 gpm  
 Flow & Pressure: (at standpipe connection) 442.0 gpm @ 29.3 psi  
 (at city connection) 692.0 gpm @ 41.4 psi

Notes:

ID	DATE	NAME

Project:

**555 KELLY**

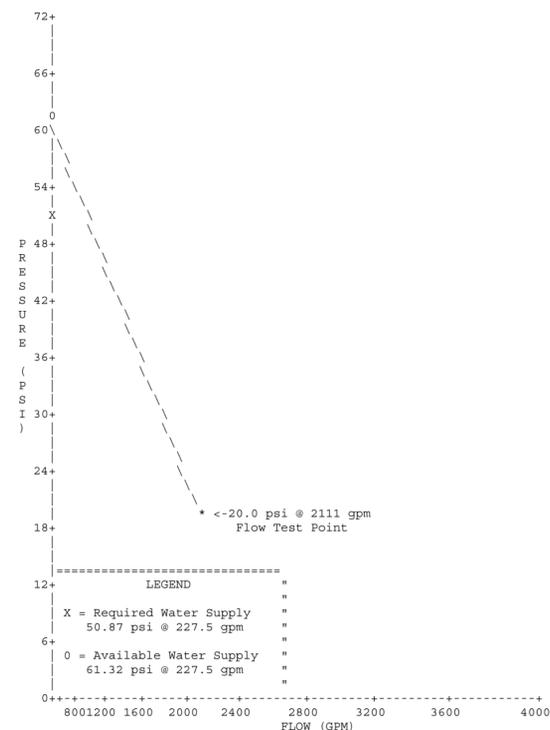
555 KELLY AVE,  
 HALF MOON BAY, CA 94019



1256 MARKET STREET,  
 SAN FRANCISCO, CA 94102

HYDRAUL

WATER SUPPLY CURVE



(4) Items listed in bold print on the cover sheet are automatically transferred from the calculation report.

(5) PIPE FITTINGS TABLE

User Pipe Table Name: STANDARD

PAGE: A MATERIAL: S40 HWC: 120  
Equivalent Fitting Lengths in Feet

Diameter (in)	E	T	L	C	B	G	A	D	F
1.049	2.00	5.00	2.00	5.00	6.00	1.00	10.00	10.00	6.00
1.380	3.00	6.00	2.00	7.00	6.00	1.00	10.00	10.00	9.00
1.610	4.00	8.00	2.00	9.00	6.00	1.00	10.00	10.00	10.00
2.469	6.00	12.00	4.00	14.00	7.00	1.00	10.00	10.00	17.00
4.026	10.00	20.00	6.00	22.00	12.00	2.00	20.00	13.00	30.00
6.065	14.00	30.00	9.00	32.00	10.00	3.00	28.00	31.00	16.00

PAGE: D MATERIAL: DIRON HWC: 140  
Equivalent Fitting Lengths in Feet

Diameter (in)	E	T	L	C	B	G
6.275	22.00	47.10	14.10	50.20	15.70	4.70

PIPE TAG	END NODES	ELEV. (FT)	NOZ. (K)	PT (PSI)	DISC. (GPM)	Q (GPM) VEL (FPS)	DIA (IN) HW (C) FL/FT	LENGTH (FT)	PRESS. SUM. (PSI)
Pipe: 13	13	55.0	0.0	10.2	0.0	-127.6 8.5	2.469 PL 120.00	120.00	PF 8.9
Pipe: 14	14	55.0	0.0	19.1	0.0	0.062 TL	144.00	144.00	PV 0.0
Pipe: 14	14	55.0	0.0	19.1	0.0	-127.6	4.026 PL	6.00	PF 0.6
Pipe: 15	5F	50.0	0.0	21.9	0.0	-127.6	6.065 PL	37.00	PF 0.1
Pipe: 16	99	13.0	0.0	38.0	0.0	0.001 TL	67.00	67.00	PV 16.0
Pipe: 16	99	13.0	0.0	38.0	0.0	-127.6	6.065 PL	70.00	PF 0.1
Pipe: 17	100	13.0	0.0	38.1	0.0	0.001 TL	110.00	110.00	PV 0.0
Pipe: 17	100	13.0	0.0	38.1	0.0	-127.6	6.065 PL	21.50	PF 0.0
Pipe: 18	TR	13.0	0.0	38.1	0.0	120 FTG	49.50	49.50	PV 0.0
Pipe: 18	TR	13.0	0.0	38.1	0.0	-127.6	6.065 PL	12.00	PF 0.0
Pipe: 19	BR	1.0	0.0	43.3	0.0	120 FTG	54.00	54.00	PV 5.2
Pipe: 19	BR	1.0	0.0	43.3	0.0	-127.6	6.275 PL	10.00	PF 0.0
Pipe: 20	BF1	1.5	0.0	43.2	0.0	140 FTG	76.00	76.00	PV -0.2
Pipe: 20	BF2	1.5	0.0	50.2	0.0	0.000 TL	76.00	76.00	PV 0.0
Pipe: 21	BF1	1.5	0.0	43.2	0.0	7.0 psi, 127.6 gpm			
Pipe: 21	BF2	1.5	0.0	50.2	0.0	-127.5	6.275 PL	25.00	PF 0.1
Pipe: 21	S	0.0	0.0	50.2	0.0	140 FTG	2ETG	PE 0.6	
Pipe: 21	S	0.0	0.0	50.9	(N/A)	0.000 TL	120.80	120.80	PV 0.0

- NOTES (HASS):
- Calculations were performed by the HASS 2023 D computer program under license no. 64600052 granted by HRS Systems, Inc. 208 Southside Square Petersburg, TN 37144 (931) 659-9760
  - The system has been calculated to provide an average imbalance at each node of 0.006 gpm and a maximum imbalance at any node of 0.128 gpm.
  - Total pressure at each node is used in balancing the system. Maximum water velocity is 8.5 ft/sec at pipe 13.

PIPE DATA

PIPE TAG	END NODES	ELEV. (FT)	NOZ. (K)	PT (PSI)	DISC. (GPM)	Q (GPM) VEL (FPS)	DIA (IN) HW (C) FL/FT	LENGTH (FT)	PRESS. SUM. (PSI)
Pipe: 1	1	55.0	5.6	7.2	15.1	-15.1 5.6	1.049 PL 5.00	5.00	PF 0.5
Pipe: 1	3	55.0	0.0	7.8	0.0	120 FTG	7.00	7.00	PE 0.0
Pipe: 2	2	55.0	5.6	7.0	14.8	-14.8 5.5	1.049 PL 3.25	3.25	PF 0.8
Pipe: 2	3	55.0	0.0	7.8	0.0	120 FTG	10.25	10.25	PE 0.0
Pipe: 3	3	55.0	0.0	7.8	0.0	-29.9 6.4	1.380 PL 10.00	10.00	PF 0.7
Pipe: 3	4	55.0	5.6	8.5	16.3	120 FTG	10.00	10.00	PE 0.0
Pipe: 4	4	55.0	5.6	8.5	16.3	-46.2 7.3	1.610 PL 10.83	10.83	PF 1.4
Pipe: 4	5	55.0	0.0	9.9	0.0	120 FTG	18.83	18.83	PE 0.0
Pipe: 5	5	55.0	0.0	9.9	0.0	-46.2 3.1	2.469 PL 1.00	1.00	PF 0.0
Pipe: 5	7	55.0	0.0	9.9	0.0	120 FTG	1.00	1.00	PE 0.0
Pipe: 6	6	55.0	5.6	9.1	16.9	-16.9 6.3	1.049 PL 1.50	1.50	PF 0.8
Pipe: 6	7	55.0	0.0	9.9	0.0	120 FTG	8.50	8.50	PE 0.0
Pipe: 7	7	55.0	0.0	9.9	0.0	-63.1 4.2	2.469 PL 7.08	7.08	PF 0.1
Pipe: 7	11	55.0	0.0	10.0	0.0	120 FTG	7.08	7.08	PE 0.0
Pipe: 8	8	55.0	5.6	7.2	15.1	-15.1 5.6	1.049 PL 8.00	8.00	PF 0.8
Pipe: 8	9	55.0	5.6	8.0	15.9	120 FTG	10.00	10.00	PE 0.0
Pipe: 9	9	55.0	5.6	8.0	15.9	-30.9 6.6	1.380 PL 7.00	7.00	PF 0.5
Pipe: 9	10	55.0	5.6	8.6	16.4	120 FTG	7.00	7.00	PE 0.0
Pipe: 10	10	55.0	5.6	8.6	16.4	-47.3 7.5	1.610 PL 10.83	10.83	PF 1.5
Pipe: 10	11	55.0	0.0	10.0	0.0	120 FTG	18.83	18.83	PE 0.0
Pipe: 11	11	55.0	0.0	10.0	0.0	-110.4 7.4	2.469 PL 3.50	3.50	PF 0.2
Pipe: 11	13	55.0	0.0	10.2	0.0	120 FTG	3.50	3.50	PE 0.0
Pipe: 12	12	55.0	5.6	9.4	17.2	-17.2 6.4	1.049 PL 1.50	1.50	PF 0.8
Pipe: 12	13	55.0	0.0	10.2	0.0	120 FTG	8.50	8.50	PE 0.0

WATER SUPPLY DATA

SOURCE TAG	STATIC PRESS. (PSI)	RESID. PRESS. (PSI)	FLOW @ (GPM)	AVAIL. PRESS. (PSI)	TOTAL @ DEMAND (GPM)	REQ'D PRESS. (PSI)
S	62.0	20.0	2111.0	61.3	227.5	50.9

Available pressure is 10.5 psi (17%) greater than required pressure.

AGGREGATE FLOW ANALYSIS:

TOTAL FLOW AT SOURCE	227.5 GPM
TOTAL HOSE STREAM ALLOWANCE AT SOURCE	100.0 GPM
OTHER HOSE STREAM ALLOWANCES	0.0 GPM
TOTAL DISCHARGE FROM ACTIVE SPRINKLERS	127.5 GPM

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
1	55.0	K= 5.60	7.2	15.1
2	55.0	K= 5.60	7.0	14.8
3	55.0	- - -	7.8	- - -
4	55.0	K= 5.60	8.5	16.3
5	55.0	- - -	9.9	- - -
6	55.0	K= 5.60	9.1	16.9
7	55.0	- - -	9.9	- - -
8	55.0	K= 5.60	7.2	15.1
9	55.0	K= 5.60	8.0	15.9
10	55.0	K= 5.60	8.6	16.4
11	55.0	- - -	10.0	- - -
12	55.0	K= 5.60	9.4	17.2
13	55.0	- - -	10.2	- - -
14	55.0	- - -	19.1	- - -
5F	50.0	- - -	21.9	- - -
99	13.0	- - -	38.0	- - -
100	13.0	- - -	38.1	- - -
TR	13.0	- - -	38.1	- - -
BR	1.0	- - -	43.3	- - -
BF1	1.5	- - -	43.2	- - -
BF2	1.5	- - -	50.2	- - -
S	0.0	SOURCE	50.9	127.5

Hydraulic Calculations

Project Information

Project Name:	555 Kelly	Date:	8/30/23
Address:	555 Kelly Ave. Half Moon Bay, CA	File #	33025-5
		Index	202

Calculation Area: Level 5 - Residential

Design Criteria

Occupancy Classification:	Residential
Density:	.10 gpm/sq. ft.
Area of Operation:	8 sprinklers
Number of Sprinklers Calculated:	8 heads
Hose Allowance	Rack Sprinkler Allowance
000 gpm inside	0 gpm
100 gpm outside	
Water Supply	Sprinklers
Static 62.0 psi	Make: Residential Sprinkler
Residual 20.0 psi	Size K=5.6
Flow 2111 gpm	

Calculation Summary

Total Sprinkler Water Flow:	127.5 gpm
Flow & Pressure: (at standpipe connection)	127.5 gpm @ 21.9 psi
(at city connection)	227.5 gpm @ 50.9 psi

Notes:

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

HYDRAULIC CALCS -  
RESIDENTIAL

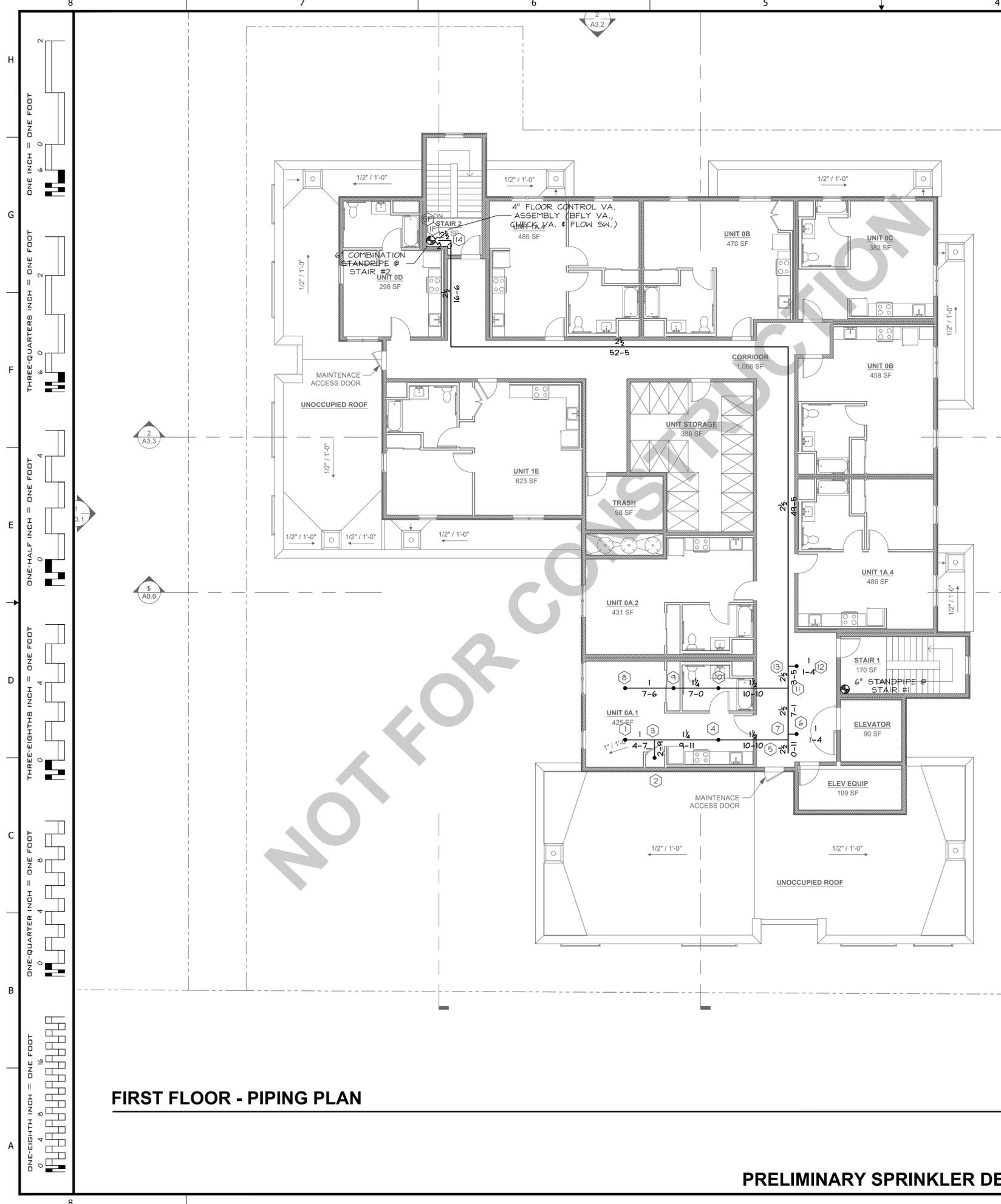
JOB #: 2236

SCALE:

A1.4

DATE: 10/04/23





FIRST FLOOR - PIPING PLAN

1/8" = 1'-0"

**WATER FLOW INFORMATION**

COASTSIDE  
Hydrant Flow Test By Hydrant  
Hydrant Number = "CCWD-130"

Date	Static	Residual	Pitot	Pitot 2	GPM	20 PSI	10 PSI	0 PSI	
01/04/2008	52	30.00	0.00	919	2111	2370	2606	2442	
01/04/2018	52	30.00	0.00	919	2111	2370	2606	2442	
Subtotal Flow Tests:					2	Min: 769	1867	2171	2442
						Max: 919	2111	2370	2606
						Avg: 844	1989	2270	2524
Total Flow Tests:					2				

**HYDRAULIC DESIGN CRITERIA**

LEVEL #5 - RESIDENTIAL W/ A DESIGN DENSITY OF .10 GPM PER SQ. FT. OVER #8 SPRINKLERS (REF: NFPA 13:2022 19.3.1.2.1 & 19.3.1.3)

\* POSSIBLE 4 SPRINKLERS DESIGN IF NO UNSPRINKLERED CONCEALED SPACES (REF: NFPA 13:2022 FIG. 19.3.1.1)

OUTSIDE HOSE ALLOWANCE: 100 GPM

TOTAL SYSTEM DEMAND (INCLUDING HOSE ALLOWANCE) - 227.5 GPM  
 AVAILABLE PRESSURE - 61.3 PSI  
 REQUIRED PRESSURE - 50.9 PSI  
 SAFETY MARGIN - 10.5 PSI (17%)

SPRINKLER K-FACTOR = 5.6

SPRINKLER ELEVATION - +55' (BASED ARCHITECTURAL BUILDING ELEVATIONS SHEETS A3.1 & A3.2).

6" UNDERGROUND WILL BE REQUIRED COORDINATE EXACT UNDERGROUND ROUTING WITH CIVIL.

7 PSI LOSS THROUGH BACKFLOW PREVENTER - COORDINATE EXACT MAKE AND MODEL WITH CIVIL.

DATE	8-29-23
SCALE	1/8" = 1'-0"
DRAWN	HM
FILE NUMBER	33025
SYSTEM	WET
OCCUPANCY	NFPA 13
SHEET TITLE	555 KELLY 555 KELLY AVE. HALF MOON BAY, CA
SHEET NUMBER	FP-2 2 OF 2 SHEETS

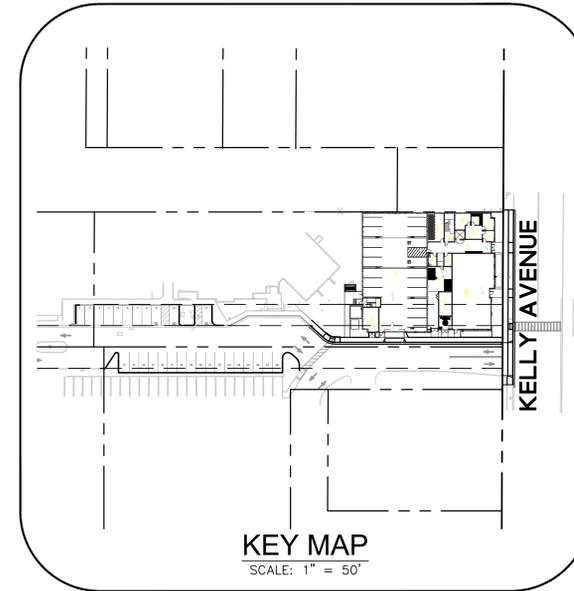
**PRELIMINARY SPRINKLER DESIGN FOR FIRE PUMP DETERMINATION**

The Fire Consultants, Inc.  
2890 North Main Street  
Suite 210  
Walnut Creek, CA 94597  
925-979-9993

CITY & STATE: HALF MOON BAY, CA  
ADDRESS: 555 KELLY AVE.  
PROJECT: 555 KELLY

# 555 KELLY AVENUE ENTITLEMENT PLANS

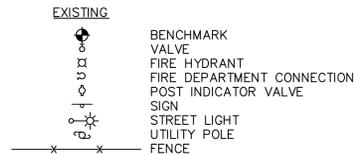
HALF MOON BAY, SAN MATEO COUNTY, CALIFORNIA



## ABBREVIATIONS

AB	AGGREGATE BASE	L/C	LANDSCAPE
AC	ASPHALT CONCRETE	LF	LINEAR FEET
AD	AREA DRAIN	LG	LIP OF GUTTER
BW, B/W	BACK OF WALK	LID	LOW IMPACT DEVELOPMENT
BFP	BACKFLOW PREVENTER	LSM	LICENSED SURVEYOR MAPS
BLDG	BUILDING	LT	LIGHT
BTM	BOTTOM	M	MAPS
C&G	CURB AND GUTTER	MB	MAILBOX
CB	CATCH BASIN	N	NORTH
CCP	CONCRETE CYLINDER PIPE	OH	OVERHEAD
CI	CAST IRON PIPE	OR, O.R.	OFFICIAL RECORD
CL, C/L	CENTER LINE	PERF	PERFORATED
CO	CLEAN OUT BOX	P&E	PACIFIC GAS & ELECTRIC
COMM	COMMUNICATIONS	PP	POWER POLE
CONC	CONCRETE	PIV	POST INDICATOR VALVE
CP	SURVEY CONTROL POINT	PL	PROPERTY LINE
CTV	CABLE TELEVISION	PR	PROPOSED
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R	RADIUS
DOC	DOCUMENT	RCP	REINFORCED CONCRETE PIPE
DW	DOMESTIC WATER	RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY
DWY	DRIVEWAY	S	SOUTH
E	EAST, ELECTRIC	S/W	SIDEWALK
EG	EXISTING GROUND	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ELEC	ELECTRIC	SD	STORM DRAIN
ELEV	ELEVATION	SDAD	STORM DRAIN AREA DRAIN
EM	ELECTRIC METER	SDCO	STORM DRAIN CLEANOUT
EP	EDGE OF PAVEMENT	SDDI	STORM DRAIN DROP INLET
ESMT	EASEMENT	SDMH	STORM DRAIN MANHOLE
EV	ELECTRIC VAULT	S.L.P.	SEE LANDSCAPE PLANS
EX	EXISTING	SS	SANITARY SEWER
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEANOUT
FDC	FIRE DEPARTMENT CHECK	SSMH	SANITARY SEWER MANHOLE
FF	FINISHED FLOOR	ST	STREET
FG	FINISHED GRADE	STA	STATION
FH	FIRE HYDRANT	TBD	TO BE DETERMINED
FL	FLOWLINE	TC	TOP OF CURB
FNC	FENCE	TG	TOP OF GRATE
FT	FEET	TEL	TELEPHONE
FW	FIRE WATER	TTC	THEORETICAL TOP OF CURB
GM	GAS METER	TWELL	TREE WELL
GND	GROUND	TYP	TYPICAL
GR	GRATE	UB	UTILITY BOX
GV	GAS VALVE, GATE VALVE	VC	VERTICAL CURVE
HCR	ACCESSIBLE RAMP	VERT	VERTICAL
HORIZ	HORIZONTAL	VLT	VAULT
INV	INVERT	W	WEST
IRR	IRRIGATION	WM	WATER METER
JP	JOINT POLE	WV	WATER VALVE
L	LENGTH	W/	WITH

## SYMBOLS & LEGEND



## NOTES

- UTILITY NOTE:** THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY LINES SHOWN HEREON OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.
- ENCROACHMENT PERMIT:** NO CONSTRUCTION ACTIVITY SHALL OCCUR AND NO PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL SHALL BE INSTALLED WITHIN THE CITY RIGHT-OF-WAY OR AFFECTING THE CITY'S IMPROVEMENTS PRIOR TO OBTAINING AN ENCROACHMENT PERMIT FROM THE CITY. ALL IMPROVEMENTS CONSTRUCTED WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS TO THE SATISFACTION OF THE CITY ENGINEER. TRAFFIC CONTROL SHALL CONFORM TO CALTRANS/ MUTCD STANDARD PLANS FOR TRAFFIC CONTROL IN CONSTRUCTION AND MAINTENANCE ZONES.
- SIDEWALK MAINTENANCE AND LIABILITY:** IT SHALL BE THE DUTY OF THE PROPERTY OWNER(S) WHOSE PROPERTY IS ADJACENT TO ANY PORTION OF A PUBLIC STREET OR PLACE TO MAINTAIN ANY SIDEWALKS ALONG THE PROJECT FRONTAGE IN A SAFE AND NON-DAINGEROUS CONDITION. SIDEWALK MAINTENANCE SHALL INCLUDE REMOVAL AND REPLACEMENT OF CONCRETE TO ELIMINATE TRIPPING HAZARDS; AND PRUNING AND TRIMMING OF TREES, SHRUBS, GROUND COVER AND OTHER LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY. THE PROPERTY OWNER HAS THE PRIMARY AND EXCLUSIVE DUTY TO FUND AND PERFORM SUCH MAINTENANCE AND REPAIR, WHETHER THE CITY HAS NOTIFIED THE PROPERTY OWNER OF THE NEED FOR SUCH MAINTENANCE OR REPAIRS OR HAS PERFORMED SIMILAR MAINTENANCE OR REPAIRS IN THE PAST, PURSUANT TO §12.18.020 AND §12.18.030 OF THE HALF MOON BAY MUNICIPAL CODE.
- CONSTRUCTION HOURS:** CONSTRUCTION WORK SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY; 8:00 A.M. TO 6:00 P.M. SATURDAYS; AND 10:00 A.M. TO 6:00 P.M. SUNDAYS AND HOLIDAYS, EXCEPT AS EXPRESSLY AUTHORIZED BY THE CITY ENGINEER IN CONFORMANCE WITH SECTION 14.40.020 OF THE HALF MOON BAY MUNICIPAL CODE.
- NOTICE OF DISRUPTION:** THE PERMITTEE SHALL PROVIDE WRITTEN NOTICE TO AFFECTED PROPERTY AND BUSINESS OWNERS AND A COPY OF SUCH NOTICE TO THE CITY ENGINEER A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY PLANNED DISRUPTION OF PEDESTRIAN OR VEHICULAR TRAFFIC, PARKING, OR PUBLIC SERVICE FACILITIES.
- CONSTRUCTION MATERIAL STORAGE:** CONSTRUCTION MATERIAL SHALL NOT BE STORED IN THE STREET RIGHT-OF-WAY WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
- COPPER BUILDING ELEMENTS:** PRIOR TO ISSUANCE OF BUILDING PERMITS, THE BUILDING PLANS SHALL SPECIFY THAT ALL COPPER BUILDING ELEMENTS WILL BE PRE-PATINATED AT THE FACTORY, OR IF PATINATION WILL OCCUR ON THE SITE, THE PLANS SHALL IDENTIFY BEST MANAGEMENT PRACTICES IN CONFORMANCE WITH THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM REQUIREMENTS FOR ARCHITECTURAL COPPER, TO THE SATISFACTION OF THE CITY ENGINEER.
- STREET/PUBLIC RIGHT-OF-WAY CUTS FOR UTILITY CONNECTIONS:** STREET CUTS FOR UTILITY CONNECTIONS THAT ARE LESS THAN TWENTY (20) FEET APART SHALL BE REPAIRED WITH A SINGLE PATCH. ASPHALT REPAIR AND OVERLAY SHALL BE IN ACCORDANCE WITH THE CITY STANDARD DETAILS. TWO OR MORE STREET CUTS IN THE FRONTAGE ROAD FOR UTILITY CONNECTIONS WILL REQUIRE A SINGLE 2-INCH THICK ASPHALT CONCRETE OVERLAY PATCH ON EXISTING PAVEMENT ACROSS THE PROPERTY FRONTAGE.

## TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THIS MAP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM A FIELD SURVEY CONDUCTED BY BKF ENGINEERS.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIFLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND DO NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

FIELD SURVEY DATE: 07/03/23, 07/10/23

## BASIS OF BEARINGS

HORIZONTAL COORDINATES ARE ON AN ASSUMED SYSTEM BASED ON THE CONTROL POINTS SHOWN HEREON AN COORDINATES BELOW:

	NORTHING	EASTING	ELEVATION	
1	10475.64	5077.68	60.60	MAG NAIL
2	10000.00	5000.00	64.38	MAG NAIL

## BENCHMARK

ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, DERIVED FROM GPS OBSERVATIONS ON LEICA'S "SMARTNET" REAL TIME NETWORK (RTN).  
DATE OF SURVEY: 07/03/2023 (EPOCH 2023.5027)

SITE BENCHMARK IS SHOWN HEREON AS POINT NO. 2.

## FLOOD ZONE RATING:

THE SUBJECT PROPERTIES APPEAR ON F.I.R.M. MAP NO. 06081C0260E, EFFECTIVE DATE OCTOBER 16, 2012, AND LIES WITHIN ZONE "X", DESCRIBED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

## ZONING:

C-D COMMERCIAL, DOWNTOWN

## UTILITIES

WATER SUPPLY:	COASTSIDE COUNTY WATER DISTRICT
FIRE PROTECTION:	COASTSIDE FIRE PROTECTION DISTRICT
SEWAGE DISPOSAL:	MID-COASTSIDE SEWER AUTHORITY
STORM DRAIN:	CITY OF HALF MOON BAY
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T
CABLE TELEVISION:	AT&T

## SHEET INDEX

SHEET NO.	SHEET TITLE
C1.0	NOTES, LEGEND, & ABBREVIATIONS
C2.0	EXISTING CONDITIONS
C3.0	PARCELIZATION PLAN
C3.1	PROPOSED PARCELIZATION PLAN
C4.0	PRELIMINARY SITE PLAN
C5.0	PRELIMINARY GRADING PLAN
C5.1	CROSS SECTIONS
C6.0	PRELIMINARY UTILITY PLAN
C7.0	PRELIMINARY STORMWATER CONTROL PLAN
C8.0	DETAILS
C8.1	DETAILS

## ARCHITECT

VAN METER WILLIAMS POLLACK LLP  
333 BRYANT STREET, SUITE 300  
SAN FRANCISCO, CA 94107

## CIVIL ENGINEER

JANINE LAPP, PE  
BKF ENGINEERS  
150 CALIFORNIA STREET, SUITE 600  
SAN FRANCISCO, CA 94111  
415.930.7900

## ENGINEER'S STATEMENT

THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

*Janine Lapp*

JANINE LAPP, P.E.  
PROJECT MANAGER  
BKF ENGINEERS



1.22.2024  
DATE

**VAN METER  
WILLIAMS  
POLLACK** LLP

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | BAYVIEW | BIRMINGHAM  
333 Bryant Street, Suite 300, San Francisco, CA 94107 | 415.930.7900

## CIVIL ENGINEERING

### BKF ENGINEERS

150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111

## LANDSCAPE ARCHITECT

### JETT LANDSCAPE ARCHITECTURE + DESIGN

2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563

## TENANT IMPROVEMENT ARCHITECT

### STEINBERG HART

333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

NOTES, LEGEND,  
& ABBREVIATIONS

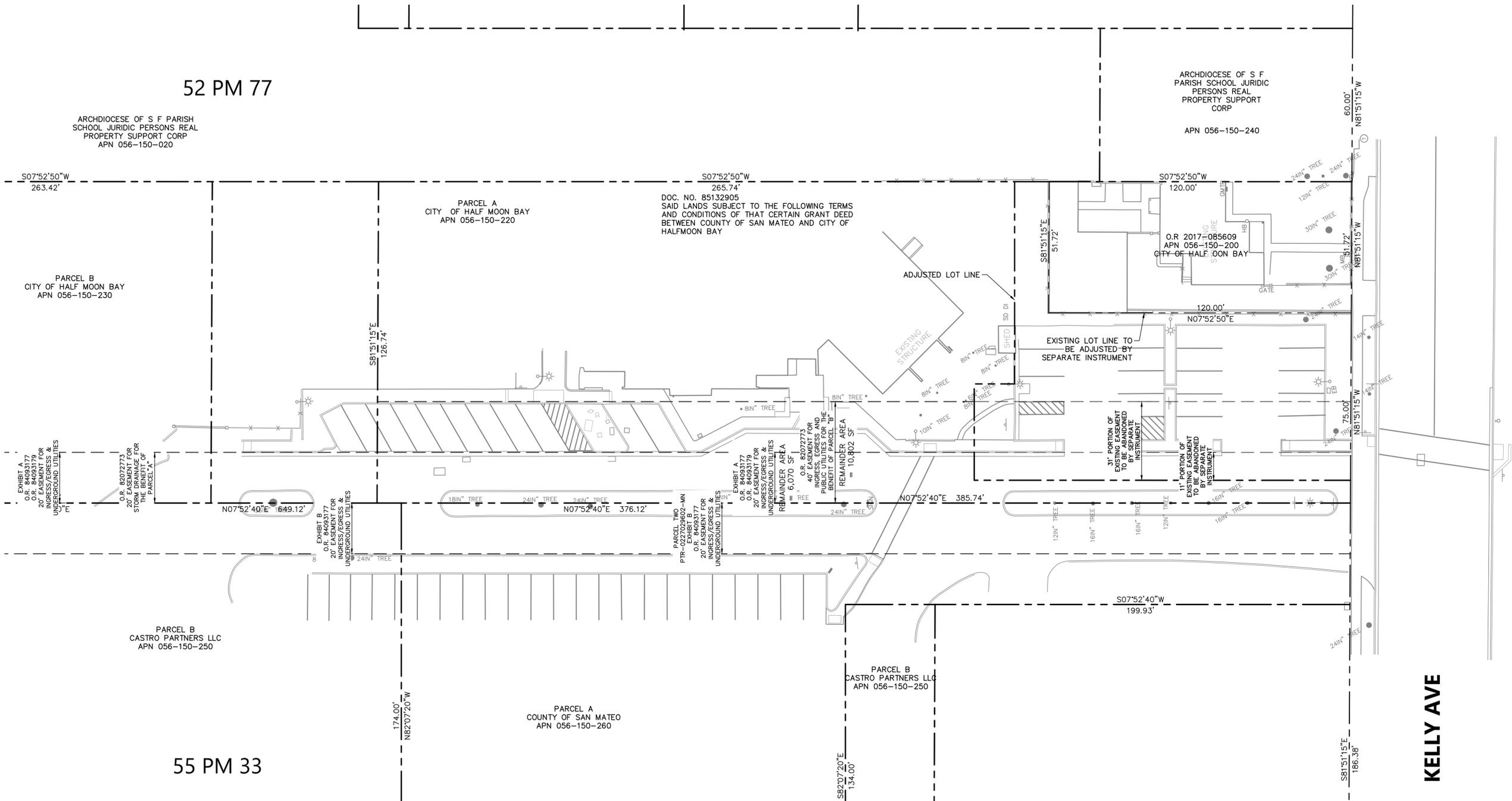
JOB #: 221803

SCALE: N/A

**C1.0**

DATE: 1.22.2024

52 PM 77



55 PM 33

**KELLY AVE**

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

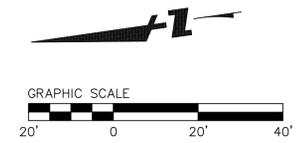
Client:  
  
**mercy  
HOUSING**  
 1256 MARKET STREET,  
 SAN FRANCISCO, CA 94102

**PARCELIZATION PLAN**

JOB #: 221803  
 SCALE: 1"=20'

**C3.0**

DATE: 1.22.2024



52 PM 77

ARCHDIOCESE OF S F PARISH  
SCHOOL JURIDIC PERSONS REAL  
PROPERTY SUPPORT CORP  
APN 056-150-020

ARCHDIOCESE OF S F  
PARISH SCHOOL JURIDIC  
PERSONS REAL  
PROPERTY SUPPORT  
CORP

APN 056-150-240

PARCEL A  
CITY OF HALF MOON BAY  
APN 056-150-220

DOC. NO. 85132905  
SAID LANDS SUBJECT TO THE FOLLOWING TERMS  
AND CONDITIONS OF THAT CERTAIN GRANT DEED  
BETWEEN COUNTY OF SAN MATEO AND CITY OF  
HALFMOON BAY

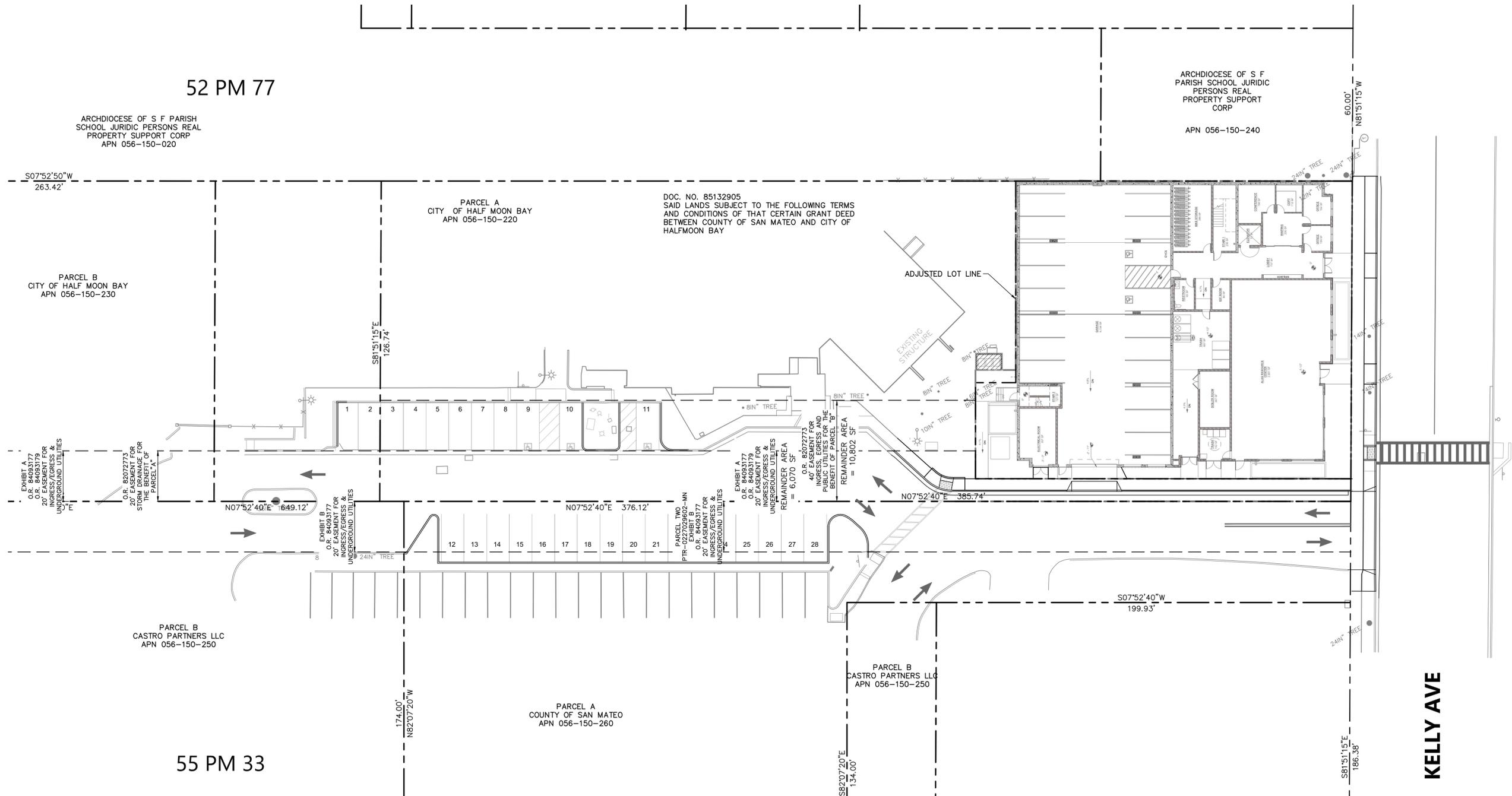
PARCEL B  
CITY OF HALF MOON BAY  
APN 056-150-230

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

PARCEL A  
COUNTY OF SAN MATEO  
APN 056-150-260

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

55 PM 33



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,  
HALF MOON BAY, CA 94019

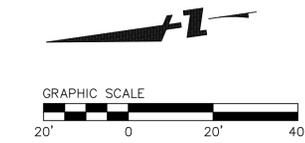
Client:  
 **mercy  
HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**PROPOSED  
PARCELIZATION PLAN**

JOB #: 221803  
SCALE: 1"=20'

**C3.1**

DATE: 1.22.2024



52 PM 77

ARCHDIOCESE OF S F PARISH  
SCHOOL JURIDIC PERSONS REAL  
PROPERTY SUPPORT CORP  
APN 056-150-020

ARCHDIOCESE OF S F  
PARISH SCHOOL JURIDIC  
PERSONS REAL  
PROPERTY SUPPORT  
CORP  
APN 056-150-240

PARCEL A  
CITY OF HALF MOON BAY  
APN 056-150-220

DOC. NO. 85132905  
SAID LANDS SUBJECT TO THE FOLLOWING TERMS  
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BETWEEN COUNTY OF SAN MATEO AND CITY OF  
HALFMOON BAY

PARCEL B  
CITY OF HALF MOON BAY  
APN 056-150-230

PR DIRECTIONAL  
ARROW

PR CURB RAMP  
SEE CALTRANS DETAIL  
A88A

CONFORM TO EXISTING  
CURB, GUTTER, AND  
SIDEWALK

OR 2017-085609  
APN 056-150-200  
CITY OF HALF MOON BAY

PR SIDEWALK  
(SI-3)  
(CB.0)

PR CURB AND  
GUTTER  
(SI-2)  
(CB.0)

5.00' SIDEWALK  
5.00' LANDSCAPE

EXISTING CROSSWALK  
SIGN AND BEACON

EXISTING CROSSWALK  
BEACON PUSH BUTTON  
TO REMAIN

REPLACE EXISTING  
CROSSWALK STRIPING,  
SEE CALTRANS DETAIL  
A24F

PR CURB RAMP  
SEE CALTRANS DETAIL  
A88A

S07°52'50"W  
263.42'

S07°52'50"W  
265.74'

S07°52'50"W  
206.00'

60.00'  
N81°51'15"W

S81°51'15"E  
126.74'

263.38'  
N07°52'40"E

N07°52'40"E  
285.74'

75.00'  
N81°51'15"W

CONFORM TO EXISTING  
6" VERTICAL CURB

REPLACE EX  
PEDESTRIAN  
CROSSING STRIPING

PR CENTERLINE  
STRIPING

PR DIRECTIONAL  
ARROW

CONFORM TO EXISTING  
CURB, GUTTER, AND  
SIDEWALK

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

PR DIRECTIONAL  
ARROW

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

PARCEL A  
COUNTY OF SAN MATEO  
APN 056-150-260

55 PM 33

174.00'  
N82°07'20"W

S89°07'20"E  
134.00'

26.47'  
DRIVE ASLE

S07°52'40"W  
199.93'

31.00'  
DRIVEWAY

S81°51'15"E  
186.38'

**KELLY AVE**

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,  
HALF MOON BAY, CA 94019

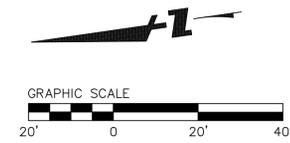
Client:  
**mercy  
HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

PRELIMINARY  
SITE PLAN

JOB #: 221803  
SCALE: 1"=20'

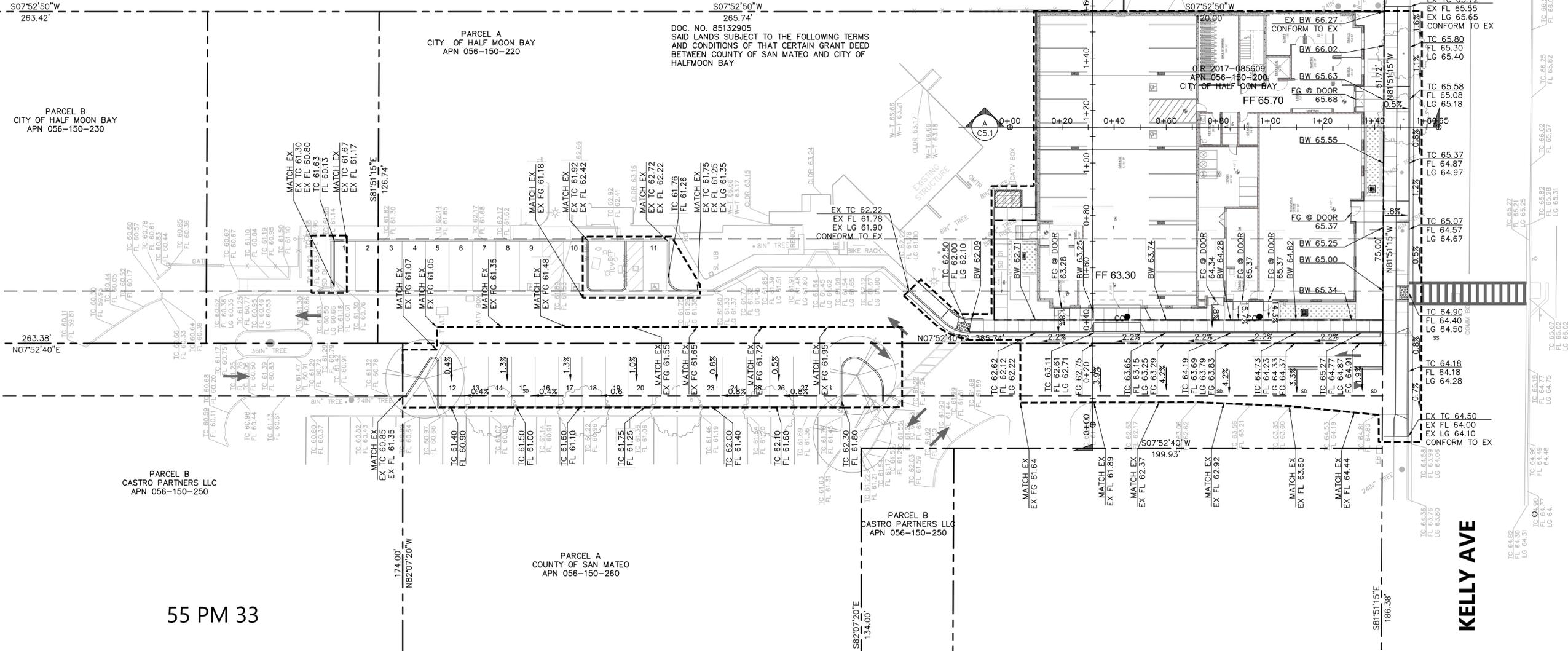
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DATE: 1.22.2024



52 PM 77

ARCHDIOCESE OF S F PARISH  
SCHOOL JURIDIC PERSONS REAL  
PROPERTY SUPPORT CORP  
APN 056-150-020



55 PM 33

ARCHDIOCESE OF S F  
PARISH SCHOOL JURIDIC  
PERSONS REAL  
PROPERTY SUPPORT  
CORP  
APN 056-150-240

PARCEL A  
CITY OF HALF MOON BAY  
APN 056-150-220

DOC. NO. 85132905  
SAID LANDS SUBJECT TO THE FOLLOWING TERMS  
AND CONDITIONS OF THAT CERTAIN GRANT DEED  
BETWEEN COUNTY OF SAN MATEO AND CITY OF  
HALFMOON BAY

PARCEL B  
CITY OF HALF MOON BAY  
APN 056-150-230

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

PARCEL A  
COUNTY OF SAN MATEO  
APN 056-150-260

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

KELLY AVE

- CIVIL ENGINEERING  
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150 CALIFORNIA STREET, SUITE 600,  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,  
HALF MOON BAY, CA 94019



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

PRELIMINARY  
GRADING PLAN

JOB #: 221803  
SCALE: 1"=20'

C5.0

DATE: 1.22.2024

**NOTES:**

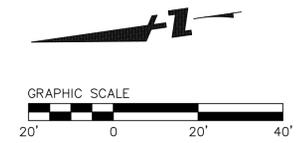
- ALL STORM WATER RUNOFF SHALL BE RETAINED ON SITE AND SHALL NOT DRAIN TOWARDS ADJACENT PROPERTY OWNERS

**PRELIMINARY EARTHWORK QUANTITIES**

CUT: 30 CY  
FILL: 590 CY  
TOTAL 560 CY FILL

**NOTES:**

- EARTHWORK QUANTITIES ARE PRELIMINARY. THESE QUANTITIES DO NOT TAKE INTO ACCOUNT BUILDING FOUNDATION ELEMENTS OR PAVEMENT SECTIONS. CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION REGARDING EARTHWORK VOLUMES.



CIVIL ENGINEERING

**BKF ENGINEERS**

150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

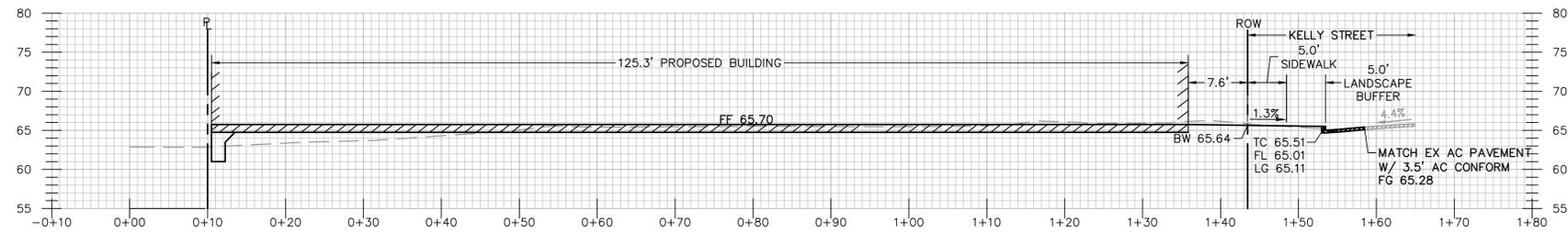
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**

2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563

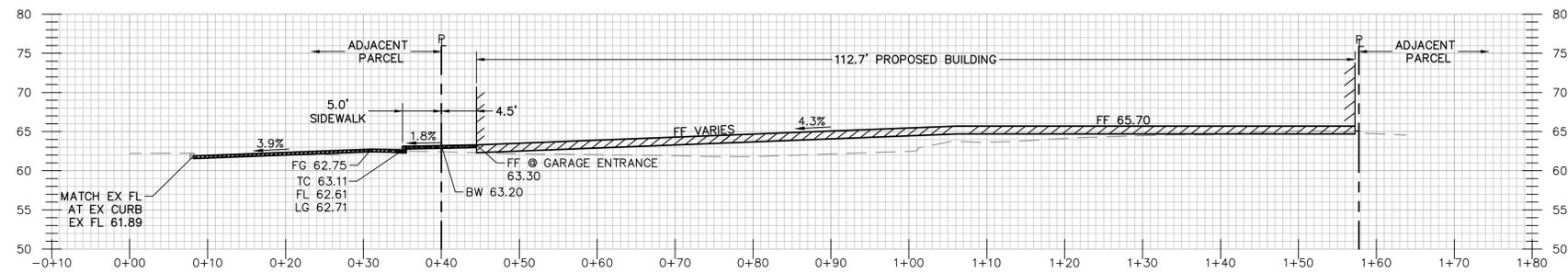
TENANT IMPROVEMENT ARCHITECT

**STEINBERG HART**

333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



**SECTION A PROFILE**  
SCALE: 1" = 10'



**SECTION B PROFILE**  
SCALE: 1" = 10'

ID	DATE	NAME

Project:

**555 KELLY**

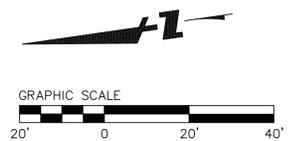
555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**CROSS SECTIONS**



JOB #: 221803

SCALE: 1"=20'

**C5.1**

DATE: 1.22.2024

52 PM 77

ARCHDIOCESE OF S F PARISH  
SCHOOL JURIDIC PERSONS REAL  
PROPERTY SUPPORT CORP  
APN 056-150-020

S07°52'50"W  
263.42'

PARCEL B  
CITY OF HALF MOON BAY  
APN 056-150-230

263.38'  
N07°52'40"E

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

55 PM 33

PARCEL A  
CITY OF HALF MOON BAY  
APN 056-150-220

DOC. NO. 85132905  
SAID LANDS SUBJECT TO THE FOLLOWING TERMS  
AND CONDITIONS OF THAT CERTAIN GRANT DEED  
BETWEEN COUNTY OF SAN MATEO AND CITY OF  
HALFMOON BAY

CONNECT PROPOSED DOMESTIC  
WATER SERVICE TO EXISTING  
WATER POC. LOCATION TO BE  
CONFIRMED IN THE FIELD

CONNECT PROPOSED  
GAS SERVICE TO  
EXISTING GAS METER

PR COMMUNITY  
CENTER 1" BFP

PR COMMUNITY CENTER  
1" WATER METER

CONNECT TO  
EX SSMH  
INV 55.55

CONNECT TO  
EX SSMH  
INV 55.55

PARCEL B  
CASTRO PARTNERS LLC  
APN 056-150-250

PARCEL A  
COUNTY OF SAN MATEO  
APN 056-150-260

ARCHDIOCESE OF S F  
PARISH SCHOOL JURIDIC  
PERSONS REAL  
PROPERTY SUPPORT  
CORP  
APN 056-150-240

EXISTING SANITARY SEWER  
LATERAL TO BE REMOVED  
OR 2017-085609  
APN 056-150-200  
CITY OF HALF MOON BAY

EXISTING GAS  
LATERAL SERVING  
THE COMMUNITY  
CENTER TO BE  
REMOVED

EXISTING COMMUNITY CENTER  
WATER METER TO BE  
REMOVED AT THE CORPORATION STOP  
AND RELOCATED PRIOR TO THE START  
OF CONSTRUCTION

EXISTING HYDRANT  
TO BE REPLACED  
WITH CLOW 3000

EXISTING SANITARY  
SEWER TO BE  
RELOCATED

CONNECT PR  
ELEC LINE TO  
EX ELEC  
SYSTEM

EXISTING WATER METER SERVING  
555 KELLY AVE TO BE  
DESTROYED AT THE CORPORATION  
STOP PRIOR TO THE START OF  
CONSTRUCTION

EXISTING COMMUNITY CENTER  
WATER METER TO BE  
REMOVED AT THE CORPORATION STOP  
AND RELOCATED PRIOR TO THE START  
OF CONSTRUCTION

EXISTING HYDRANT  
TO BE REPLACED  
WITH CLOW 3000

EXISTING SANITARY  
SEWER TO BE  
RELOCATED

CONNECT PR  
ELEC LINE TO  
EX ELEC  
SYSTEM

KELLY AVE

**WATER SERVICE NOTES:**

- RESIDENTIAL DOMESTIC WATER:
- 4" SERVICE
  - 4" METER
  - 4" RP BACKFLOW PREVENTER

- COMMERCIAL DOMESTIC WATER:
- 2" SERVICE
  - 2" METER
  - 2" RP BACKFLOW PREVENTER

- FIRE WATER
- 6" SERVICE
  - 6" DC BACKFLOW PREVENTER

- IRRIGATION
- 1.5" SERVICE
  - 1.5" METER
  - 1.5" RP BACKFLOW PREVENTER

CIVIL ENGINEERING

**BKF ENGINEERS**

150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**

2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT

**STEINBERG HART**

333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



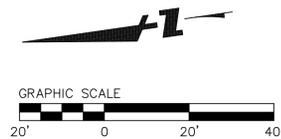
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

PRELIMINARY  
UTILITY PLAN

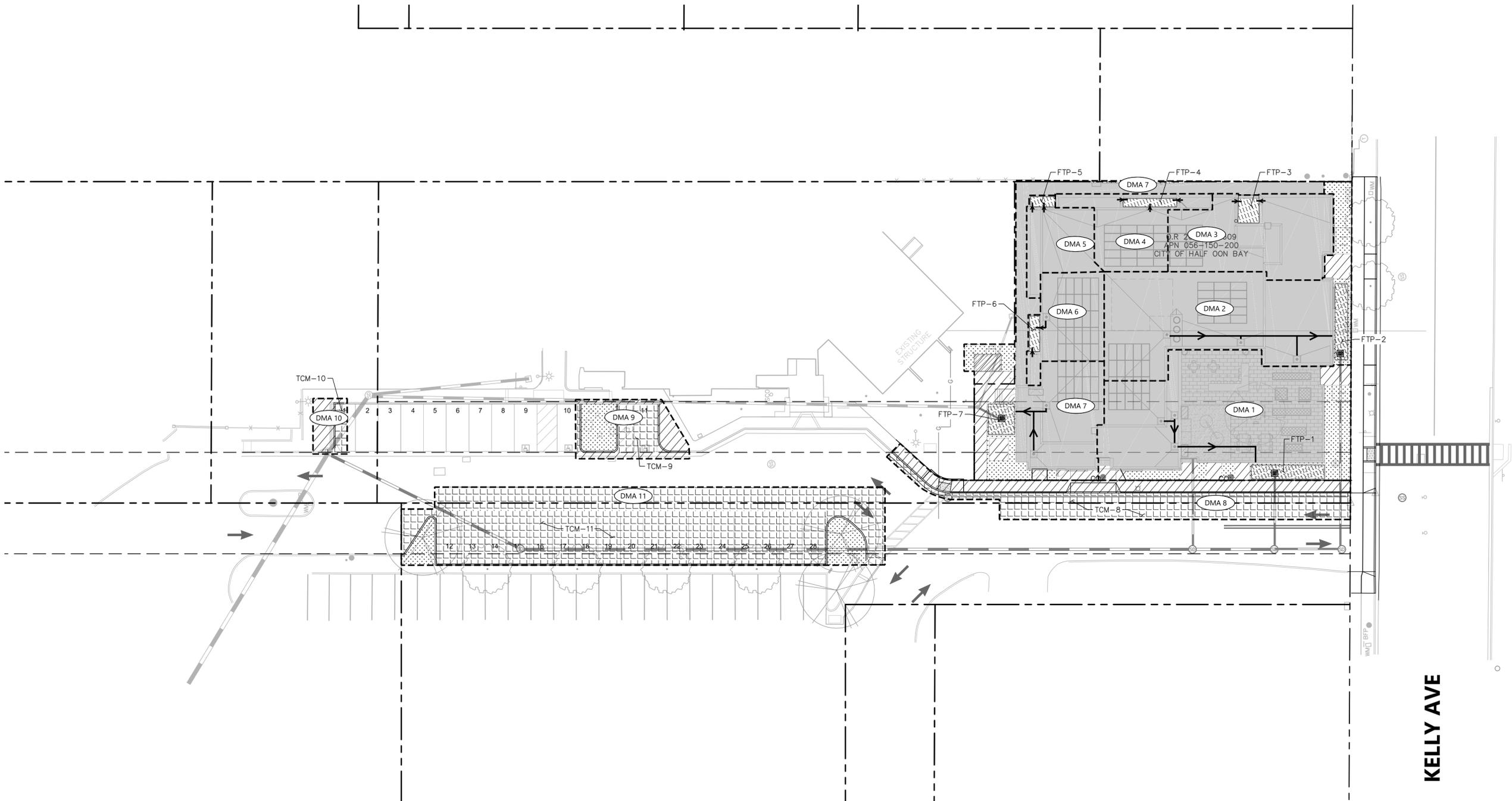
JOB #: 221803  
SCALE: 1"=20'

C6.0

DATE: 1.22.2024



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
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333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

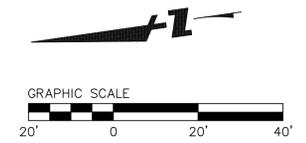
Project: \_\_\_\_\_

DMA SUMMARY TABLE													
DMA	TCM	DMA AREA (SF)	ROOF (SF)	IMPERVIOUS SURFACE (SF)	IMPERVIOUS PARKING (SF)	PERVIOUS PAVEMENT (SF)	LANDSCAPE (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	TCM TYPE	TREATMENT SIZING METHOD	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	TREATMENT PONDING DEPTH (FT)
1	1	4550	3528	271	0	0	592	3858	Flow-Thru Planter	4% Impervious	154	159	0.5
2	2	3773	3210	101	0	0	312	3342	Flow-Thru Planter	4% Impervious	134	150	0.5
3	3	1955	1876	0	0	0	0	1876	Flow-Thru Planter	4% Impervious	75	79	0.5
4	4	1082	1013	0	0	0	0	1013	Flow-Thru Planter	4% Impervious	41	69	0.5
5	5	799	759	0	0	0	0	759	Flow-Thru Planter	4% Impervious	30	40	0.5
6	6	1027	971	0	0	0	0	971	Flow-Thru Planter	4% Impervious	39	56	0.5
7	7	3418	2261	580	0	0	451	2886	Flow-Thru Planter	4% Impervious	115	126	0.5
8	8	2505	0	927	0	1578	0	2505	Self-Retaining Pervious Pavement	2:1	464	1578	N/A
9	9	950	0	356	0	336	258	718	Self-Retaining Pervious Pavement	2:1	178	336	N/A
10	10	296	0	190	0	106	0	296	Self-Retaining Pervious Pavement	2:1	95	106	N/A
11	11	5783	0	95	0	5263	425	5401	Self-Retaining Pervious Pavement	2:1	48	5263	N/A

- LEGEND**
- PROPOSED ROOF
  - PROPOSED SIDEWALK
  - PROPOSED PAVEMENT
  - PROPOSED PERVIOUS PAVEMENT
  - PROPOSED LANDSCAPE
  - PROPOSED BIORETENTION
  - DRAINAGE AREA BOUNDARY
  - STORM DRAIN PIPE
  - SCHEMATIC PLUMBING ROUTING (ROOF DRAIN TO FLOW THROUGH PLANTER)
  - DMA 1 DRAINAGE AREA IDENTIFICATION

**NOTES:**

- ALL STORMWATER RUNOFF SHALL BE RETAINED ON SITE AND SHALL NOT DRAIN TOWARDS ADJACENT PROPERTY OWNERS.



**555 KELLY**

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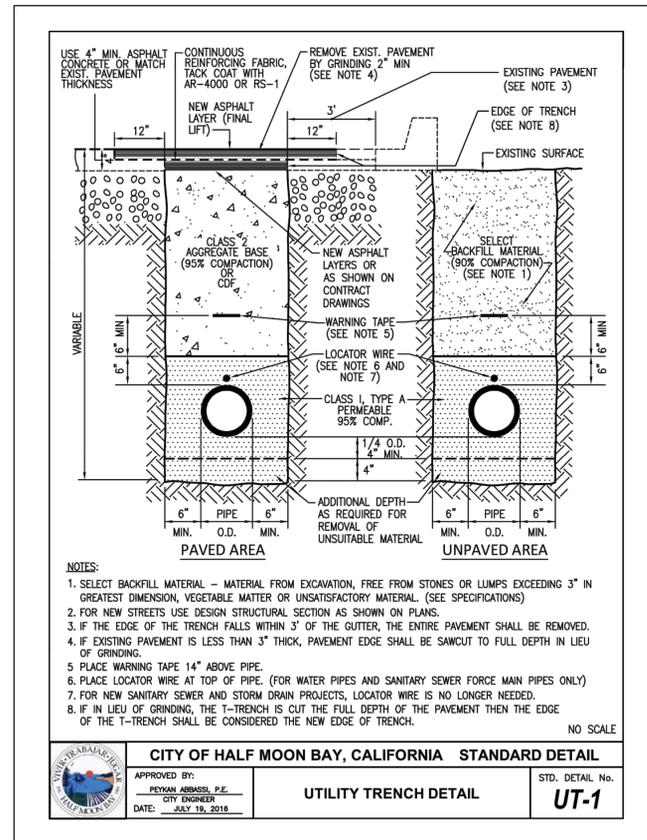
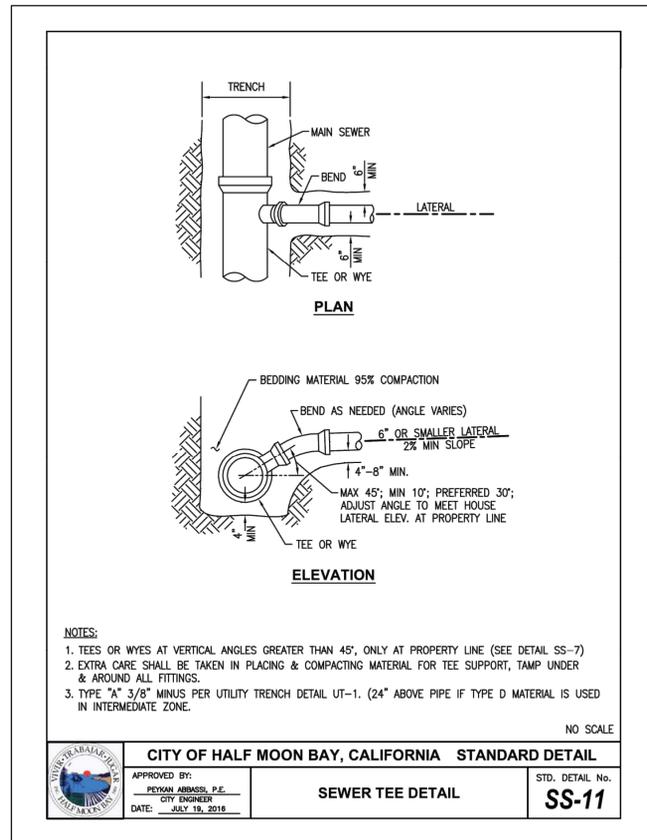
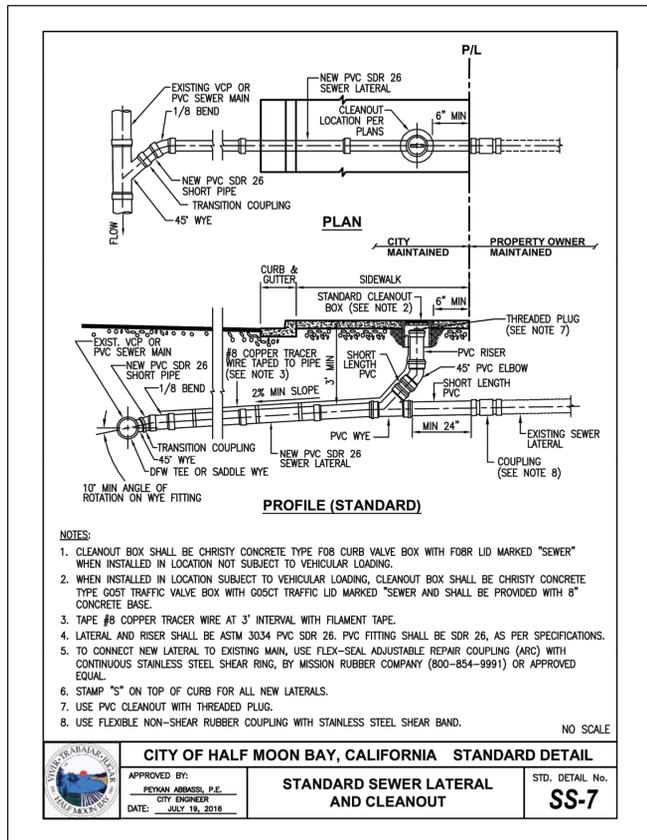
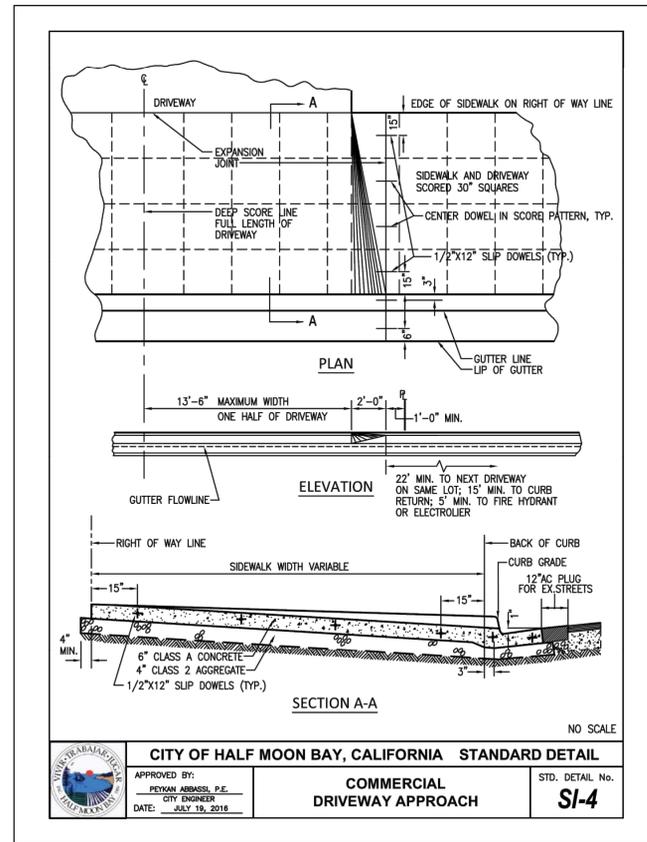
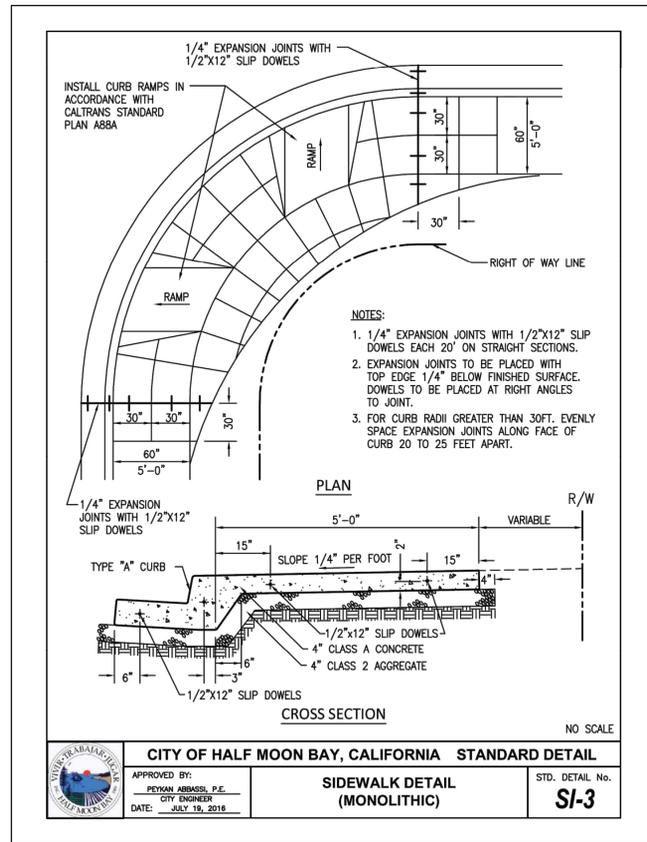
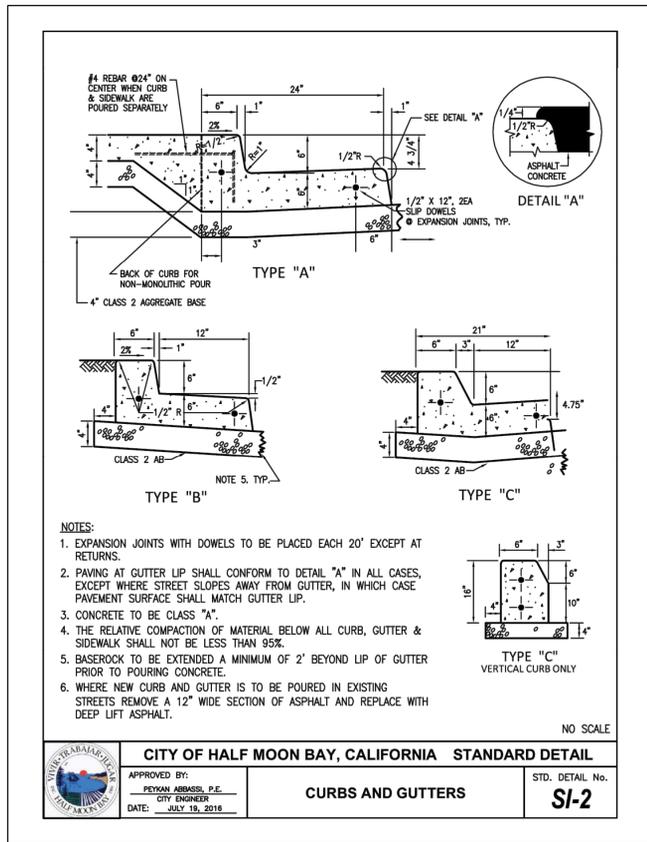
**PRELIMINARY  
STORMWATER  
CONTROL PLAN**

JOB #: 221803  
SCALE: 1"=20'

**C7.0**

DATE: 1.22.2024

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



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Project:

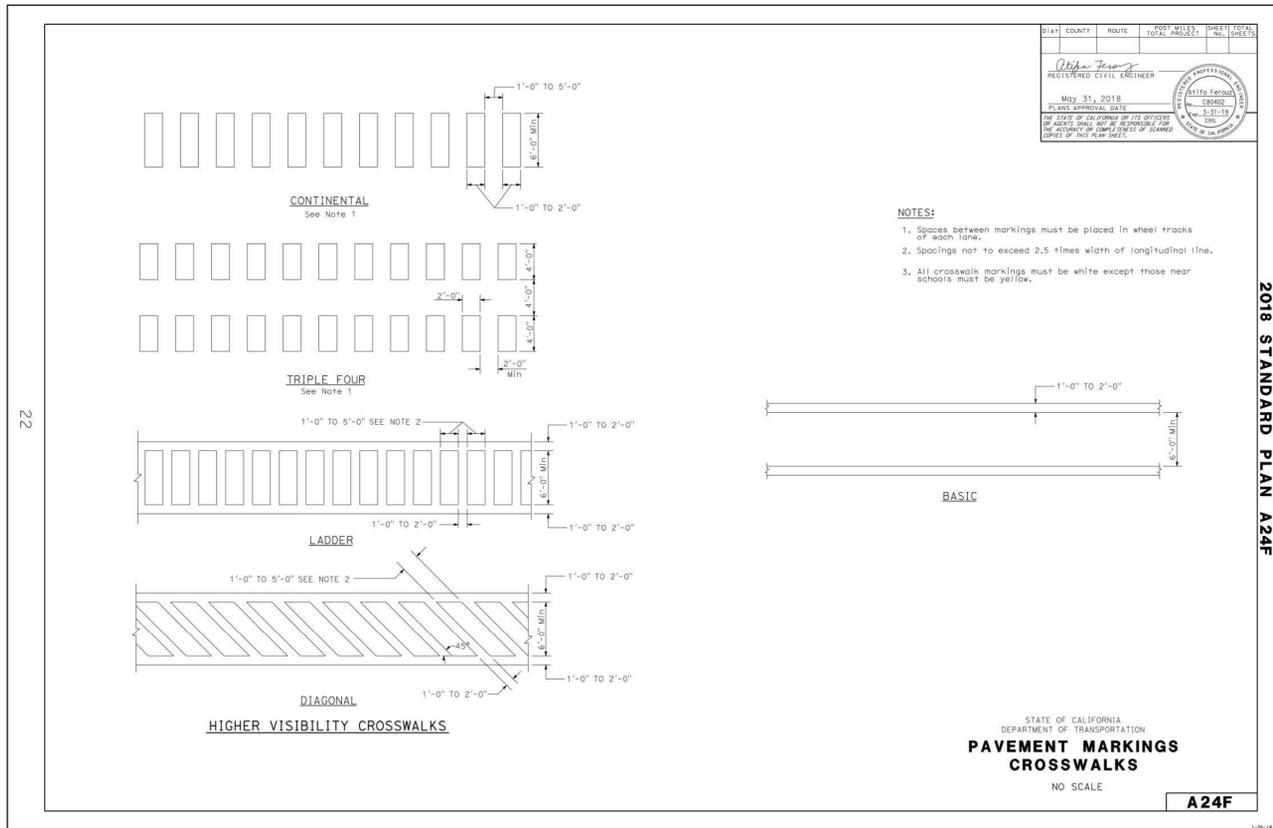
**555 KELLY**

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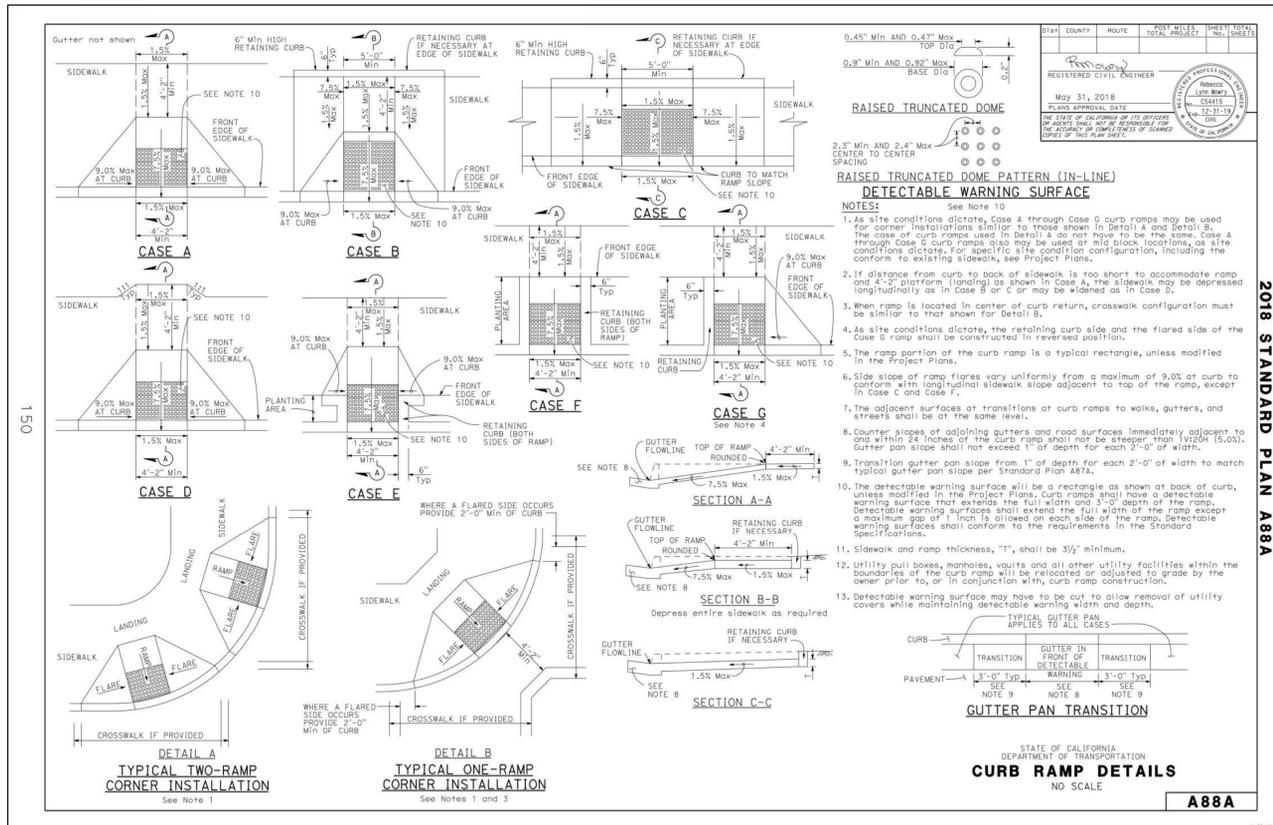
Client:

**mercy HOUSING**

1256 MARKET STREET,  
SAN FRANCISCO, CA 94102



2018 STANDARD PLAN A24F



2018 STANDARD PLAN A89A

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- BKF ENGINEERS**  
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ID	DATE	NAME

Project:

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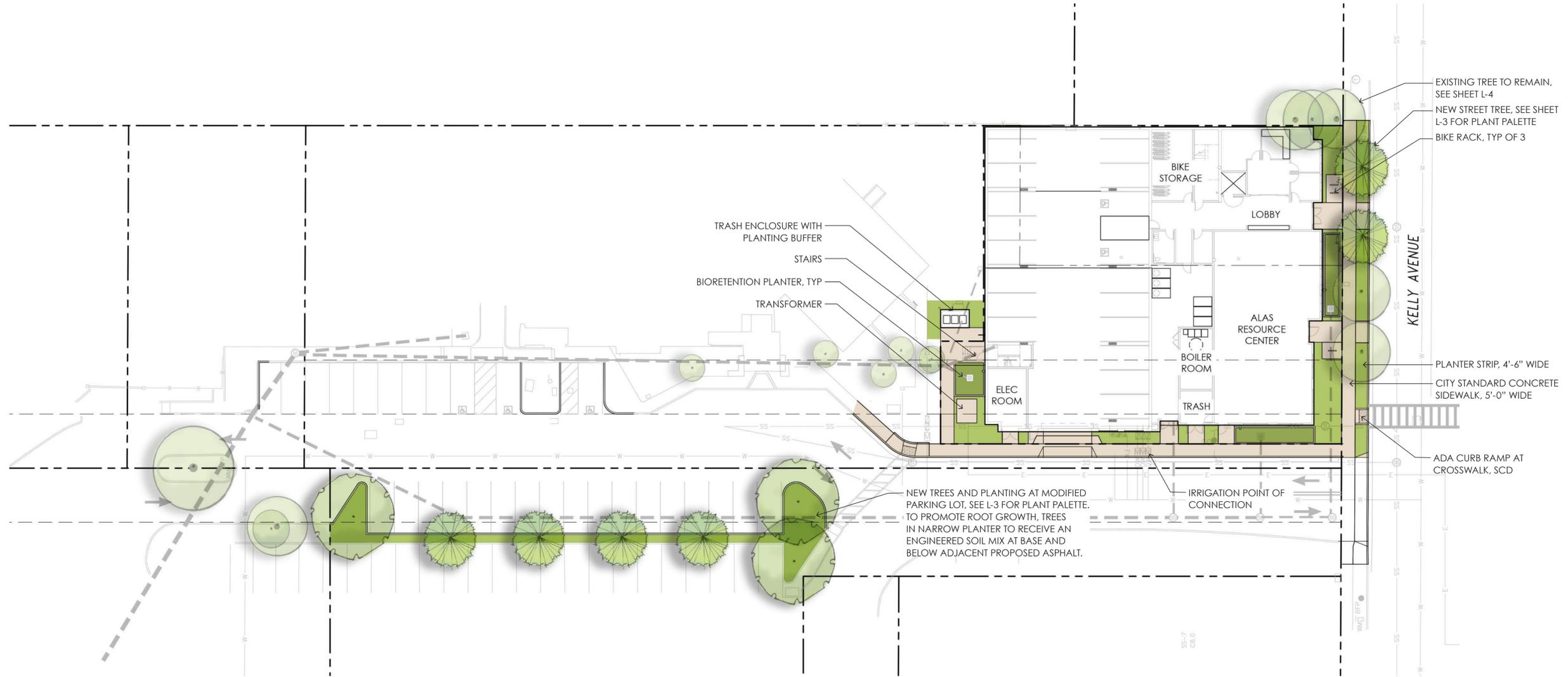
DETAILS

JOB #: 221803  
SCALE: NTS

**C8.1**

DATE: 1.22.2024

- CIVIL ENGINEERING  
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333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

**PRECEDENT IMAGERY**



STREET TREES



BIKE RACKS

**SHEET LIST**

- L-1 PRELIMINARY LANDSCAPE PLAN - GROUND FLOOR
- L-2 PRELIMINARY LANDSCAPE PLAN - PODIUM
- L-3 PLANT PALETTE, IMAGERY, AND WATER USE CALCULATIONS
- L-4 TREE REPLACEMENT PLAN

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



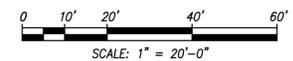
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**PRELIMINARY  
LANDSCAPE  
PLAN - GROUND  
FLOOR**

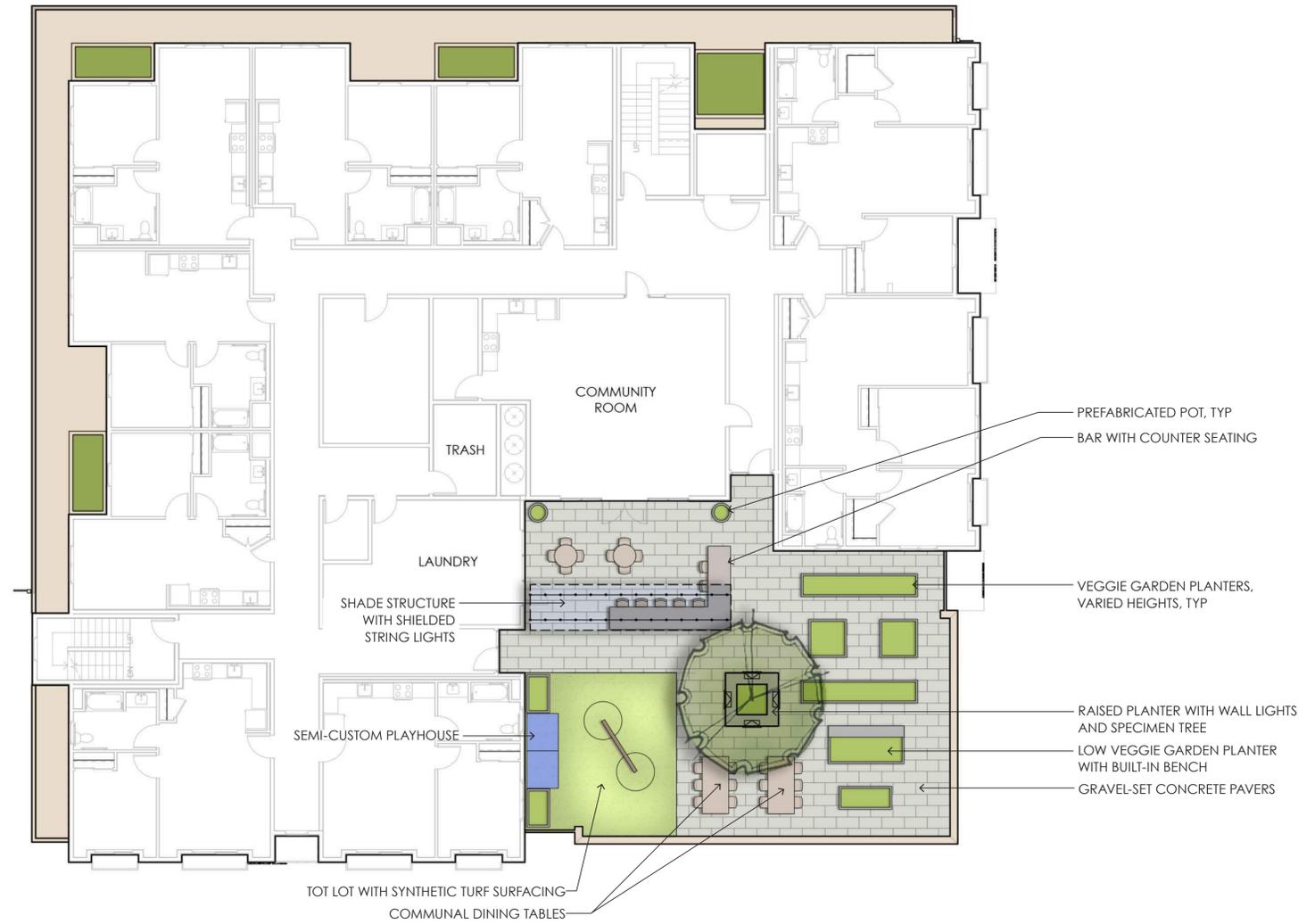
JOB #: 2236  
SCALE: 1" = 20'-0"

**L-1**

DATE: 01/19/24



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
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333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



PRECEDENT IMAGERY



GRAVEL-SET CONCRETE PAVERS



VEGGIE GARDEN PLANTERS



COUNTER SEATING



SEMI-CUSTOM PLAYHOUSE/  
READING NOOK



TOT LOT WITH SYNTHETIC TURF SURFACING



RAISED PLANTER WITH SPECIMEN TREE

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



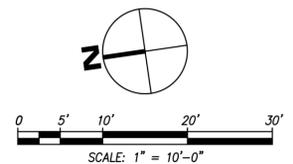
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

PRELIMINARY  
LANDSCAPE  
PLAN - PODIUM

JOB #: 2236  
SCALE: 1" = 10'-0"

**L-2**

DATE: 01/19/24



**PRELIMINARY PLANT PALETTE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WTR USE	CA NATIVE (CA) / CA COASTAL NATIVE (CCN)
<b>STREET TREES</b>						
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	24" BOX	PER PLAN	L	-
<b>PARKING LOT TREES</b>						
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN	L	CA
<b>TREES</b>						
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	L	-
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	M	-
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	PER PLAN	L	-
<b>SHRUBS</b>						
	ACHILLEA SP	YARROW	1 GAL	2'-0" OC	L	CCN
	ANIGOZANTHOS 'AMBER VELVET'	KANGAROO PAW	1 GAL	3'-0" OC	L	-
	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	15 GAL	6'-0" OC	L	CCN
	CEANOTHUS 'WHEELER CANYON'	WHEELER CANYON CALIFORNIA LILAC	2 GAL	6'-0" OC	L	CCN
	CHONDRPETALUM TECTORUM	CAPE RUSH	5 GAL	3'-6" OC	L	-
	COTONEASTER D. 'CORAL BEAUTY'	COTONEASTER	1 GAL	5'-0" OC	L	-
	DENDROMECON HARFORDII	ISLAND BUSH POPPY	5 GAL	6'-0" OC	L	CCN
	DIETES VEGETA 'VARIEGATA'	STRIPED FORTNIGHT LILY	5 GAL	3'-0" OC	L	-
	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOP-BUSH	5 GAL	8'-0" OC	L	-
	GALVEZIA SPECIOSA 'FIRECRACKER'	FIRECRACKER ISLAND SNAPDRAGON	5 GAL	5'-0" OC	L	CCN
	HEMEROCALLIS HYBRID	EVERGREEN DAYLILY	1 GAL	2'-0" OC	M	-
	LANTANA HYBRID	LANTANA	1 GAL	3'-0" OC	L	-
	LEUCODENDRON 'JESTER'	SUNSHINE CONEBUSH	5 GAL	4'-0" OC	L	-
	LIMONIUM PEREZII	STATICE	5 GAL	3'-0" OC	L	-
	MONARDELLA VILLOSA SPP. FRANCISCANA 'RUSSIAN RIVER'	COYOTE MINT	1 GAL	3'-0" OC	L	CCN
	MUHLBERGIA DUBIA	PINE MUHLY	1 GAL	3'-0" OC	L	-
	MUHLBERGIA RIGENS	DEER GRASS	5 GAL	3'-6" OC	L	CA
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GAL	10'-0" OC	L	CCN
	PHORMIUM HYBRID	NEW ZEALAND FLAX	5 GAL	3'-0" OC	L	-
	PITTIOSPORUM 'WHEELERS DWARF'	DWARF MOCK ORANGE	5 GAL	4'-0" OC	L	-
	RHAMNUS 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL	8'-0" OC	L	CCN
	ROSA CALIFORNICA 'ELSIE'	CALIFORNIA ROSE	5 GAL	10'-0" OC	L	CCN
	ROSA 'SEA FOAM'	GROUNDCOVER ROSE	5 GAL	3'-0" OC	M	-
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	3'-0" OC	L	CA
<b>GROUNDCOVERS</b>						
	ARCTOSTAPHYLOS EDMUNSI 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	5'-0" OC	L	CA
	CISTUS PULVERULENTUS 'SUNSET'	MAGENTA ROCKROSE	1 GAL	5'-0" OC	L	-
	ERIGERON GLAUCUS 'CAPE SEBASTIAN'	CAPE SEBASTIAN SEASIDE DAISY	1 GAL	3'-0" OC	M	CCN
	GREVILLEA 'COASTAL GEM'	COASTAL GEM GREVILLEA	1 GAL	4'-0" OC	L	-
	GRINDELIA STRICTA VAR. PLATYPHYLLA 'RAY'S CARPET'	COASTAL GUM PLANT	1 GAL	3'-0" OC	L	CCN
<b>STORMWATER</b>						
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	L	CCN
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L	-
	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1 GAL	3'-0" OC	L	CCN

**PRELIMINARY WATER USE CALCULATIONS**

REFERENCE ANNUAL ET <sub>0</sub> FOR:	HALF MOON BAY						33.8	
<b>ET ADJUSTMENT FACTOR</b>	<b>0.55</b>	<b>ET ADJ FACTOR PER MWEO &amp; CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL</b>				<b>SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)</b>		<b>0.45</b>
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR METHOD DRIP & BUBB.: 0.81 SPRAY & ROTOR: 0.75	IRRIGATION EFFICIENCY (IE)	ETAF <sub>2</sub> (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF <sub>2</sub> x AREA	ESTIMATED TOTAL WATER USE (ETWU)	
GROUND FLOOR TREES	0.6	B	0.81	0.74	72	53.33	19.84	
GROUND FLOOR PLANTING	0.3	D	0.81	0.37	1615	598.15	111.26	
GROUND FLOOR STORMWATER	0.3	D	0.81	0.37	335	124.07	23.08	
PARKING LOT TREES	0.6	B	0.81	0.74	216	160.00	3352.96	
PARKING LOT PLANTING	0.3	D	0.81	0.37	1250	462.96	86.11	
PODIUM TREES	0.6	B	0.81	0.74	36	26.67	7.44	
PODIUM PLANTING	0.3	D	0.81	0.37	45	16.67	3.10	
PODIUM STORMWATER	0.3	D	0.81	0.37	185	68.52	12.74	
-	0	D	0.81	0.00	0	0.00	0.00	
				TOTAL	3754.00	1510.37	3,616.53	
<b>SPECIAL LANDSCAPE AREAS</b>								
PODIUM	VEGETABLE GARDEN			0	175	0.00	0.00	
--				0	0	0.00	0.00	
				TOTAL	175	0.00	0.00	
TOTAL LANDSCAPE AREA (LA + SLA)					3,929.00			
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)					TOTAL ETWU	3,616.53	
MAWA	[(ANNUAL ETO)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA]]					MAWA	46,935.15	
AVERAGE ETAF	SUM(ETAF <sub>2</sub> X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA <sub>2</sub> )						0.40	
SITEWIDE ETAF	TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA <sub>2</sub> )						0.38	

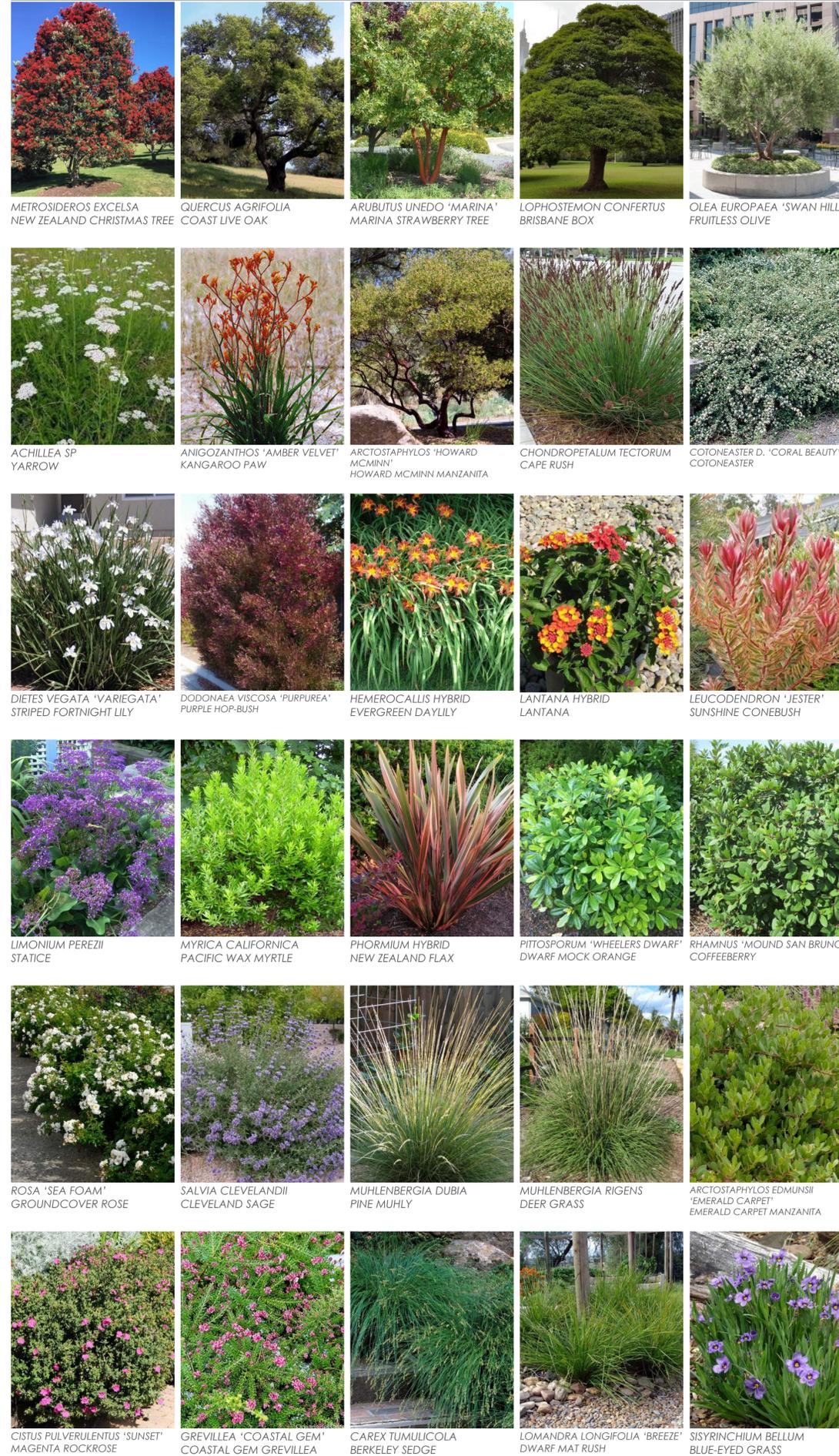
**PLANTING DESIGN INTENT**

- ALL TREES WITHIN 5' OF PAVEMENT SHALL USE TREE ROOT BARRIERS.
- THE PLANTING DESIGN SHALL UTILIZE A VARIETY OF MEDITERRANEAN-STYLE, NATIVE, AND DROUGHT-TOLERANT PLANT SPECIES TO CREATE LAYERS OF COLOR AND TEXTURE TO COMPLEMENT THE ARCHITECTURE AND SETTING.
- PLANT SPECIES SHALL BE SELECTED BASED ON LOCAL CLIMATE SUITABILITY, DISEASE AND PEST RESISTANCE, AND WATER-USE AS LISTED IN THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO) PLANT LIST, WUCOLS IV.
- 80% OF PLANT MATERIAL TO BE NATIVE OR LOW WATER USE AND FOLLOW MWEO GUIDELINES.
- TURF/LAWN SHALL NOT EXCEED 10% OF THE LANDSCAPE AREA. TURF SPECIES, IF INCLUDED, SHALL BE A FESCUE-BLEND TURF GRASS TO MINIMIZE WATER CONSUMPTION.
- NO PLANT CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC WILL BE USED.
- THE PLANTING DESIGN SHALL ALLOW FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE TO ELIMINATE THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
- PLANTS SHALL BE GROUPED IN HYDROZONES BASED ON WATER USE AND

**IRRIGATION DESIGN INTENT**

- THESE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO), AND THE CITY OF HALF MOON BAY DESIGN GUIDELINES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
- THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP AND BUBBLER DISTRIBUTION, AND SPRINKLERS WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
- IRRIGATION CONTROLLER DO NOT LOSE PROGRAMMING DATA WHEN POWER SOURCE IS INTERRUPTED.
- ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE, AND MINIMUM MAINTENANCE REQUIREMENT.
- THE SYSTEM SHALL INCLUDE A MANUAL SHUT-OFF VALVE, PRESSURE REGULATOR, MASTER CONTROL VALVE, AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

**PLANT IMAGERY**



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
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ID	DATE	NAME

Project:

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555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:

**mercy HOUSING**

1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**PLANT PALETTE, IMAGERY, AND WATER USE CALCULATIONS**

JOB #: 2236  
SCALE: NA

**L-3**  
DATE: 01/19/24

CIVIL ENGINEERING

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150 CALIFORNIA STREET, SUITE 600,  
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LANDSCAPE ARCHITECT

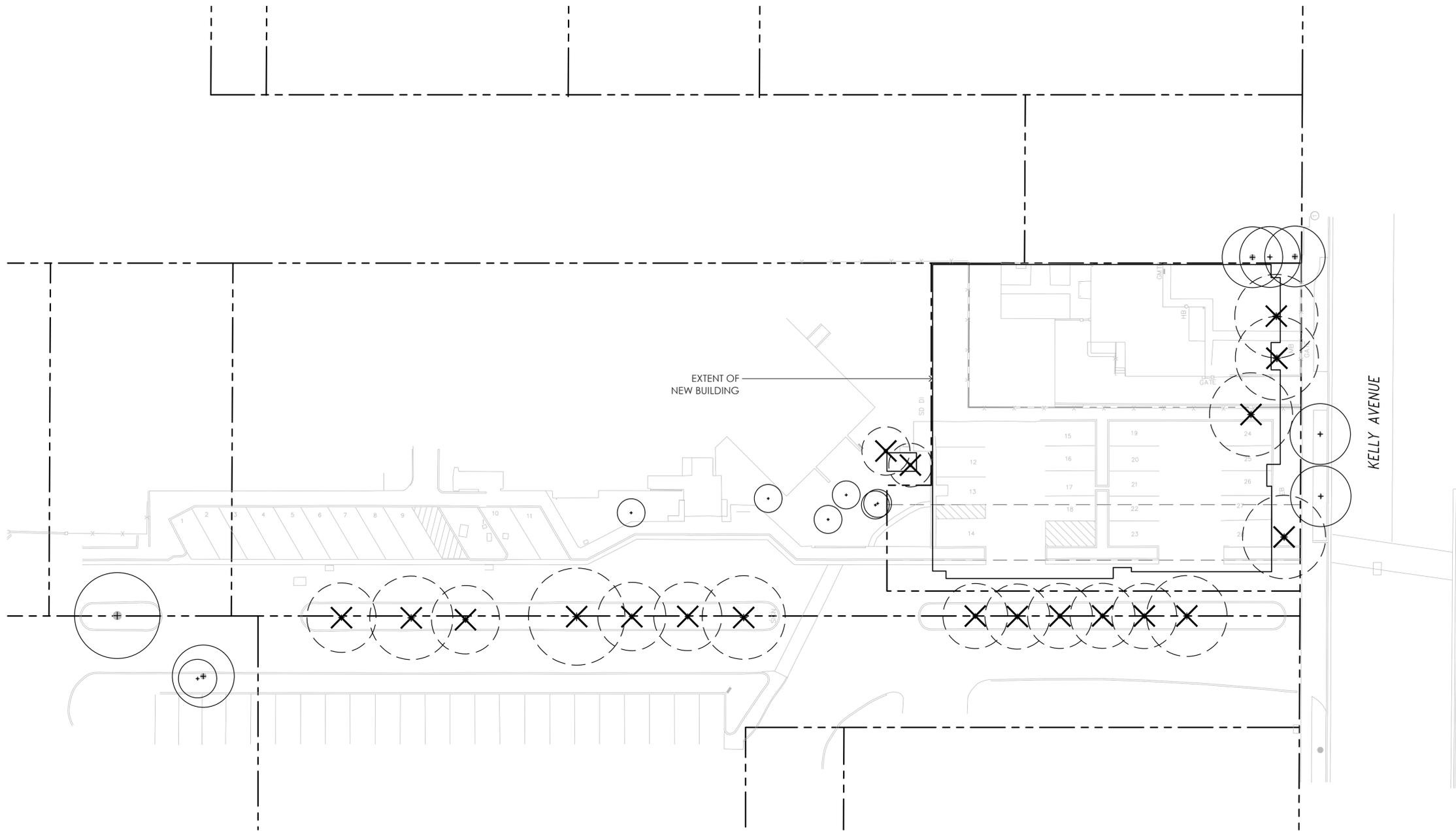
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TENANT IMPROVEMENT ARCHITECT

**STEINBERG HART**

333 W SAN CARLOS STREET, #1000  
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**EXISTING TREE LEGEND**

SYMBOL	TYPE
	TREES TO BE REMOVED

**TREE REPLACEMENT CHART**

EXISTING HERITAGE TREES TO BE REMOVED	17
CITY HERITAGE TREE REPLACEMENT RATIO	1:1
REQUIRED NEW TREES	17
PROPOSE NEW TREES	10

**NOTES:**

- HERITAGE TREES AS DEFINED IN MUNICIPAL CODE 7.40.020.
  - A TREE LOCATED ON PUBLIC OR PRIVATE PROPERTY, EXCLUSIVE OF EUCALYPTUS, WITH A TRUNK DIAMETER OF TWELVE INCHES OR MORE, OR A CIRCUMFERENCE OF AT LEAST THIRTY-EIGHT INCHES MEASURED AT FORTY-EIGHT INCHES ABOVE GROUND LEVEL.
  - A TREE OR STAND OF TREES SO DESIGNATED BY RESOLUTION OF THE CITY COUNCIL BASED ON ITS FINDING OF SPECIAL HISTORICAL, ENVIRONMENTAL OR AESTHETIC VALUE, INCLUDING A RESOLUTION ADOPTED UNDER FORMER CHAPTER 12.16.
  - A TREE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY ALONG THE ENTIRE LENGTH OF MAIN STREET OR ALONG KELLY AVENUE BETWEEN SAN BENITO STREET AND HIGHWAY 1.
- PROPOSED REPLACEMENT TREES TO BE A MINIMUM 24" BOX CONTAINER SIZE (SECTION 7.40.060)
- PLEASE REFER TO SHEETS L-1 AND L-2 FOR LOCATIONS OF PROPOSED TREES.

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

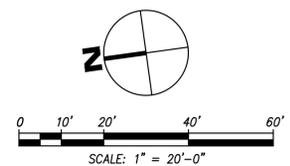
**TREE  
REPLACEMENT  
PLAN**

JOB #: 2236

SCALE: 1" = 20'-0"

**L-4**

DATE: 01/19/24

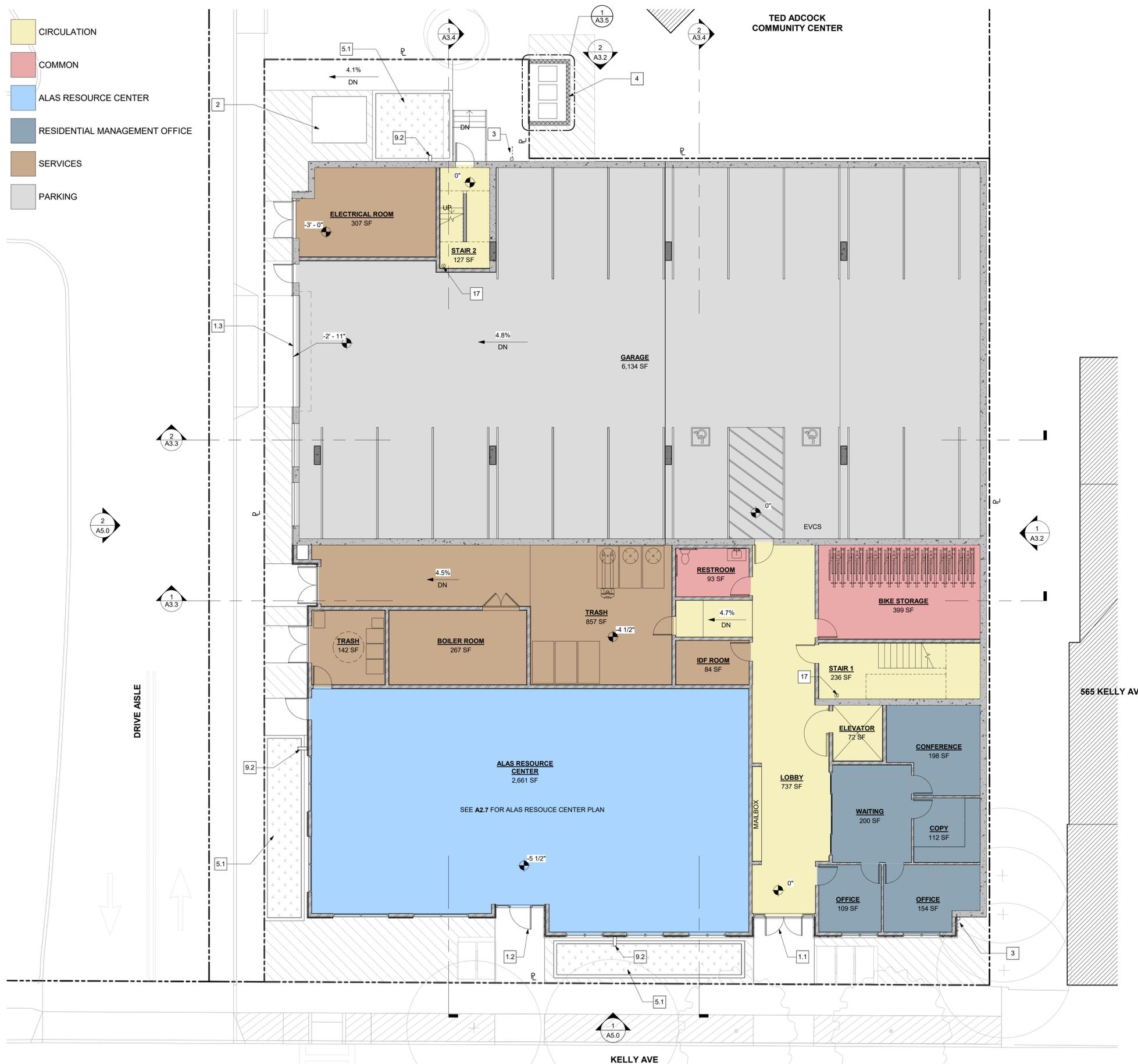


- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

**FLOOR PLAN KEYNOTES**

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 1ST FLOOR ROOF. SEE A1.2 FOR LADDER CUT SHEET
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN IN DASH
- 13 ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE

**TED ADCOCK  
COMMUNITY CENTER**



**1**  
A2.1 **1ST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**1ST FLOOR PLAN**

JOB #: 2236

SCALE: As indicated

**A2.1**

DATE: 07/03/23

- 1 BR
- 2 BR
- CIRCULATION
- COMMON
- SERVICES



**FLOOR PLAN KEYNOTES**

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 1ST FLOOR ROOF. SEE A1.2 FOR LADDER CUT SHEET
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN IN DASH
- 13 ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH. NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE

**1 2ND FLOOR PLAN**  
A2.2 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:  
**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
**mercy HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**2ND FLOOR PLAN**

JOB #: 2236  
SCALE: As indicated

**A2.2**  
DATE: 07/03/23

- 1 BR
- 2 BR
- CIRCULATION
- COMMON
- SERVICES



**FLOOR PLAN KEYNOTES**

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 1ST FLOOR ROOF. SEE A1.2 FOR LADDER CUT SHEET
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN IN DASH
- 13 ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE

**1 3RD FLOOR PLAN**  
A2.3 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:  
**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
**mercy HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**3RD FLOOR PLAN**

JOB #: 2236  
SCALE: As indicated

**A2.3**  
DATE: 07/03/23

- 1 BR
- 2 BR
- CIRCULATION
- COMMON
- SERVICES



**FLOOR PLAN KEYNOTES**

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 1ST FLOOR ROOF. SEE A1.2 FOR LADDER CUT SHEET
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN IN DASH
- 13 ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE

**1 4TH FLOOR PLAN**  
A2.4 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

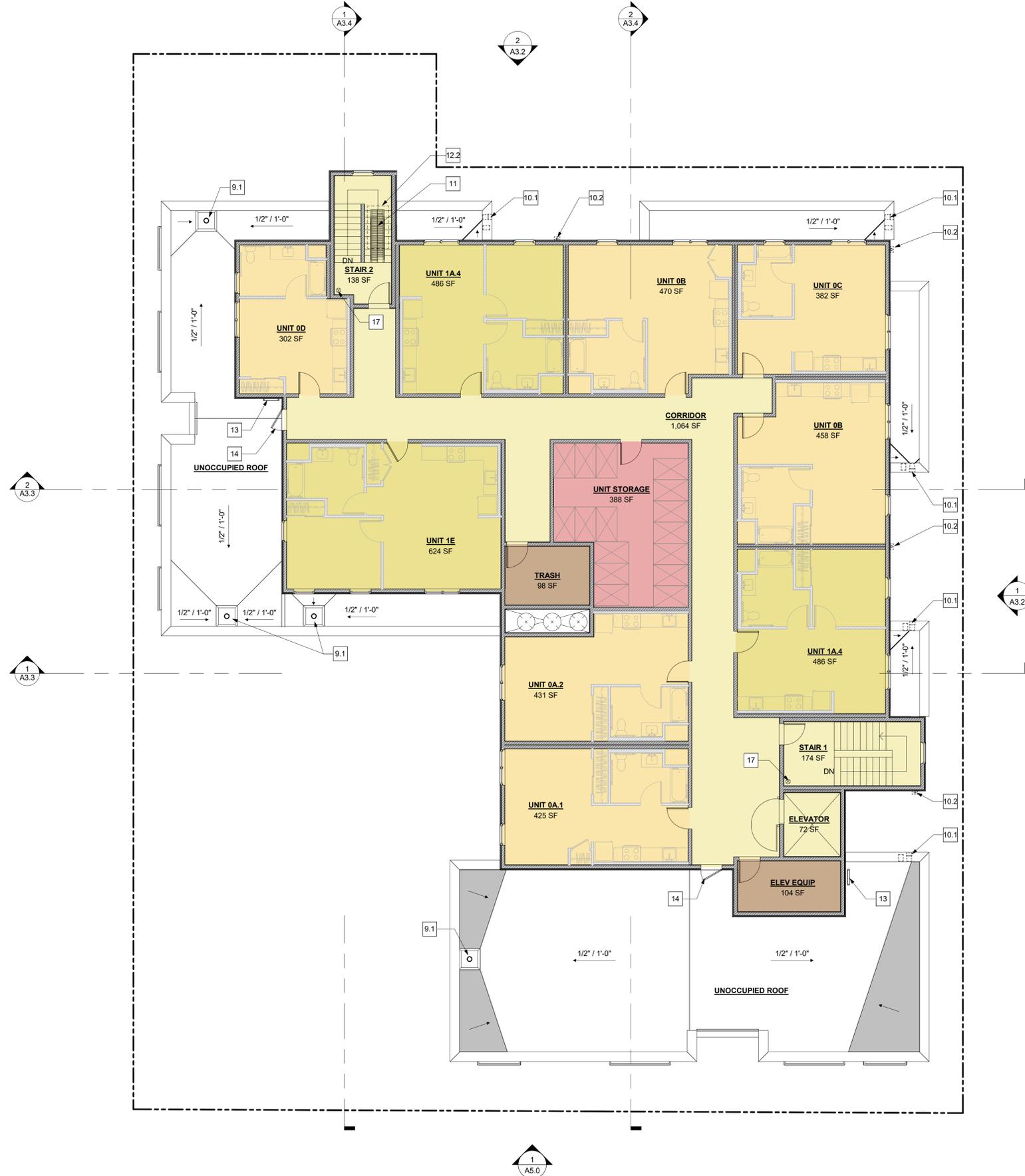
ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:  
  
**555 KELLY**  
  
555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
  
**mercy  
HOUSING**  
  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**4TH FLOOR PLAN**  
  
JOB #: 2236  
SCALE: As indicated  
**A2.4**  
DATE: 07/03/23

- STUDIO
- 1 BR
- CIRCULATION
- COMMON
- SERVICES



**FLOOR PLAN KEYNOTES**

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 1ST FLOOR ROOF. SEE A1.2 FOR LADDER CUT SHEET
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN IN DASH
- 13 ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH. NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE

**1 5TH FLOOR PLAN**  
A2.5 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**5TH FLOOR PLAN**

JOB #: 2236  
SCALE: As indicated

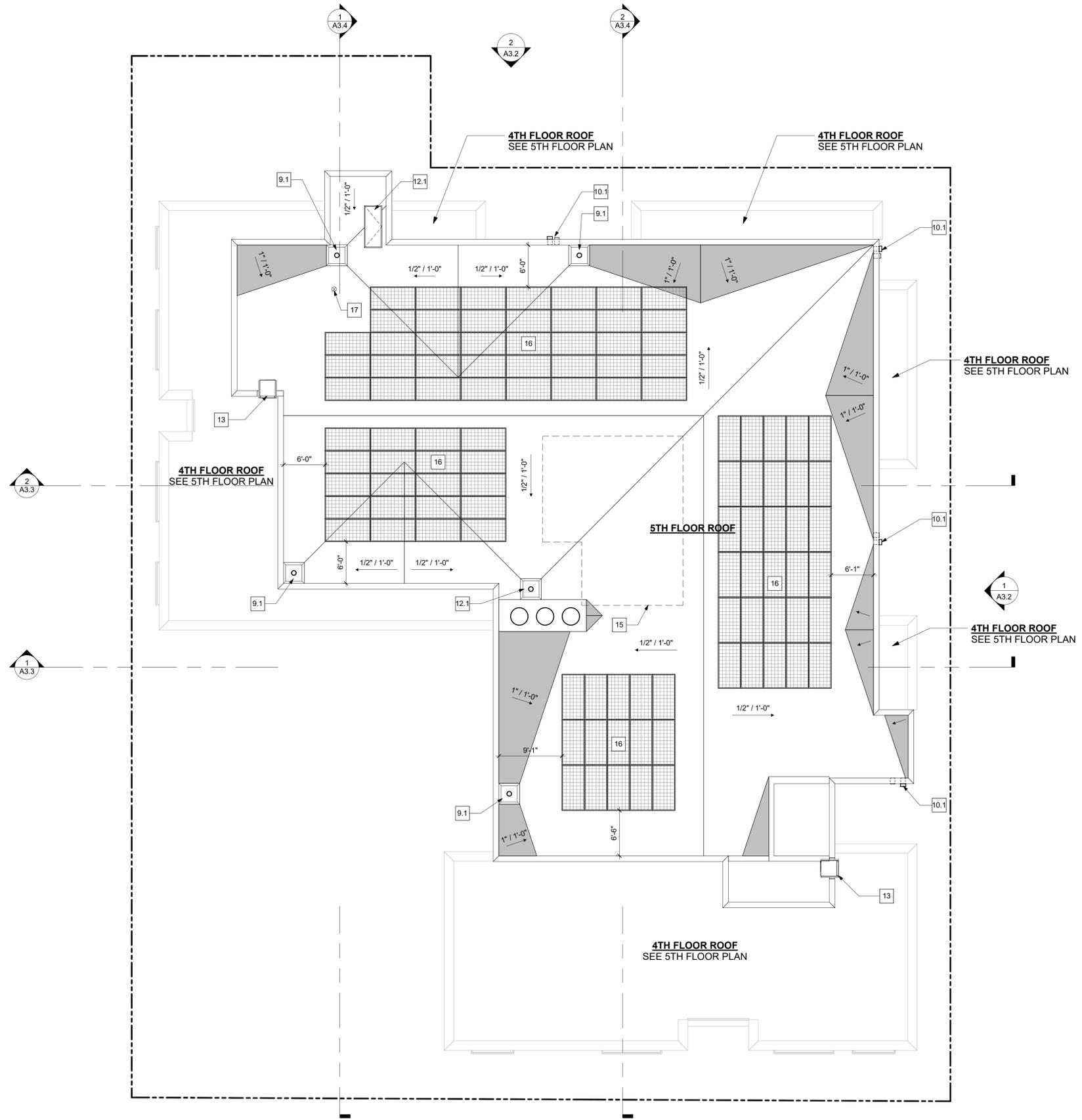
**A2.5**

DATE: 07/03/23

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

**FLOOR PLAN KEYNOTES**

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 1ST FLOOR ROOF. SEE A1.2 FOR LADDER CUT SHEET
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN IN DASH
- 13 ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH. NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE



**1 ROOF PLAN**  
A2.6 SCALE: 1/8" = 1'-0"

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:  
**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
**mercy HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**ROOF PLAN**  
JOB #: 2236  
SCALE: As indicated  
**A2.6**  
DATE: 07/03/23





**ELEVATION SHEET NOTES**

- 1 FIBER CEMENT BOARD AND BATTEN
- 2 FIBER CEMENT SHINGLE SIDING
- 3 FIBER CEMENT LAP SIDING
- 4 CEMENT PLASTER
- 5 EXPOSED CONCRETE BASE W/ CLEAR ELASTOMERIC COATING, SMOOTH
- 6 FIBER CEMENT PANEL
- 7 LASER CUT METAL PANEL
- 8 METAL GUARDRAIL
- 9 METAL AWNING
- 10 PARAPET CAP
- 11 VINYL WINDOW, DARK BRONZE
- 12 WINDOW TRIM
- 13 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE ANODIZED
- 14 EXTERIOR HOLLOW METAL DOOR
- 15 ROLL UP GARAGE DOOR
- 16 TRANSFORMER
- 17 TRASH ENCLOSURE FOR TED ADCOCK COMMUNITY CENTER, SEE A3.5
- 18 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 2ND FLOOR, SEE A1.2 FOR LADDER CUT SHEETS
- 19 PERMANENT LADDER BETWEEN 4TH AND 5TH FLOOR ROOF

**COLOR PALETTE INTENT (KELLY MOORE PAINT, UNO)**

- A 36 - NAVAJO WHITE
- B KM5372 - COPPER BEACH
- C KM4491 - AGED TEAK
- D KM5823 - CITY TOWER
- E KM4910 - PLATINUM GRANITE
- F 407 - CARBON

**2 ELEVATION - SOUTH (KELLY AVE)**

A3.1 SCALE: 1/8" = 1'-0"



**1 ELEVATION - WEST (DRIVE AISLE)**

A3.1 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME
1	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

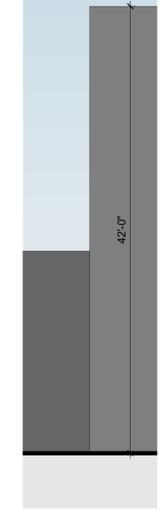
**BUILDING ELEVATIONS**

JOB #: 2236  
SCALE: 1/8" = 1'-0"

**A3.1**

DATE: 07/03/23

BOYS & GIRLS CLUB





**ELEVATION SHEET NOTES**

- 1 FIBER CEMENT BOARD AND BATTEN
- 2 FIBER CEMENT SHINGLE SIDING
- 3 FIBER CEMENT LAP SIDING
- 4 CEMENT PLASTER
- 5 EXPOSED CONCRETE BASE W/ CLEAR ELASTOMERIC COATING, SMOOTH
- 6 FIBER CEMENT PANEL
- 7 LASER CUT METAL PANEL
- 8 METAL GUARDRAIL
- 9 METAL AWNING
- 10 PARAPET CAP
- 11 VINYL WINDOW, DARK BRONZE
- 12 WINDOW TRIM
- 13 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE ANODIZED
- 14 EXTERIOR HOLLOW METAL DOOR
- 15 ROLL UP GARAGE DOOR
- 16 TRANSFORMER
- 17 TRASH ENCLOSURE FOR TED ADCOCK COMMUNITY CENTER, SEE A3.5
- 18 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 2ND FLOOR, SEE A1.2 FOR LADDER CUT SHEETS
- 19 PERMANENT LADDER BETWEEN 4TH AND 5TH FLOOR ROOF

**COLOR PALETTE INTENT (KELLY MOORE PAINT, UNO)**

- A 36 - NAVAJO WHITE
- B KM5372 - COPPER BEACH
- C KM4491 - AGED TEAK
- D KM5823 - CITY TOWER
- E KM4910 - PLATINUM GRANITE
- F 407 - CARBON

**2 ELEVATION - NORTH**  
A3.2 SCALE: 1/8" = 1'-0"



**1 ELEVATION - EAST**  
A3.2 SCALE: 1/8" = 1'-0"

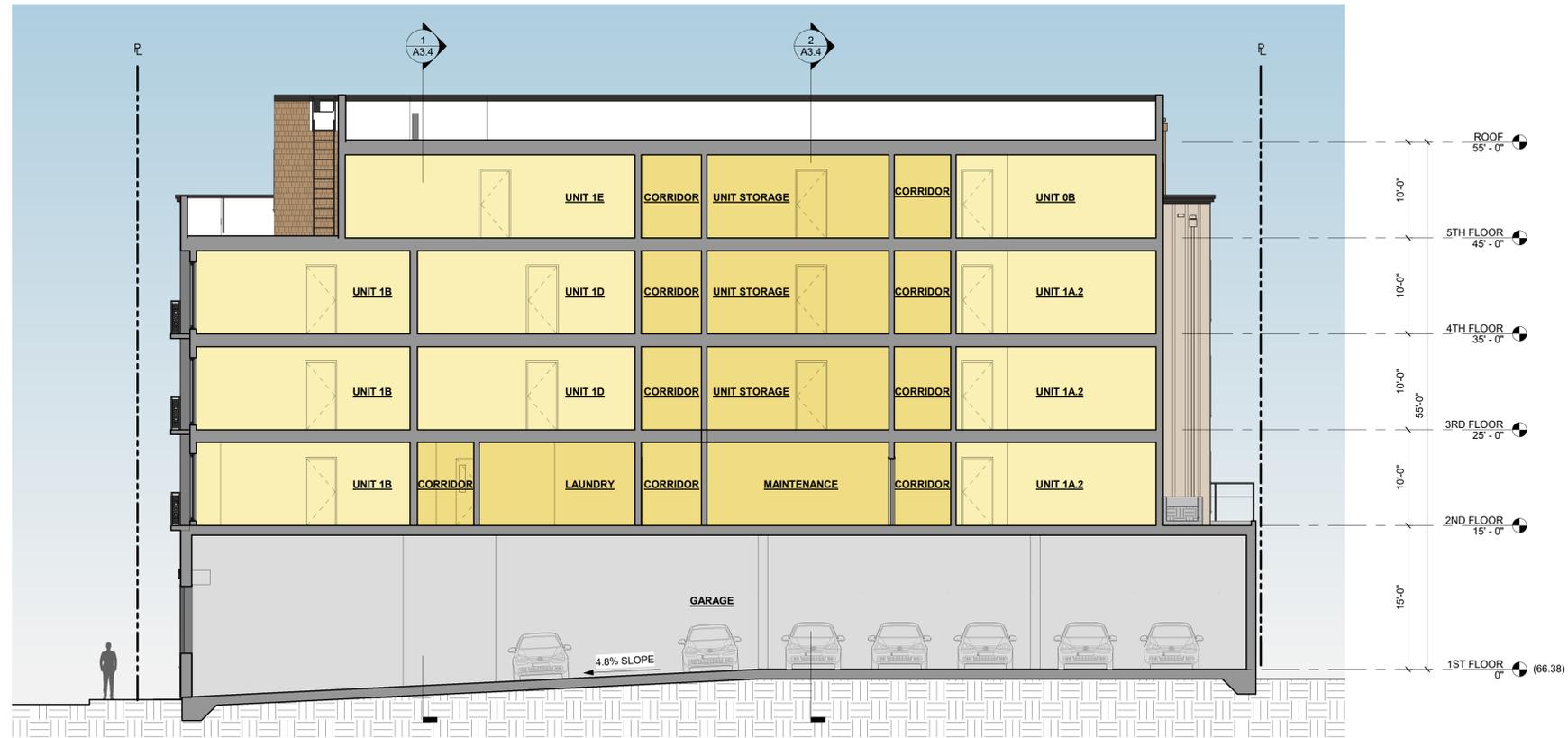
- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:  
**555 KELLY**  
555 KELLY AVE,  
HALF MOON BAY, CA 94019  
Client:  
**mercy HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

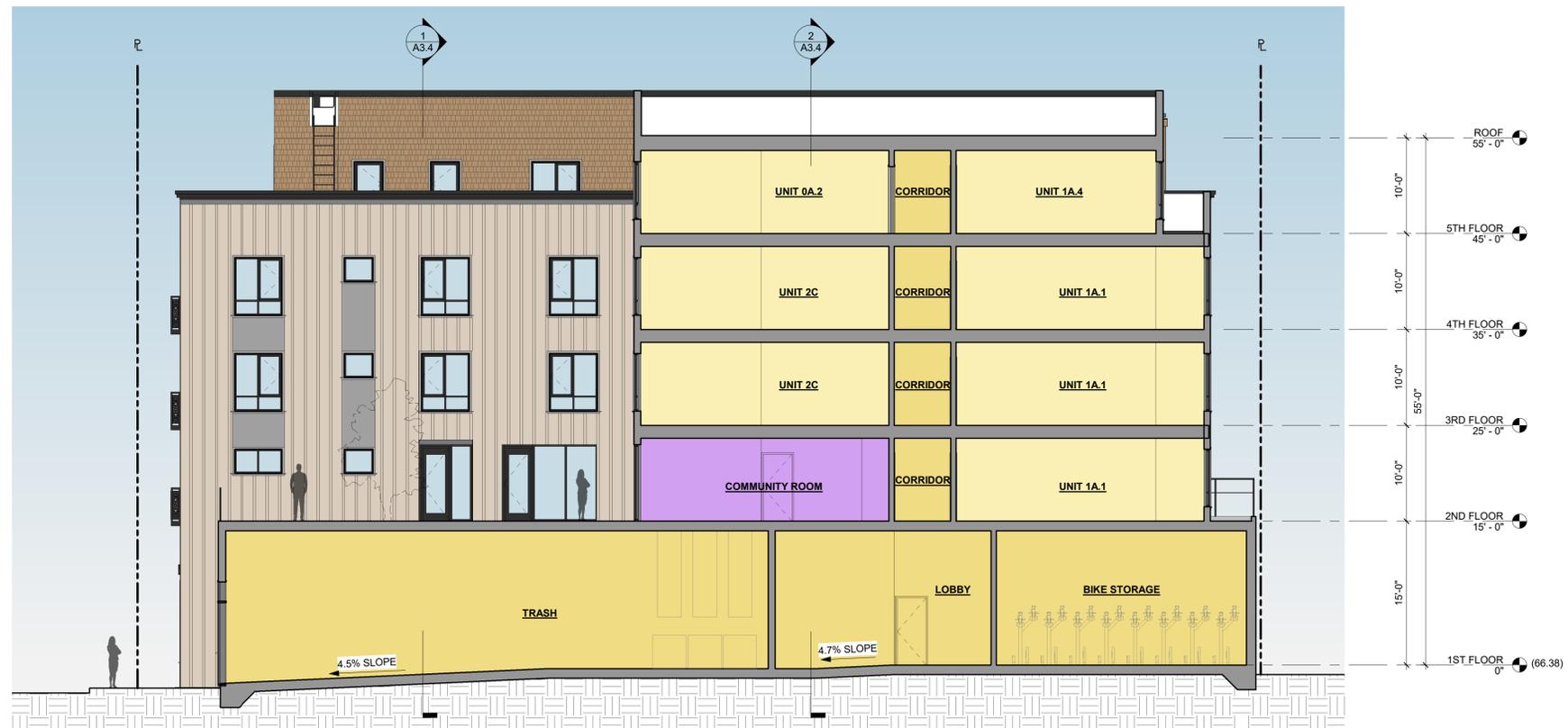
**BUILDING ELEVATIONS**

JOB #: 2236  
SCALE: 1/8" = 1'-0"



**LEGEND**  
 ■ R-2  
 ■ R-2 CIRCULATION & UTILITY  
 ■ S-2

**2 BUILDING SECTION - EW 02**  
 A3.3 SCALE: 1/8" = 1'-0"



**LEGEND**  
 ■ A-3  
 ■ R-2  
 ■ R-2 CIRCULATION & UTILITY

**1 BUILDING SECTION - EW 01**  
 A3.3 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
 150 CALIFORNIA STREET, SUITE 600,  
 SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
 ARCHITECTURE + DESIGN**  
 2 THEATER SQUARE, SUITE 218,  
 ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
 333 W SAN CARLOS STREET, #1000  
 SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

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Client:



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 SAN FRANCISCO, CA 94102

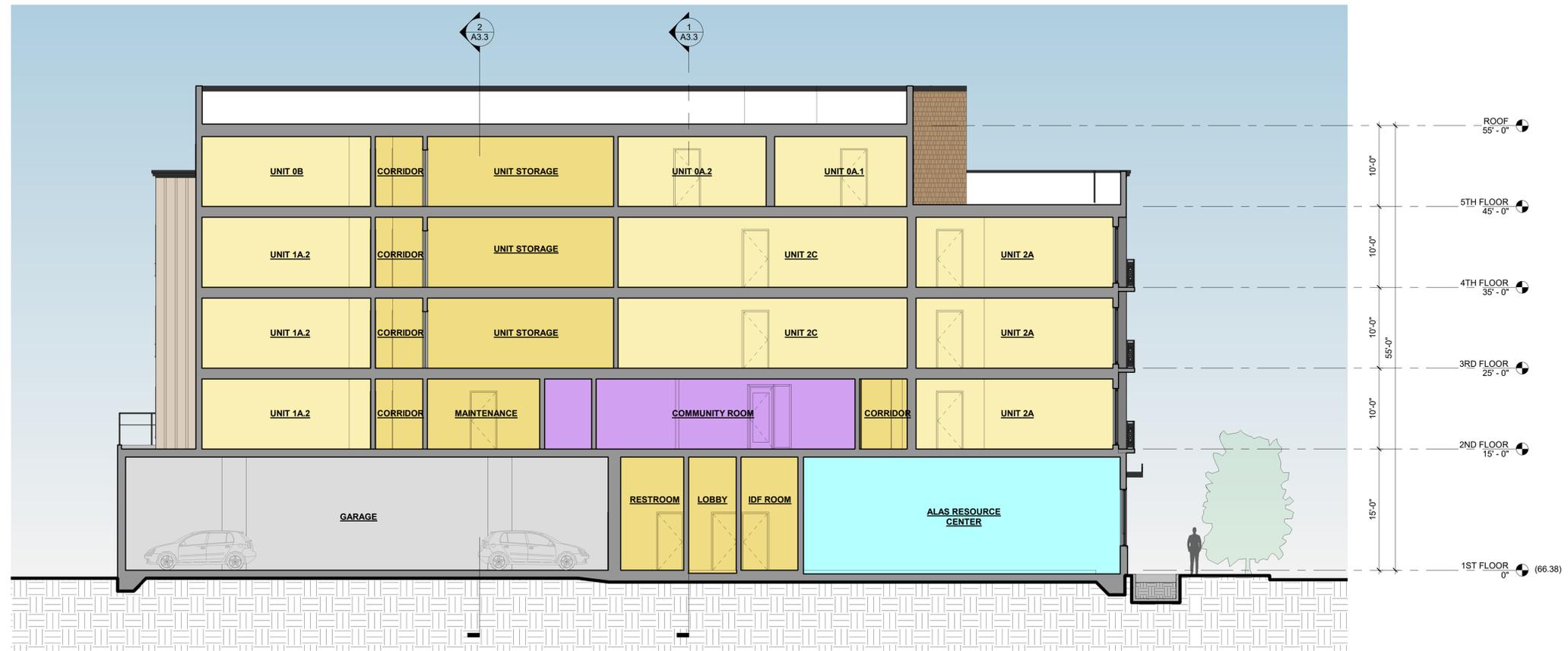
**BUILDING SECTIONS**

JOB #: 2236  
 SCALE: 1/8" = 1'-0"

**A3.3**

DATE: 07/03/23

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
**JETT LANDSCAPE  
ARCHITECTURE + DESIGN**  
2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017



**2 BUILDING SECTION - NS 02**  
A3.4 SCALE: 1/8" = 1'-0"



**1 BUILDING SECTION - NS 01**  
A3.4 SCALE: 1/8" = 1'-0"

- LEGEND**
- R-2
  - R-2 CIRCULATION & UTILITY
  - S-2
  - TI

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**BUILDING SECTIONS**

JOB #: 2236  
SCALE: 1/8" = 1'-0"

**A3.4**

DATE: 07/03/23

**MATERIAL**



SPLITFACE CMU WALL



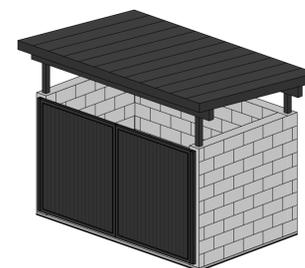
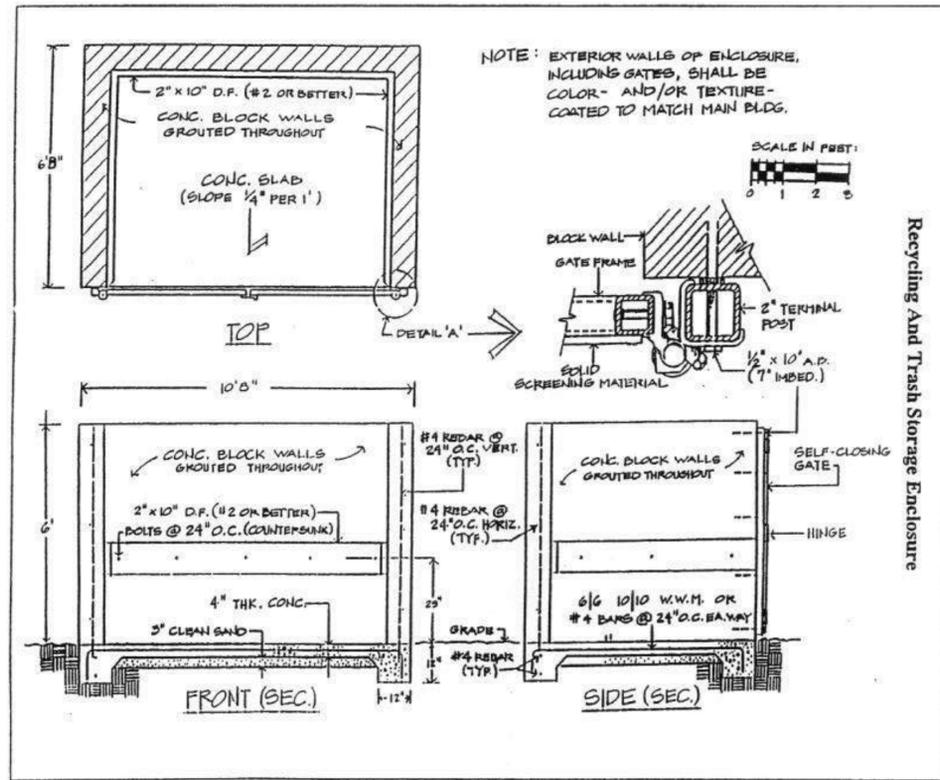
STANDING SEAM METAL ROOF



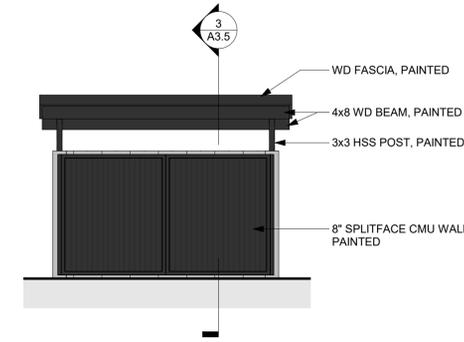
METAL GATE

**CITY OF HALF MOON BAY STANDARD DETAIL**

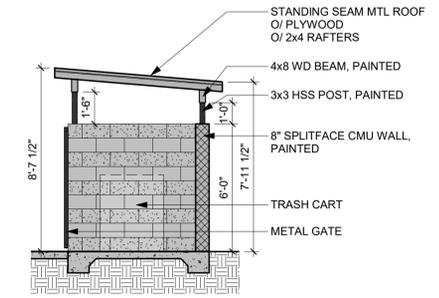
TRASH ENCLOSURES SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH HALF MOON BAY MUNICIPAL CODE 18.31.080 AND THE STANDARD DETAIL BELOW.



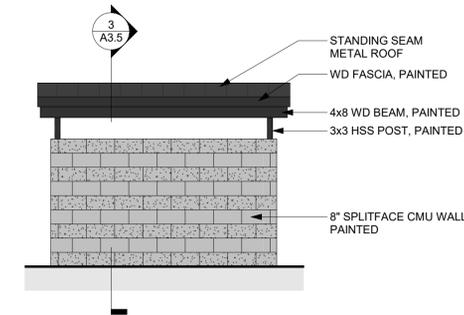
**8 TRASH ENCLOSURE 3D VIEW**  
A3.5 SCALE:



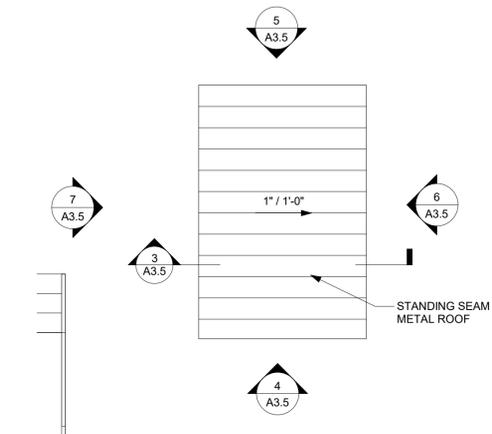
**7 TRASH ENCLOSURE WEST ELEVATION**  
A3.5 SCALE: 1/4" = 1'-0"



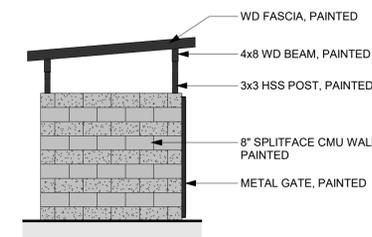
**3 TRASH ENCLOSURE SECTION**  
A3.5 SCALE: 1/4" = 1'-0"



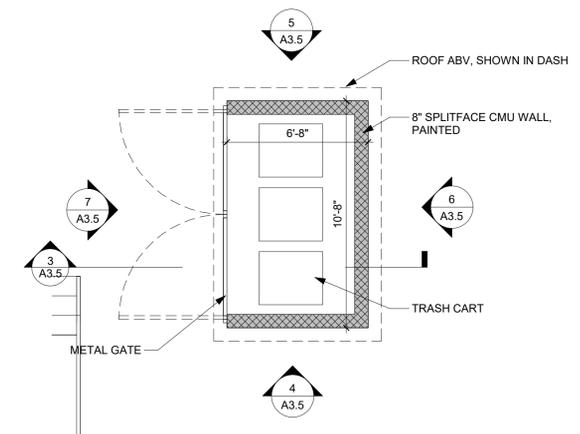
**6 TRASH ENCLOSURE EAST ELEVATION**  
A3.5 SCALE: 1/4" = 1'-0"



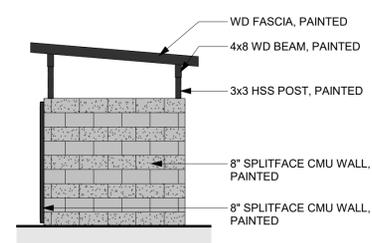
**2 TRASH ENCLOSURE ROOF PLAN**  
A3.5 SCALE: 1/4" = 1'-0"



**5 TRASH ENCLOSURE NORTH ELEVATION**  
A3.5 SCALE: 1/4" = 1'-0"



**1 TRASH ENCLOSURE FLOOR PLAN**  
A3.5 SCALE: 1/4" = 1'-0"



**4 TRASH ENCLOSURE SOUTH ELEVATION**  
A3.5 SCALE: 1/4" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
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2 THEATER SQUARE, SUITE 218,  
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:  
**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

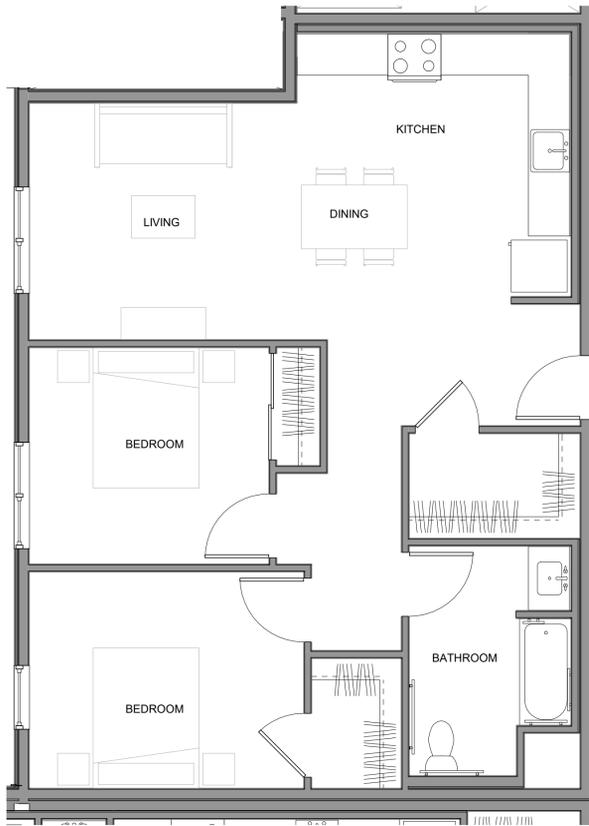
**COMMUNITY CENTER TRASH ENCLOSURE**

JOB #: 2236  
SCALE: 1/4" = 1'-0"

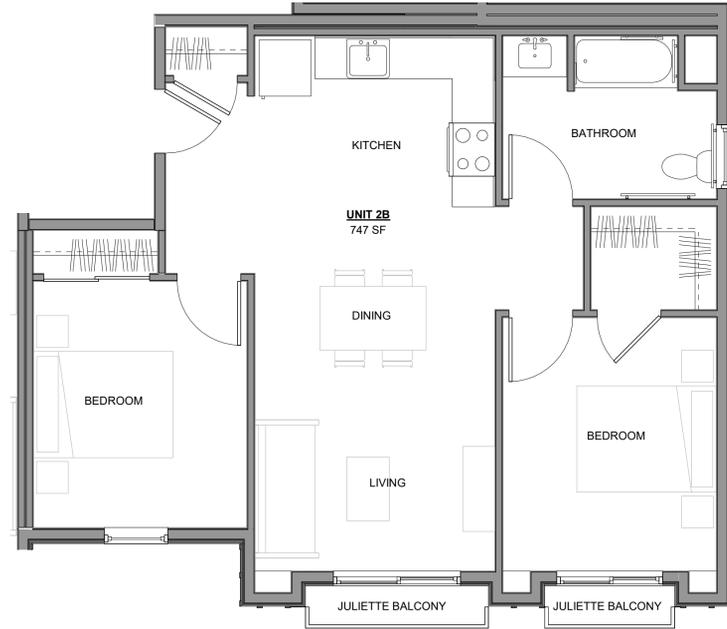
**A3.5**

DATE: 10/09/23

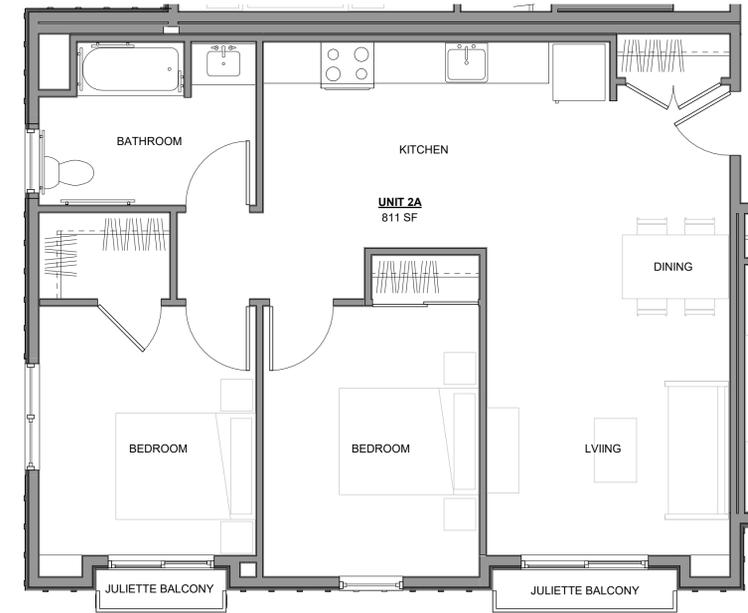
NOTE: UNIT SIZES ARE SHOWN IN NET SF, DIMENSIONED TO THE INTERIOR FACES OF THE WALLS.



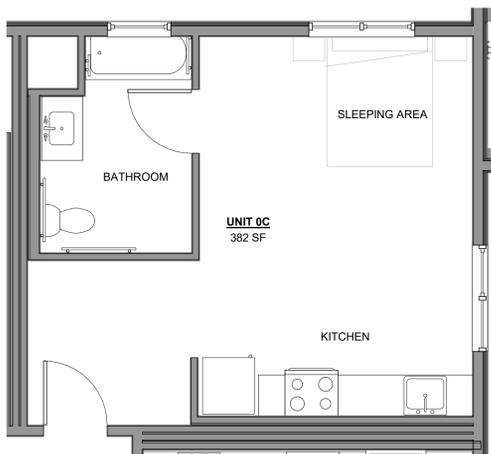
**7 UNIT 2C**  
A4.1 SCALE: 1/4" = 1'-0"



**6 UNIT 2B**  
A4.1 SCALE: 1/4" = 1'-0"



**5 UNIT 2A**  
A4.1 SCALE: 1/4" = 1'-0"



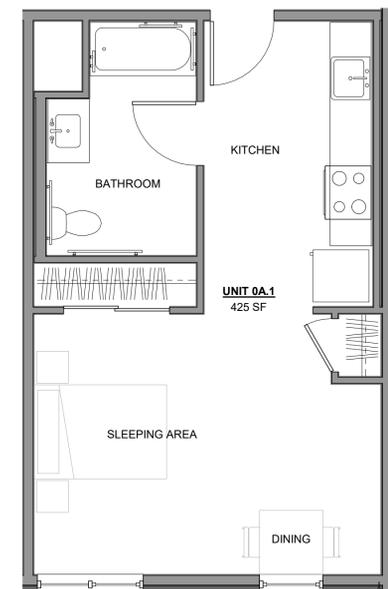
**4 UNIT 0C**  
A4.1 SCALE: 1/4" = 1'-0"



**3 UNIT 0B**  
A4.1 SCALE: 1/4" = 1'-0"



**2 UNIT 0A.2**  
A4.1 SCALE: 1/4" = 1'-0"



**1 UNIT 0A.1**  
A4.1 SCALE: 1/4" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
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ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:  
  
**555 KELLY**  
  
555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
  
**mercy  
HOUSING**  
  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

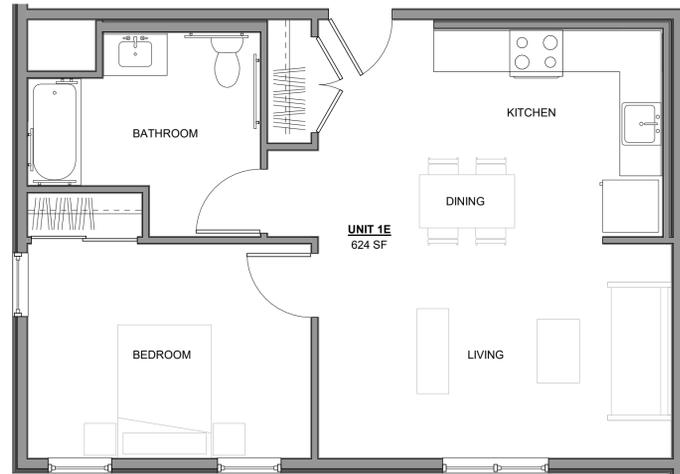
**UNIT PLANS - STUDIO  
& 2 BED**

JOB #: 2236  
SCALE: 1/4" = 1'-0"

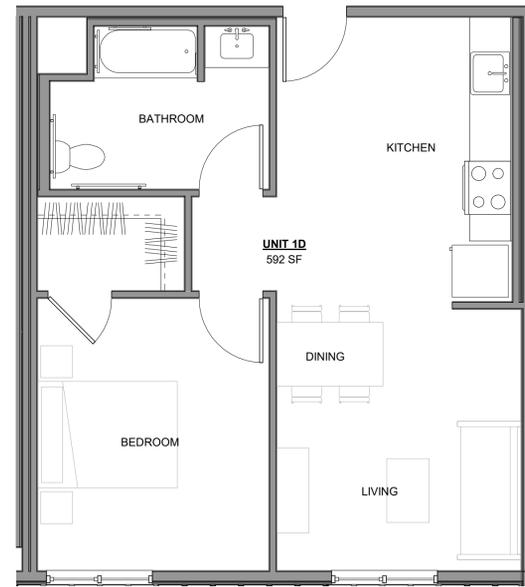
**A4.1**

DATE: 07/03/23

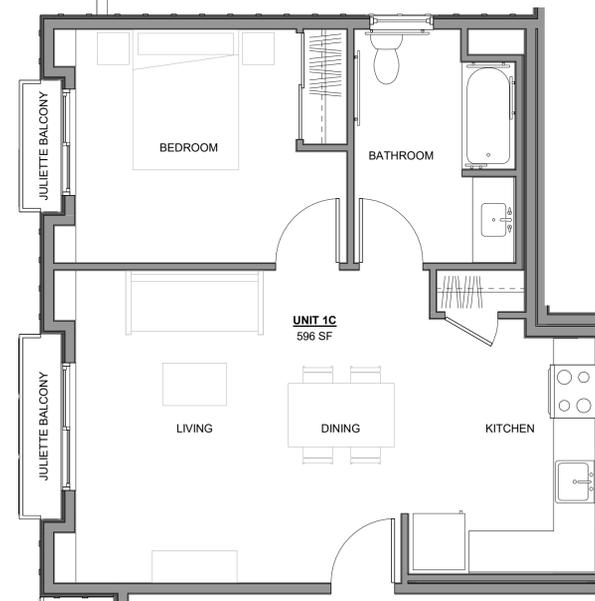
NOTE: UNIT SIZES ARE SHOWN IN NET SF, DIMENSIONED TO THE INTERIOR FACES OF THE WALLS.



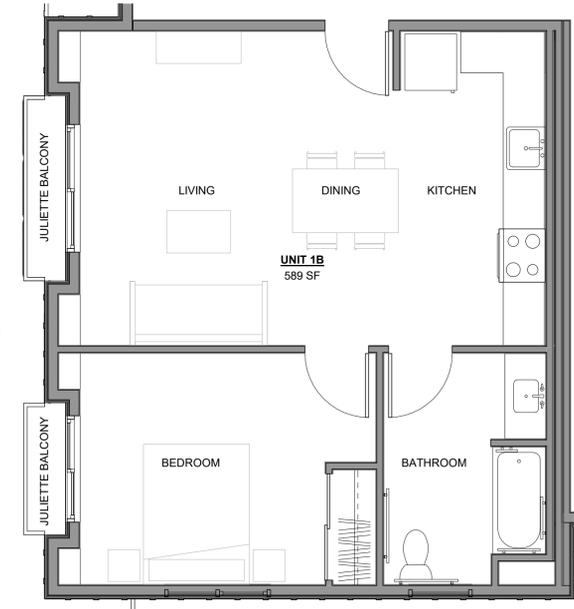
**8 UNIT 1E**  
A4.2 SCALE: 1/4" = 1'-0"



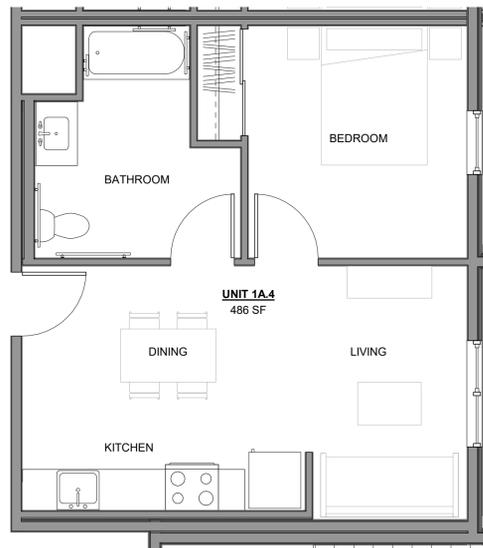
**7 UNIT 1D**  
A4.2 SCALE: 1/4" = 1'-0"



**6 UNIT 1C**  
A4.2 SCALE: 1/4" = 1'-0"



**5 UNIT 1B**  
A4.2 SCALE: 1/4" = 1'-0"



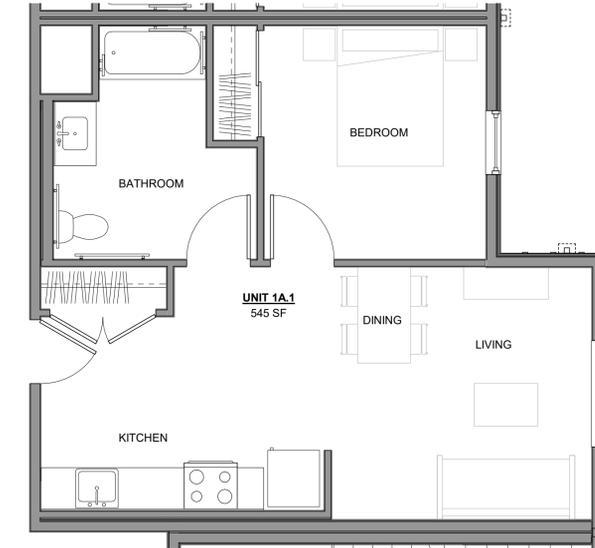
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A4.2 SCALE: 1/4" = 1'-0"



**3 UNIT 1A.3**  
A4.2 SCALE: 1/4" = 1'-0"



**2 UNIT 1A.2**  
A4.2 SCALE: 1/4" = 1'-0"



**1 UNIT 1A.1**  
A4.2 SCALE: 1/4" = 1'-0"

- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
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**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

**555 KELLY**

555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

UNIT PLANS - 1 BED

JOB #: 2236  
SCALE: 1/4" = 1'-0"

**A4.2**

DATE: 07/03/23

**ELEVATION SHEET NOTES**

- 1 FIBER CEMENT BOARD AND BATTEN
- 2 FIBER CEMENT SHINGLE SIDING
- 3 FIBER CEMENT LAP SIDING
- 4 CEMENT PLASTER
- 5 EXPOSED CONCRETE BASE W/ CLEAR ELASTOMERIC COATING, SMOOTH
- 6 FIBER CEMENT PANEL
- 7 LASER CUT METAL PANEL
- 8 METAL GUARDRAIL
- 9 METAL AWNING
- 10 PARAPET CAP
- 11 VINYL WINDOW, DARK BRONZE
- 12 WINDOW TRIM
- 13 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE ANODIZED
- 14 EXTERIOR HOLLOW METAL DOOR
- 15 ROLL UP GARAGE DOOR
- 16 TRANSFORMER
- 17 TRASH ENCLOSURE FOR TED ADCOCK COMMUNITY CENTER, SEE A3.5
- 18 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 2ND FLOOR, SEE A1.2 FOR LADDER CUT SHEETS
- 19 PERMANENT LADDER BETWEEN 4TH AND 5TH FLOOR ROOF

**COLOR PALETTE INTENT**  
(KELLY MOORE PAINT, UNO)

- A 36 - NAVAJO WHITE
- B KM5372 - COPPER BEACH
- C KM4491 - AGED TEAK
- D KM5823 - CITY TOWER
- E KM4910 - PLATINUM GRANITE
- F 407 - CARBON



**2 ELEVATION - WEST**  
SCALE: 1/16" = 1'-0"



**1 ELEVATION - SOUTH**  
SCALE: 1/16" = 1'-0"

1A



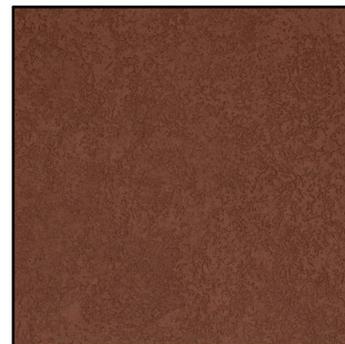
3C



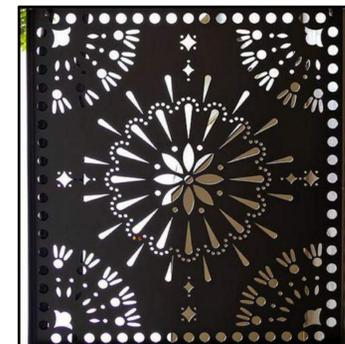
6D



4D



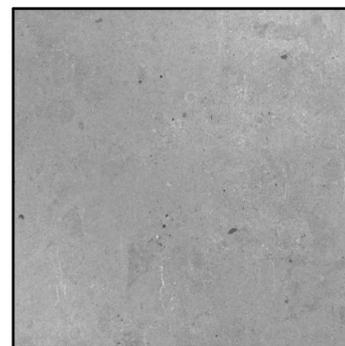
7F



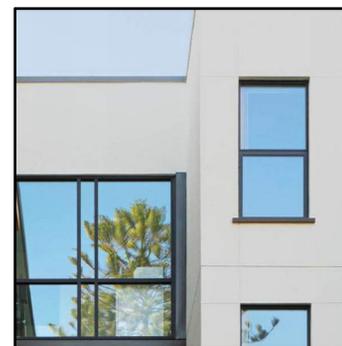
2B



5



11



13



- CIVIL ENGINEERING  
**BKF ENGINEERS**  
150 CALIFORNIA STREET, SUITE 600,  
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT  
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- TENANT IMPROVEMENT ARCHITECT  
**STEINBERG HART**  
333 W SAN CARLOS STREET, #1000  
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:  
**555 KELLY**  
555 KELLY AVE,  
HALF MOON BAY, CA 94019

Client:  
**mercy HOUSING**  
1256 MARKET STREET,  
SAN FRANCISCO, CA 94102

**MATERIAL BOARD**  
JOB #: 2236  
SCALE: As indicated  
**A5.0**  
DATE: 08/02/23

*Architectural Advisory Committee:  
Request for Design Review and Recommendations*

---

**Date:** March 14, 2024

**To:** Architectural Advisory Committee Members

**From:** Scott Phillips, Senior Planner

**Subject:** 540 Purissima Street, New Mixed Commercial / Residential Development  
Resubmittal PDP-21-070

---

**BACKGROUND:**

The proposal was considered by the AAC on March 23, 2022. The adopted meeting summary notes are included as Attachment 1. The AAC had several suggestions related to design, architectural details, and landscaping. The design was revised with the most noticeable changes include the narrowing of the building footprint to allow for a side driveway accessing parking and expansion of the commercial facade. One additional apartment was also added. Additional changes are summarized below:

- Shingle siding on the second story has been eliminated and replaced with vertical hardi siding,
- Stone veneer along the front elevation has been removed,
- Smaller gables along the front and rear elevations have been eliminated,
- Gable ends have been modified to include additional massing and articulation,
- Garage door has been updated to include a solid metal door,
- Building height has been increased by 2 ½ feet.
- An additional dwelling unit has been added to the project.
- Additional landscaping was added along the north side of the property.
- A more prominent commercial sign and larger commercial windows were added to the front façade.

**PROJECT DESCRIPTION:**

The proposal includes an application for a Coastal Development Permit and Architectural Review to construct a new two-story mixed-use residential and commercial building mid-block along the west side of Purissima Street between Kelly Avenue and Miramontes Street (Assessor’s Parcel Number 056-171-130). The site is vacant and has been used as storage and overflow parking for the adjacent residence to the north (Figure 1). The ground floor of the proposed building predominately contains a large garage. The garage would be utilized for the required accessible parking space, two additional parking spaces, and a furniture fabrication shop. A small commercial office space and restroom is also located on the first floor. The floor plan for the previously proposed residence on the second floor has been modified to include an additional dwelling unit. Both units comprise 2 bedrooms and 2 bathrooms. The proposal includes two surface parking spaces behind the proposed mixed-use building, two spaces within the large garage. Parking is further addressed in detail later in this memorandum.

Applicable Development Standards: The site is zoned Commercial Downtown (C-D)

Development Standards	Zoning Requirements		Proposed
Min. Site Area	5,000 sq. ft.		5,000 sq. ft. (existing)
Min. Site Width	50 ft.		50 ft. (existing)
Min. Front and Side Setbacks	Per 18.07.040 (B), not applicable to mixed-use projects		<b>1 1/2 ft. front, 4 ft right side, 10 ft left side</b>
Min. Rear Setback	5 feet (adjacent to residentially zoned properties)		<b>20 ft. 6 inches</b>
Max. Site Coverage and Floor Area	Per 18.07.030 (C), not applicable to mixed-use projects		
Max. Building Height	36 ft.		<b>34 ft. 4 inches</b>
Off-Street Parking Requirement: 1 Residential Unit	1.5 spaces, plus 1 guest space* = 4 spaces	4 spaces total required (covered or uncovered)	<b>1 accessible garage space, plus 2 garage spaces and 2 spaces in the rear yard = 5 spaces</b>
Off-Street Parking Requirement: Commercial	1 space per 250 sq. ft. of commercial space = 1.5 spaces		
Bicycle Parking	4 short term spaces and 1 long term spaces		<b>Bicycle rack provided in front of the building</b>

\* Text in bold indicates the change that was made to the plans. Note that tandem parking requires the issuance of a parking exception.

Visual Resource Requirements, Design Guidelines, or Downtown Specific Plan: The site is within a visual resource area as defined in the Visual Resource Protection Standards (Chapter 18.37)

for “Old Downtown.” The proposed project is subject to architectural review per Chapter 14.37 and applicable design criteria. The site is within the planning area boundaries for the Downtown Specific Plan.

Required Permits: Coastal Development Permit and Architectural Review



*Figure 1 Site condition as of March, 2021*

**REVIEW:**

Staff is seeking feedback from the Architectural Advisory Committee (AAC) on the revised design of the new commercial / residential project as it relates to compliance with the Visual Resource Standards and Downtown Specific Plan.

**Site Plan**

Site Conditions: The site is currently vacant and periodically used for vehicle storage. Wood fencing runs along the front, south side, and rear property lines. Existing frontage improvements include only minor landscaping. Figure 1 shows the site condition as of March 2021.

Parking: The revised design still includes parking within the rear of the building but the parking spaces are now accessed by a side driveway, which has been added to the design. The additional garage doors located in the back of the building have also been eliminated. AAC feedback on the site planning related to parking is requested.

## **Landscape**

Plant Layout: The landscape plan includes a variety of drought tolerant plants with no irrigation. Additional landscaping was added along the north side of the property. The AAC is encouraged to review the landscape plan and advise about appropriate changes.

Lighting: An exterior lighting plan was previously requested. An exterior light fixture detail was added to the plan set but an exterior lighting plan was excluded from the submittal. Locations of the exterior light fixtures still need to be added to the plan set. The AAC's input on lighting is encouraged.

## **Architecture**

Neighborhood Context: The site is surrounded by a mixture of developed residential, commercial and mixed-use properties. The land use of the proposed development is consistent with the intended uses in Downtown.

The previous design was predominately residential in nature. The architectural changes appear to be an improvement over the previous design and reflect the mixed-use nature of the project. The prominent business sign and larger commercial windows along the front elevation provide emphasis to the commercial business.

Architectural Elements: Several changes to the architectural detailing and were made to the design of the mixed-use building. Exterior rock veneer has been removed from the front elevation. Exterior shingle siding along the second story have been replaced with vertical siding. The previously proposed trellis features above selected doors and windows have been eliminated. The subordinate gables previously included along the front and rear elevations have been eliminated and the main gables have been expanded to include additional building massing.

The AAC previously suggested lowering the plate height of the first story and raising the finished floor height to provide for better drainage. Finished floor appears to have been raised slightly but the plate height of the second story is roughly the same as the previous design.

Staff is seeking the AAC's input with respect to the changes in these architectural elements and if the AAC has any additional architectural suggestions.

## **NEXT STEPS:**

If the new design addresses recommendations by the AAC, the project will be scheduled for review by the Community Development Director or Planning Commission.

## **ATTACHMENTS:**

1. Meeting Summary Notes, March 23, 2022
2. Revised Plan Set, received March 4, 2024



**FINAL MEETING SUMMARY NOTES**  
**CITY OF HALF MOON BAY ARCHITECTURAL ADVISORY COMMITTEE**  
**WEDNESDAY MARCH 23, 2022**  
**ALL REMOTE/VIRTUAL MEETING VIA ZOOM**

Virtual meeting of the Architectural Advisory Committee (AAC) began at 8:40 am.

**PRESENT (in-person):** Chad Hooker, Linda Poncini, and Steve Kikuchi

**STAFF PRESENT:** Scott Phillips, Associate Planner, Bridget Jett, Planning Analyst

**MEETING SUMMARY NOTES OF FEBRUARY 3, 2022**

Committee members acknowledged the meeting notes with one minor change related to the summary of the comments on 8 Jenna Lane.

**PUBLIC COMMENT**

None

**SUMMARY**

**Item A:** New Single-Family Residence and Attached Accessory Dwelling Unit

**City File No.:** PDP-19-045

**Location:** 909 Grand View Blvd

**Owner:** Bruce Stebbins

**Clarifying Questions from the AAC:**

**Q.** What changes to the building design took place since the last Planning Commission meeting?

**A.** Elimination of windows on the west side to reduce privacy concerns, plate height reduced, added articulation to the west side

**AAC Comments:**

Architecture:

- AAC is supportive of the massing changes
- Colors and materials are compatible with the surrounding area
- AAC has no concerns about compatibility
- Massing concerns of the Planning Commission have been addressed

Details:

- AAC suggests adding larger windows on the east elevation to benefit the accessory dwelling unit.

Summary:

- Overall, the AAC is supportive of the revised design. The previous compatibility and privacy concerns have been addressed by the revised house and ADU design.
- AAC recommends approval of the house and ADU design to the Planning Commission.

**Item B: Resubmittal New Mixed-Use Commercial and Residential Building**

**City File No.:** PDP-21-070

**Location:** 540 Purissima Street

**Owner:** Robert Moody

**AAC Comments:**

Architecture:

- Reduce plate height by 18 inches
- Lift up finished grade 6 inches
- There is an inconsistency related to a door on the section compared to the elevation.

Details:

- Add larger overhangs/eaves around the entire building. This will protect the building from the weather and reduce maintenance costs in the future.
- The trellis on the north side elevation is too high.
- Add an exterior lighting plan to the plan set.

Site Plan:

- The AAC has disabled access slope concerns. Further review by the City's Building Official is needed.
- Call out the materials within the back of the new building.

Landscape Plan:

- Call out the materials within the back of the new building
- High water use plants are show on the landscape plan. Change to drought tolerant plants.
- Add landscape irrigation square footage to the landscape plan.
- There are inconsistencies between the plant chart and the planting plan.

Summary:

- Changes and concerns expressed from the AAC on the proposed design will need to be addressed prior to review by the Planning Commission.

**Item C: New Downtown Trash Receptacle Program**

**Location:** Downtown

**Owner:** City of Half Moon Bay

**Clarifying Questions from the AAC:**

**Q.** Would the new cans just be on the corners?

**A.** Undecided at right now. The approach is to have flexibility with can placement to maximize safety and aesthetics.

**Q.** What pickup service is currently used for downtown trash cans?

**A.** Allied Republic currently picks up the trash from the cans.

**Q.** Is a more decorative can an option?

**A.** A more decorative can would be 3 times the cost.

**AAC Comments:**

Summary:

- Consider new trash can placement in areas that generate a lot of waste.
- Consider artistic customization of the trash cans.
- Consider placement of the cans in other places than just the corners.
- Look into donating the existing cans and recycling the concrete.

**AGENDA FORECAST / STAFF UPDATE**

Staff provided an update on recent Planning Commission approvals, future AAC items, and upcoming City project construction schedules.

**ARCHITECTURAL ADVISORY COMMITTEE COMMUNICATIONS**

The AAC discussed changing the meeting date to the fourth Thursday.

**ADJOURNMENT**

**Meeting adjourned:** 11:30 am

Respectfully Submitted:



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Scott Phillips, Associate Planner

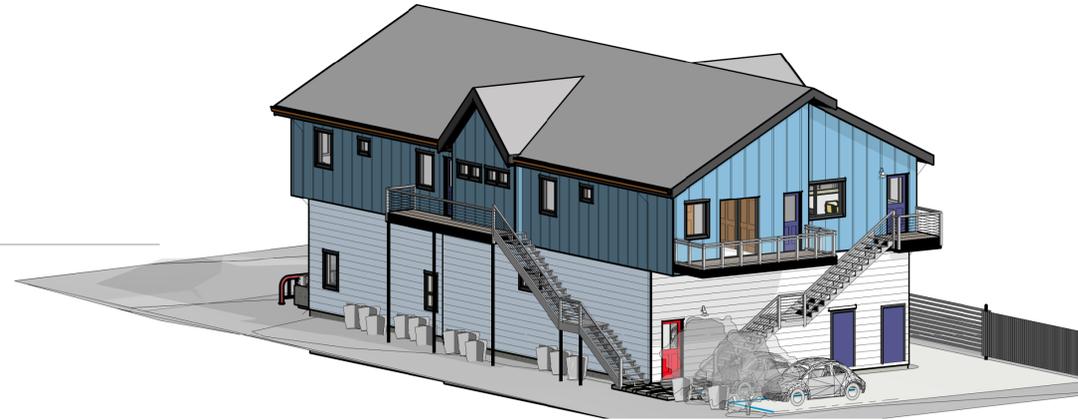
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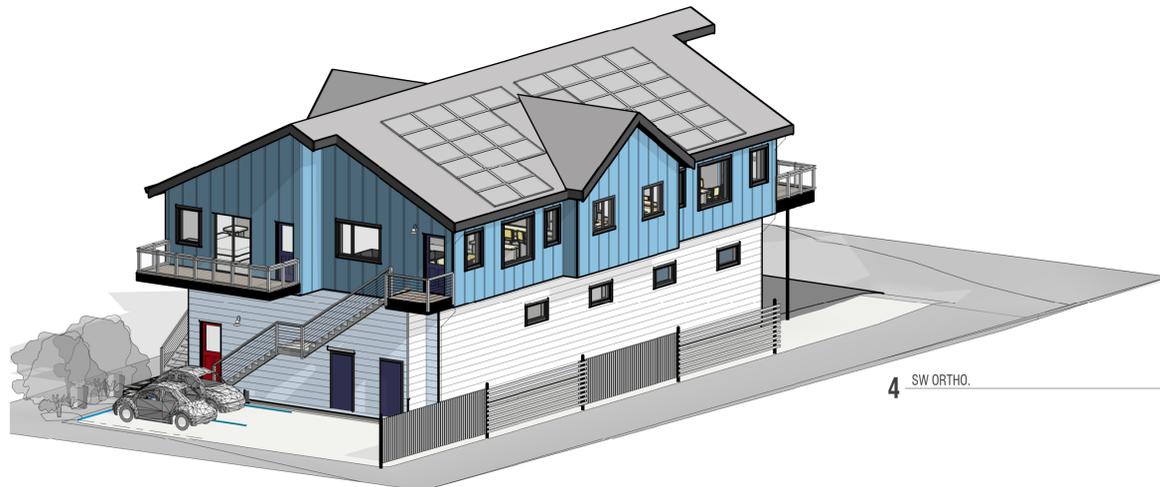
2 SE ORTHO



3 NW ORTHO.



4 SW ORTHO.



dbt | design+build+thrive  
+1.650.563.9725 ikhaya@yahoo.com P.O. Box 371114 Montara Ca 94037

RM Construction  
540 Purissima st  
Halfmoon Bay Ca., 94019

**Client Contact**

Robbie Moody  
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**Designer**

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**Project Consultants**

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Surveyor  
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Dustin Stolt  
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Email:mikedellsurveys.com  
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Energy Consultant  
Co. Name  
Contractor Name  
Ph:  
Email:  
Lic#

Electrical Contractor  
Co. Name  
Contractor Name  
Ph:  
Email:  
Lic#

Plumbing Contractor  
Co. Name  
Contractor Name  
Ph:  
Email:  
Lic#

HVAC Contractor  
Co. Name  
Contractor Name  
Ph:  
Email:  
Lic#

Landscape Architect  
Co. Name  
Contractor Name  
Ph:  
Email: email@gmail.com  
Lic#

Phase: Design & Review

C Unit B Access Changes  
03MAR24

540PRSM-0823-02  
01SEP23

**PROJECT-24  
Mixed-Use Building**

## GENERAL NOTES

- These Construction Documents are the Designers interpretation of the Project based on the existing and current Conditions of the Project. It is the Sole responsibility of the General Contractor to verify and validate all conditions set in the Construction Documents and notify the Designer of any discrepancies.
- Before submitting a proposal for this work, the Bidder shall visit the site and familiarize themselves with the existing conditions. Any questions regarding the Project or Construction Documents should be brought up at this point and the appropriate parties addressed.
- During construction, no changes from plans and specifications shall be made without written consent of the Designer and Owner. Any Structural changes must be approved by the Structural Engineer and the Designer.
- The Owner may order extra work or make changes by altering, adding to, or deducting from the Approved Construction Documents. The Contract sum shall be adjusted accordingly and adequate records shall be kept by the Contractor to substantiate any additional charges. All such work shall be executed under the conditions of the Signed Proposal Agreement between the Owner and the Contractor.
- The intent of these Construction Documents is to provide a complete project. Any omissions in these Documents shall not be construed as relieving the Contractor of any such responsibilities implied by the Scope of Work unless specifically noted.
- All work defective in workmanship or quality or deficient in any requirements of the California Building Code (CBC) and/or the Construction Documents shall be unacceptable despite the Designers failure to discover or identify deficiencies, either existing or during the construction process. Defective work revealed within the period of Warranties or Guarantees shall be replaced by work conforming with intent of the Construction Documents. No payment, either partial or final shall be construed as an acceptance of defective work or materials.
- The intention of these Construction Documents is for the Contractor to provide a complete job and any omissions in these Documents, Notes or Specifications, or in the Scope of Work shall not be construed as relieving the contractor of such responsibilities implied by Scope of Work, except for items specifically noted.
- The Contractor is to verify all existing conditions, discrepancies and conflicts of conditions related to construction compared to the information provided within the Construction Documents. If discrepancies or conflicts between the two are discovered, it is the responsibility of the Contractor to notify the Designer for clarification prior to submitting a bid and/or performing work on the Project.
- The Contractor and Sub-Contractors shall verify the framing system as indicated within the Construction Documents with respect to the installation of all Electrical wiring, Plumbing & HVAC. Waste sewer pipes, gas, vent pipes and lines in support of all plumbing and HVAC fixtures per relevant codes. The Contractor shall take adequate measures including location and installation plumbing lines prior to framing in order to insure Electrical, Plumbing and HVAC lines can be installed without conflict with the framing system as shown in the Construction Documents. The Contractor shall notify the Designer and Structural Engineer of any discrepancies between the Electrical, Plumbing & HVAC systems and framing system prior to performing work or ordering materials.
- Execute work in accordance with any and all applicable Federal, State, Local Codes and Ordinances, Manufacturer's Installation Instructions and recommendations, trade and reference Standards.
- GC to Coordinate and schedule all work with the Owner prior to execution of work.
- GC to Coordinate work with all required Utility Companies.
- GC to Coordinate work with any and all ADA requirements and ADA Specialists as required.
- Coordinate all trades prior to performing work including but not limited to mechanical, plumbing and electrical.
- GC to Other work may be performed under a separate contract at the client's property.
- GC to Coordinate with all other contracted trades so as to not interfere with their work.
- Contractor shall be responsible for all permits, fees, and inspections associated with their work.
- Safety of field personnel, crews and sub-contractors during construction period is the responsibility of the Contractor. It is the responsibility of the Contractor to notify the Owner if any of the recommended actions contained in the Construction Documents are deemed unsafe.
- Provide all required erosion control devices, construction barricades and protective coverings not limited to walls, floors, cabinetry and other fixtures, appliances and systems during construction.
- Schedule and coordinate all shut downs of existing utilities with the owner in advance of a minimum of seven (7) days prior to shut down. Prepare all necessary work prior to shut downs. If at all possible, combine utility shut downs to minimize the impact of the owner's operation of existing facilities.
- Determine the location of all underground utilities. Contact the Owner, City, Governmental and/or private utility companies, which may have facilities located within the limits of the proposed improvements, to aid in the location of utilities. Provide the Owner at least two (2) working days notice prior to commencement of construction activities.
- All work that is to take place while the building is occupied, is to be kept isolated, safe and secure from non-construction personnel. Any barriers or signs required to isolate the Construction Zone will be the responsibility of the Contractor.
- Contractor to maintain Access and Egress to currently occupied units at all times.
- Contractor to maintain the premises in a clean and orderly manor such as to maintain clear access at all times.
- Contractor to ensure sub-Contractors and workers respect and adhere to the City Work hours as stipulated by the City Building Department.
- Prior to Project completion, Clear and remove all accumulated debris from in and around structures and sweep clean. Sweep in structures and surrounding area two (2) times with magnets to pick up any and all loose metal debris not limited to nails, bolts, nuts, screws, wire, etc.
- Locate all materials, equipment, trucks, dumpsters and construction facilities in areas approved by owner. Special care shall be taken to prevent damage to existing building structure, landscaping and paved areas. Provide wood plank protection below all dumpsters and any other heavy equipment.
- Store materials in a manner not to over-stress, overload, or otherwise put an inappropriate load on any structure's during construction.
- Protect or safely store all building and site elements that are to remain or be reused to avoid damage during the construction process, damaged items shall be repaired or replaced at no expense to the owner.
- Repair all areas damaged resultant of the construction work. Patch and provide new finishes at all damaged areas with materials and finishes to match the remodeled existing conditions. New materials and finishes shall be furred, feathered and finished accordingly so as to minimize detection of repair, verify locations with Designer.
- All materials shall be new, unused, and of the highest quality in every respect unless noted otherwise. Manufactured materials and equipment shall be installed as per Manufacturer's Recommendations and Instructions.
- Strictly follow all Manufacturer's written Instructions and recommendations when using or installing respective products.
- There shall be no substitution of materials where a manufacturer is specified. Where the term "approved equal" or "approved substitute" is used, the Designer or Structural Engineer shall determine equality based upon information submitted by the Contractor.
- All new work to be plumb, level and square unless otherwise noted.
- All openings to be sealed and air-tight.
- All wood in contact with ground, concrete or masonry and/ or subject to exposure, water or dampness shall be Preservative Treated and rot resistant.
- Provide sealant between dissimilar materials to isolate from one another as required. Isolate dissimilar metals in contact with each other.
- All paint and stain colors to be selected and/ or approved by the Owner.
- Do not scale the drawings: dimensions shall govern. Details shall govern over plans and elevations. Large scale details Shall govern over small scale. Written specifications shall govern over drawings. In the event of a conflict, please notify the Designer.
- All Grid-Lines are to Centre-Line of Stud or Plate and are NOT to Centre-Line of total Wall or Plate assembly.
- Where the dimensions do not reference Grid-Lines, respective dimensions reference F.O.S.(Face of Stud) or F.O.C.(Face of Concrete) unless noted otherwise.
- Dimension noted 'Clear', 'Min. Clr.' or 'Clr.' shall be accurately maintained. Dimensions marked (+/-) indicate tolerance provided not greater or less than 1/2" from indicated dimension. Verify field dimensions exceeding tolerance with the Designers.
- All Window and door opening dimensions indicate unit size. It is the Contractors' responsibility to verify all Window and Door openings & existing field conditions prior to ordering and fabrication of units.
- Most details are typical and are not to be construed as limited to those areas specifically indicated. If in question, verify application with Designer prior to submitting a bid and/or performing work.
- When Alterations, Additions, or Repairs requiring a Permit, the individual dwelling unit shall be equipped with Smoke and Carbon Monoxide alarms required for new dwelling per CRC R314.2.2
- Per California Civil Code Article 1101.1 and CALGREEN Section 301.1 for all building alterations or improvements to a single family residential property, existing plumbing fixtures in the entire residence that do not meet the current Flow Rate will require upgrading.
  - Water Closets Max. Flow Rate = 1.28GPF
  - Shower Heads Max. Flow Rate = 1.8GPM
  - Lavatory & Kitchen Faucets Max Flow Rate = 1.2GPM (1.8GPM for Kitchen Faucets)

## DIMENSIONING

### DIMENSIONING NOTES:

All grid lines reference the Center of the applicable framing components and not the finished component unless indicated.

All dimensions that reference CENTER-LINES of framing are shown with the CL mark in the dimension string.

All CL dimensions that reference wall framing are to CENTRE-LINE of actual framing stud, header, etc. and not to center of finished wall.

All other framing dimensions are shown as, F.O.S., FACE-OF-STUD, or F.O.C, FACE-OF-CONCRETE.

## SYMBOL LEGEND

### Elevation Tags

#### SECTION MARK



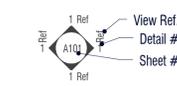
#### DETAIL MARK



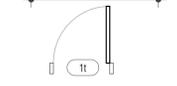
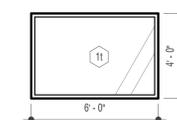
#### DATUM/LEVEL MARK



#### INTERIOR ELEVATION MARK



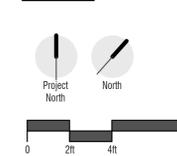
### Door & Window Tags



### Revision Tags



### North & Scale Indicators



## ABBREVIATIONS

A.B.	Anchor Bolt
A/C	Air Condition/ing/er
ABV.	Above
ADA	American Disabilities Act
ADDN	Addition
ADJ	Adjacent
A.F.F.	Above Finished Floor
AGG	Aggregate
ALT.	Alternative
A.S.L.	Above Sea Level
AVG.	Average
B.F.	Balloon Frame
BLK	Block/ing
BM	Bench Mark
BD.	Board
BYND.	Beyond
BRG.	Bearing
BTR.	Better
BTWN.	Between
BWL	Braced Wall Line
CL	Centre Line
COL	Column
CONC.	Concrete
CONT.	Continous
CMU	Concrete Masonary Unit
CTR	Centre
DC	Direct Current
DTM.	Datum
DEMO.	Demolish
DIA.	Diameter
D.F.	Doug Fir
DS	Down Spout
DSC	Dark-Sky Compliant
D.W.V.	Drain Waste Valve
EXT	Exterior
EQ.	Equals
FD	Floor Drain
FDN	Foundation
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.S.	Face of Stud/Framing
FTG.	Footing
F.V.	Field Verify
FYSB	Front Yard Set-Back
GWB	Gypsum Wall Board
H.B.	Hose Bib
HDR	Header
H.D.	Hold-Down
H.H.	Head Height or Heel Height
HT.	Height
HVAC	Heating Ventilation Air Conditioning
INSUL.	Insulation/ate/d
INT	Interior
JST	Joist
LVL.	Laminated Veneer Lumber
MAX.	Maximum
MIN.	Minimum
N.T.S.	Not to Scale
O.C.	On Centre
O.S.B.	Oriented Strand Board
O.T.S.	Owner To Specify
PL	Plot Line
PLM.	Plumbing
P.T.	Pressure/Preservative Treated
PRTN	Partition
PSL.	Parallel Strand Lumber
R.O.	Rough Open
R.O.W.	Right Of Way
RSL.	Rough Sawn Lumber
RYSB	Rear Yard Set-Back
SIM	Similar
S.H.	Sill Height
STRCT.	Structure/Structural
STL	Steel
T.O.	Top Of
T.P.	Top Plate
TYP.	Typical
TV	Television
U.O.N.	Unless Otherwise Noted
VTR	Vent Through Roof
WC	Water Closet
WD	Wood
WDW	Window
GWB	Gypsum Wall Board
H.B.	Hose Bib
HDR	Header
H.D.	Hold-Down
H.H.	Head Height or Heel Height
HT.	Height
HVAC	Heating Ventilation Air Conditioning

## DRAWING INDEX

No.	SHEET NAME
A00	COVER
A01	GENERAL TITLE
TS01	TOPOGRAPHICAL SURVEY
AS100	SITE PLAN
C-1	GRADING, DRAINAGE & EROSION CONTROL PLAN
BMP	BEST MANAGEMENT PRACTICES
L01	LANDSCAPING PLAN
A101	LVL1 FLOOR PLAN
A102	LVL2 FLOOR PLAN
A103	ROOF PLAN
A201	ELEVATIONS SOUTH&EAST
A202	ELEVATIONS NORTH&WEST
A301	BUILDING SECTIONS



1 PROJECT & FIRE HYDRANT LOCATION  
N.T.S.



## APPLICABLE CODES

- CITY OF HALFMOON BAY BUILDING AND ZONING ORDINANCES
- 2020 CALIFORNIA RESIDENTIAL CODE
- 2020 CALIFORNIA BUILDING CODE
- 2020 BUILDING CODES AND AMENDMENTS
- 2020 CAL GREEN STANDARDS
- 202 MECHANICAL CODE
- 2020 PLUMBING CODE
- 2020 ELECTRICAL CODE
- 2020 CALIFORNIA FIRE CODE

## CALIFORNIA GREEN ENERGY CODE

### Div. 4.3 -WATER EFFICIENCY and CONSERVATION

Water conserving plumbing fixtures and fittings  
Plumbing fixtures and fittings shall comply with the following:

- 4.303.1
- 4.303.1.1 –Water closets: ≤ 1.28 gal/flush.
  - 4.303.1.2 –Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush.
  - 4.303.1.3.1 – Single showerheads: ≤ 1.8 gpm @ 80 psi.
  - 4.303.1.3.2 – Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time.
  - 4.303.1.4.1 –Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi.
  - 4.303.1.4.2 – Lavatory faucets in common and public use arots residential buildings: ≤ 0.5 gpm @ 60 psi.
  - 4.303.1.4.3 – Metering faucets: ≤ 0.2 gallons per cycle.
  - 4.303.1.4.4 – Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
- 4.303.2 Standards for plumbing fixtures and fittings: Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.

## PROJECT DATA

APN:	056.171.130
ZONING:	C-D
CLIMATE ZONE:	3
CONSTRUCTION TYPE:	V-B
FIRE ABATEMENT:	RQD.: SPRINKLERS NFPA13 & ALARM SYSTEM NFPA72
OCCUPANCIES:	RESIDENTIAL UNITS: R3 GARAGE SPACE: U OFFICE: B

## PROJECT AREA DATA

SITE AREA:	5,058 SF	
(See AS100)		
BUSINESS OFFICE:	341 SF	
WC:	59 SF	
UTILITY & STORAGE:	271 SF	
GARAGE SPACE:	1,581 SF	
LEVEL 1 TTL. SF:	2,252 SF	
UNIT A AREA:	1,488 SF	
UNIT B AREA:	1,591 SF	
UNIT-A ACCESS:(Stairs&Deck)	81 SF	
UNIT-B ACCESS:(Stairs&Deck)	170 SF	
LEVEL 2 TTL. AREA:	3,330 SF	
TTL. BUILDING LC:	3,329 SF	66%
FREE AREA:	1729 SF	34%

## PROJECT SCOPE

NEW MIXED USE BUILDING PROVIDING:

- LEVEL 01
- GARAGE TOTAL 2,252SF
  - OFFICE SPACE 341SF
  - OFF-STREET PARKING AS RQD.

#### LEVEL 02

- 2 RENTAL UNITS : A-1373SF & B-1442SF

## PROJECT DESIGN DEFERMENTS

- PHOTOVOLTAIC SYSTEM : APPLICABLE SOLAR DESIGN TO PROVIDE SUFFICIENT POWER TO PROJECT AND MEET THE REQUIRED CODES.
- FIRE SPRINKLERS: PROVIDE CAPABLE FIRE ABATEMENT DESIGN AND SYSTEM CAPABLE OF COMPLYING TO ALL THE REQUIRED FIRE CODES.

RM Construction

PROJECT-24  
Mixed-Use Building

540 Purissima st  
Halfmoon Bay Ca., 94019



## GENERAL TITLE

Phase: Design & Review

C	Unit B Access Changes	03MAR24
B	For Planning Review	25JAN24
A	For Review Only	10.10.23
No.	REVISION	DATE

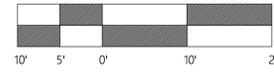
Building ID.:

Sheet No.:

**A01**

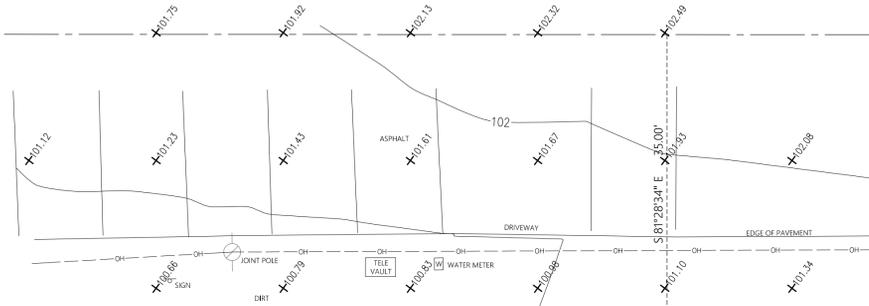
Project number: 540PRSM-0823-02

Date: 01SEP23



PURISSIMA STREET  
(70' WIDE R/W)

S 8°31'26" W 85.34'

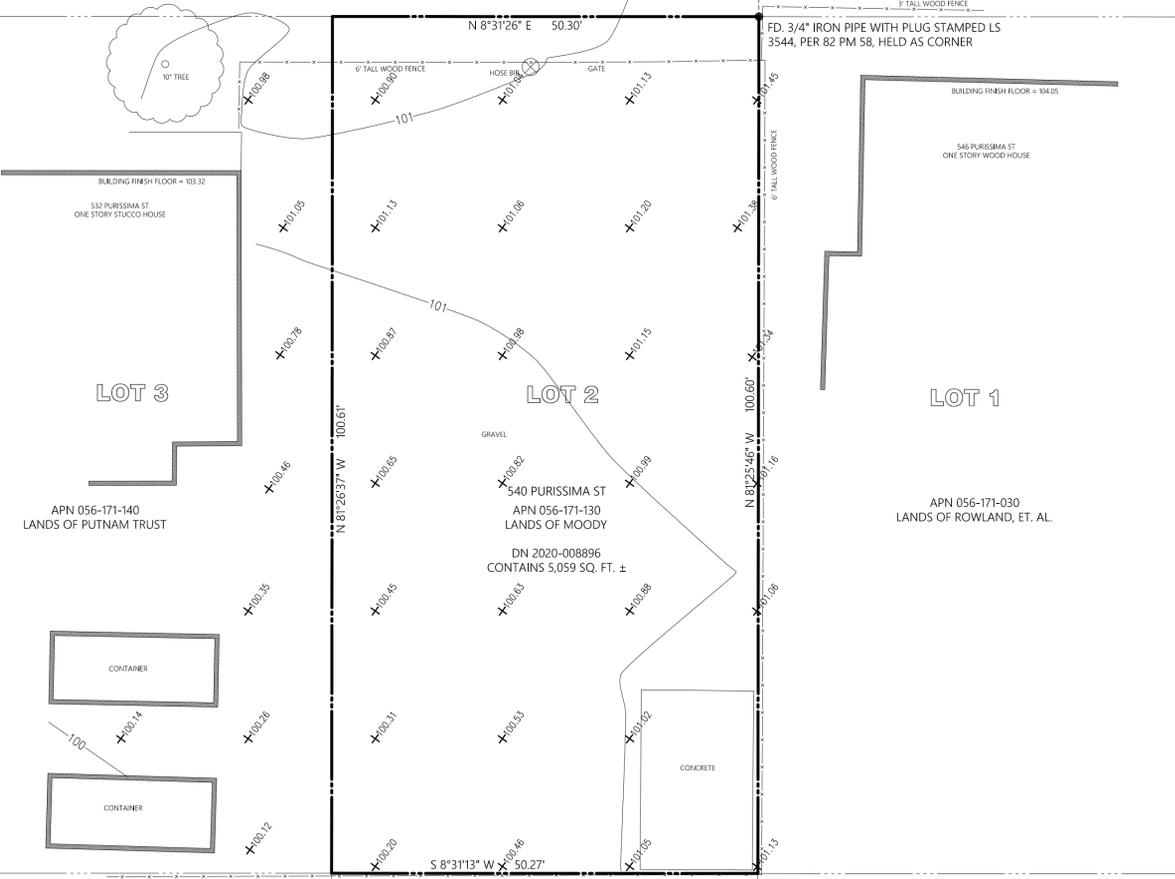


LOT 4

LOT 3

LOT 2

LOT 1



MIRAMONTES STREET  
(70' WIDE R/W)

S 81°24'51" E 271.19'

CHURCH STREET  
(70' WIDE R/W)  
FORMERLY OCEAN STREET

S 81°24'51" E 247.75'

FD. CUT X ON CURB PER 5 LLS 127

**NOTES**

1. UNITS SHOWN HEREON ARE IN US SURVEY FEET AND DECIMALS THEREOF.
2. UTILITIES SHOWN HEREON ARE BASED UPON SURFACE OBSERVATIONS ONLY. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS OF THE UTILITIES SHOWN ON THIS SURVEY. SUBSURFACE UTILITIES OR OBSTRUCTIONS MAY EXIST THAT ARE NOT SHOWN ON THIS SURVEY.
3. THE FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 10/21/2020.
4. NO TITLE REPORT WAS REVIEWED AS A PART OF THIS SURVEY.
5. RECORD INFORMATION SHOWN ON THE PARCEL MAP FILED FOR RECORD ON DECEMBER 28, 2015 IN BOOK 82 OF PARCEL MAPS AT PAGES 57-58, WAS USED FOR THE BASIS FOR THE BOUNDARY RETRACEMENT SHOWN ON THIS SURVEY.

**BENCHMARK**

ASSUMED SITE BENCHMARK: MOS POINT 90000  
FOUND TACK AND TAG NEAR THE SOUTHEAST RETURN AT THE INTERSECTION OF PURISSIMA STREET AND KELLEY STREET.

ELEVATION = 100.01 ASSUMED

**BASIS OF SURVEY**

THE BEARING SOUTH 08°31'26" WEST ALONG THE CENTER LINE OF PURISSIMA STREET AS SHOWN ON THAT CERTAIN MAP FILED FOR RECORD ON DECEMBER 28, 2015 IN BOOK 82 OF PARCEL MAPS AT PAGES 57-58, WAS USED AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

**SURVEYORS STATEMENT**

THIS SURVEY WAS PREPARED BY ME OR UNDER MY SUPERVISION IN CONFORMANCE WITH THE PROFESSIONAL LAND SURVEYORS ACT.

DUSTIN SOLT, PLS 9261 DATED: 01/31/2024



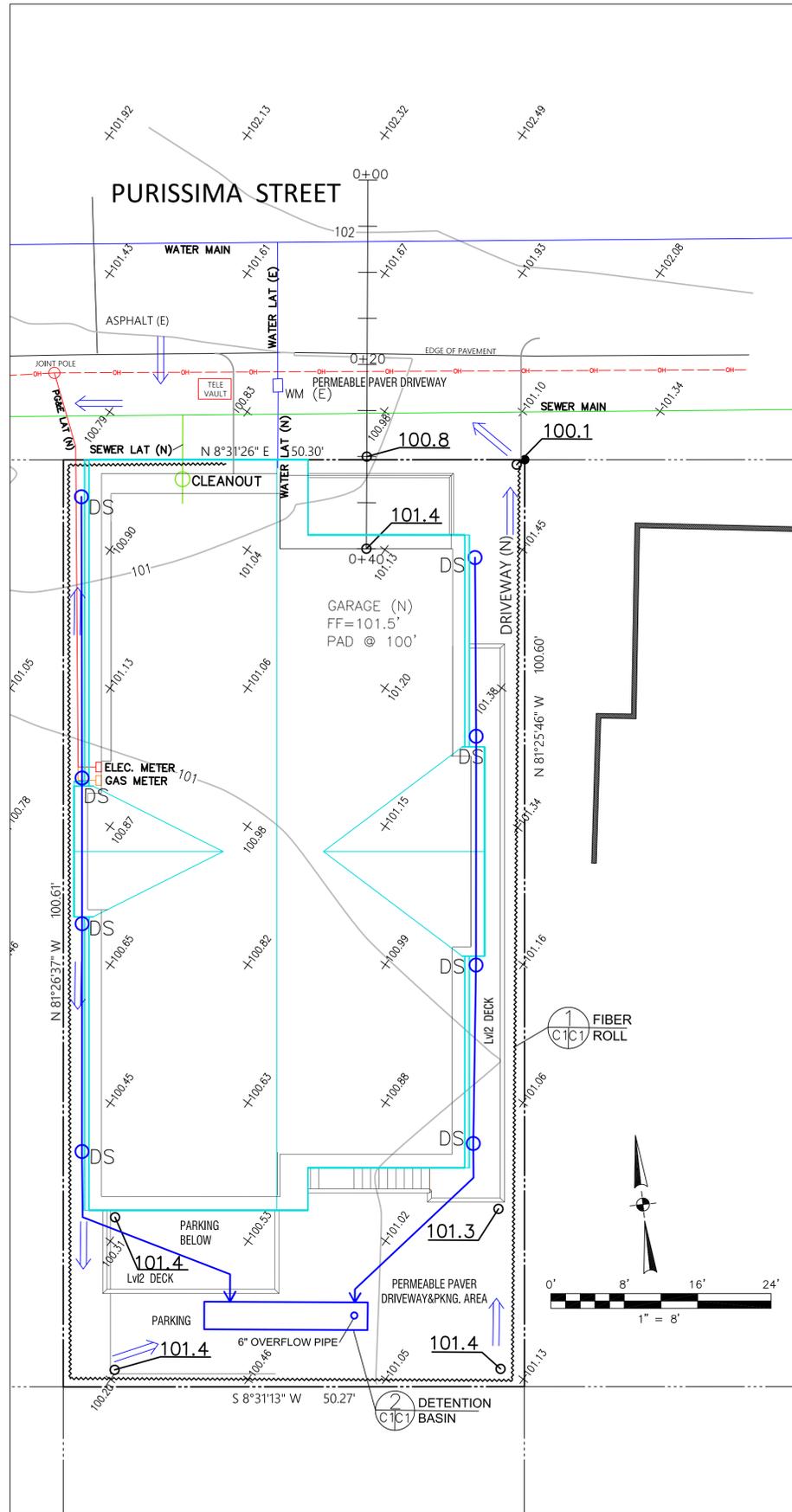
MAP OF SPANISHTOWN  
BOOK 1 MAPS, PAGE 60  
BLOCK 18

**TOPOGRAPHIC SURVEY  
540 PURISSIMA ST**



MIKE O'DELL SURVEYS  
2030 UNION STREET #206  
SAN FRANCISCO, CA 94123  
mikedellsurveys.com

No.	REVISION	BY	Date:
			10/23/2020
			Scale: 1"=10'
			Job No. 20-187
			Sheet No. 1
HALF MOON BAY CALIFORNIA			Of 1 Sheets



**LEGEND**



**GENERAL NOTES**

1. PLANS PREPARED AT REQUEST OF: ROBERT MOODY, OWNER
2. ELEVATION DATUM: ASSUMED
3. SITE SURVEYED BY OTHERS.
4. THIS IS NOT A BOUNDARY SURVEY.
5. AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ANY WORK IN THE CITY RIGHT OF WAY.

**GRADING NOTES**

CUT VOLUME : 90 CY (FOR FOUNDATION)  
FILL VOLUME: 25 CY

ABOVE VOLUMES ARE APPROXIMATE.

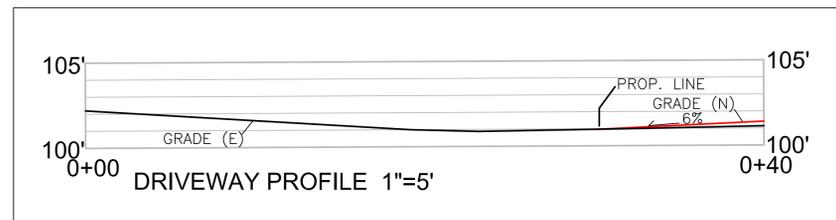
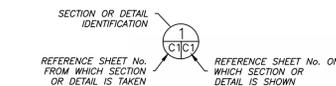
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS, AND TO PREVENT AN INCREASE IN RUNOFF TO NEIGHBORING PROPERTIES.
2. DOWNSPOUTS SHALL LEAD TO DETENTION BASIN, AS SHOWN.

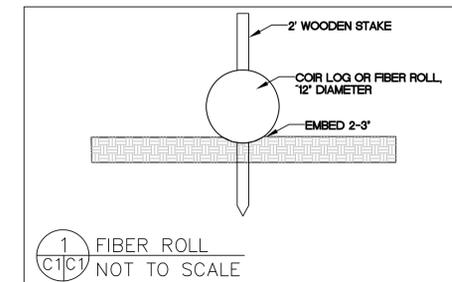
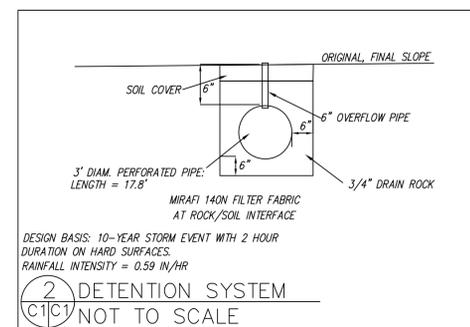
**SECTION AND DETAIL CONVENTION**



**EROSION AND SEDIMENT CONTROL NOTES**

FIBER ROLL: INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL 1.

1. FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.
2. ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF JUTE MATTING ON SLOPES.
3. ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.
4. BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
5. AREAS TO RECEIVE NATURAL VEGETATION SHALL BE SEEDED PRIOR TO OCT 15 WITH 75# PER ACRE OF ANNUAL RYEGRASS OR APPROVED SUBSTITUTE, AS PER LANDSCAPE PLAN. SEED MAY BE COVERED WITH STRAW MULCH AT RATE OF 2 TONS/ACRE.



**Sigma Prime Geosciences, Inc.**  
SIGMA PRIME GEOSCIENCES, INC.  
332 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
(650) 728-3890  
FAX: 728-3893

DATE: 1-24-24	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:
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**GRADING, DRAINAGE, EROSION CONTROL PLAN**

MOODY PROPERTY  
PURISSIMA STREET  
HALF MOON BAY, CALIFORNIA  
ADN REG 471 470

**SHEET C-1**

AREAS					
AREA NAME	AREA SF	TOTAL SF	Total LC %	Total FAR %	COMMENTS
EXISTING					
APN 056171130	5057.7 SF	0.0 SF	0.0%	0.0%	EXISTING SITE
NEW					
LVL1	2463.2 SF	0.0 SF	0.0%	48.7%	GARAGE AREA
LVL2	2814.4 SF	2,814.4 SF	55.6%	55.6%	APT. A + APT. B AREA
DECK AREA-B	146.5 SF	146.5 SF	2.9%	2.9%	DECK UNIT-A
DECK AREA-A	112.3 SF	112.3 SF	2.2%	2.2%	DECK UNIT-B
UNIT A STAIRS & ENTRY	80.5 SF	80.5 SF	1.6%	1.6%	ENTRY STAIRS & DECK UNIT-A
UNIT-B STAIRS & ENTRY	176.2 SF	176.2 SF	3.5%	3.5%	ENTRY STAIRS & DECK UNIT-B
TOTALS:	3,329.9 SF		65.8%	114.5%	

### SITE PLAN NOTES:

- BASIS OF SITE PLAN INFORMATION:**
- ARC GIS ARCHIVES
  - PARTIAL SURVEY PROVIDED BY CLIENT.
- (Refer to a signed survey from a Licensed Surveyor for more precise site & survey information.)
- SITE HAS NO SIGNIFICANT OR HERITAGE TREES.
  - (E) WATER METER 5/8"
  - (N) SEWER LAT. TIE INTO (E) CITY SEWER.
  - PGE POWER UNDERGROUND TO METER FROM J-POLE
  - (E) FIRE HYDRANT LOCATION 375' FROM NW CORNER KELLY&PURISSIMA. (See A01 PROJECT & FIRE HYDRANT LOCATION MAP)

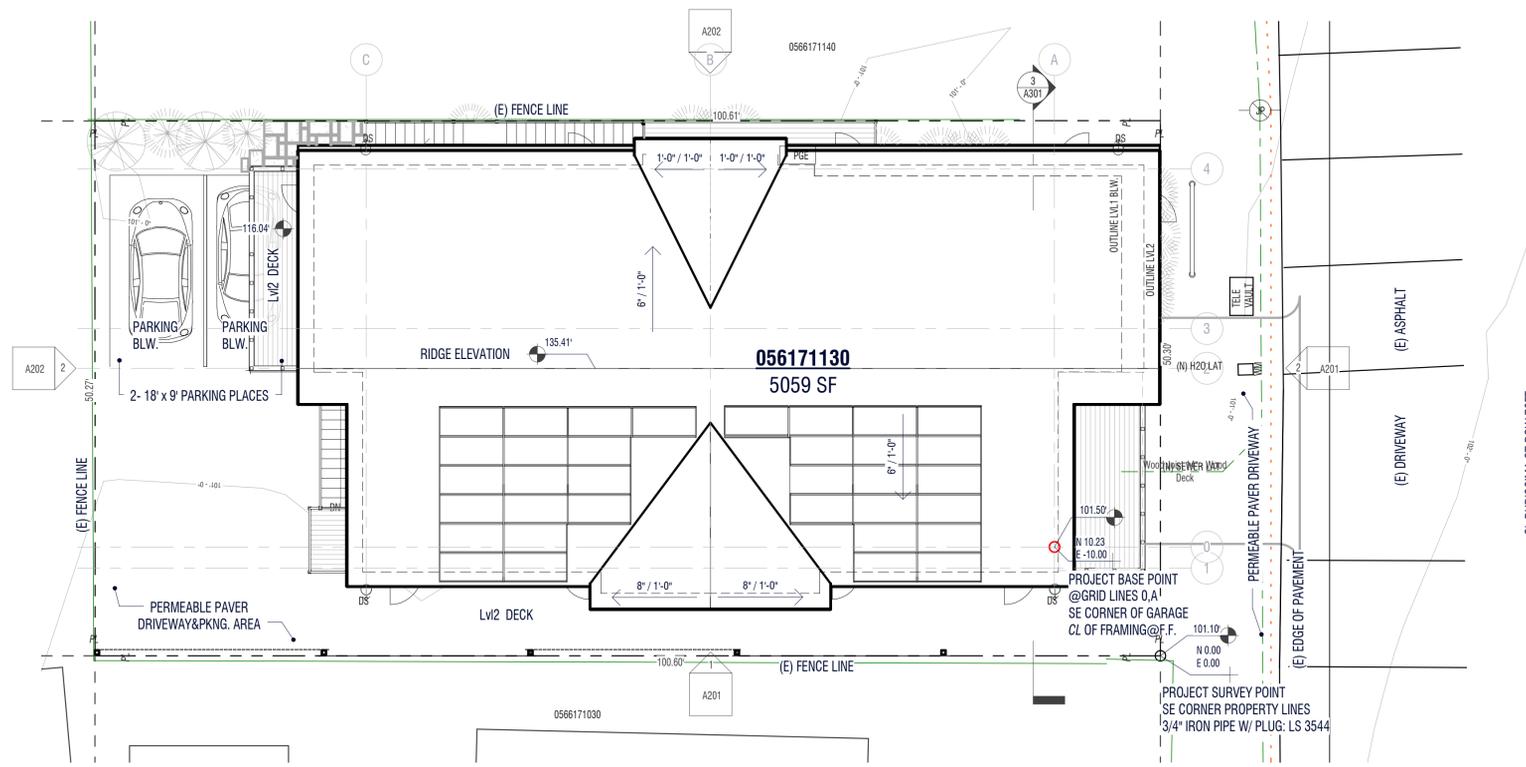
RM Construction

PROJECT-24  
Mixed-Use Building

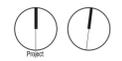
540 Purissima st  
Halfmoon Bay Ca., 94019

### SITE LEGEND

- LINE TYPES**
- CONTOUR LINES
  - FENCE LINES
  - PROPERTY LINES
  - SEWER LATERAL
  - WATER LATERAL
  - OVERHEAD LINE
  - JOINT POLE
  - PERVIOUS DRIVEWAY
  - PROJECT SURVEY POINT A.S.L.
  - PROJECT BASE POINT A.S.L.
  - PGE METER
  - TELE COMMUNICATIONS
  - WATER METER



1 SITE PLAN  
1/8" = 1'-0"



### SITE PLAN

Phase: Design & Review

C	Unit B Access Changes	03MAR24
B	For Planning Review	25JAN24
A	For Review Only	10.10.23
No.	REVISION	DATE

Building ID:



Sheet No.: **AS100**  
Project number: 540PRSM-0823-02  
Date: 01SEP23



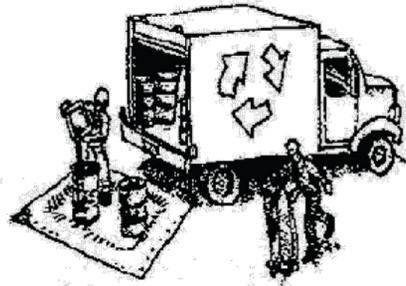
SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



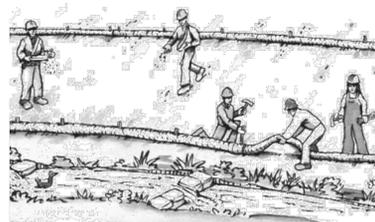
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving

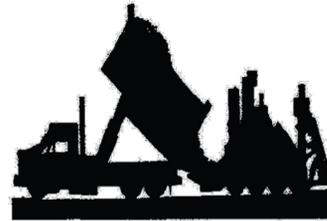


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



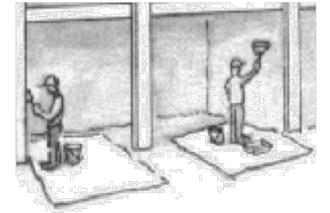
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

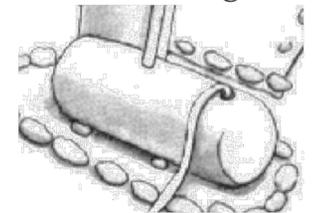
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

### PLANTING LEGEND

	<b>P04</b> JAPANESE MAPLE -TAMUKEYAMA		<b>P39</b> JUNIPER-BLUE STAR
	<b>P17</b> BOXWOOD-COMMON		<b>P34</b> GREIVILLEA-COASTAL GEM

### PLANTING NOTES

REFER TO SITE PLAN FOR ANY SITE RELATED FIXTURES, UTILITIES, ETC.  
ALL LANDSCAPING TO BE DONE WITH REFERENCE TO W.E.L.O. (Water Efficient Landscaping Ordinance)  
ALL PLANTINGS TO BE HAND-WATERED.  
ALL HARDSCAPING TO USE RECYCLED AND/OR RE-PURPOSED MATERIALS WHERE POSSIBLE.

### PLANTING SCHEDULE

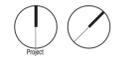
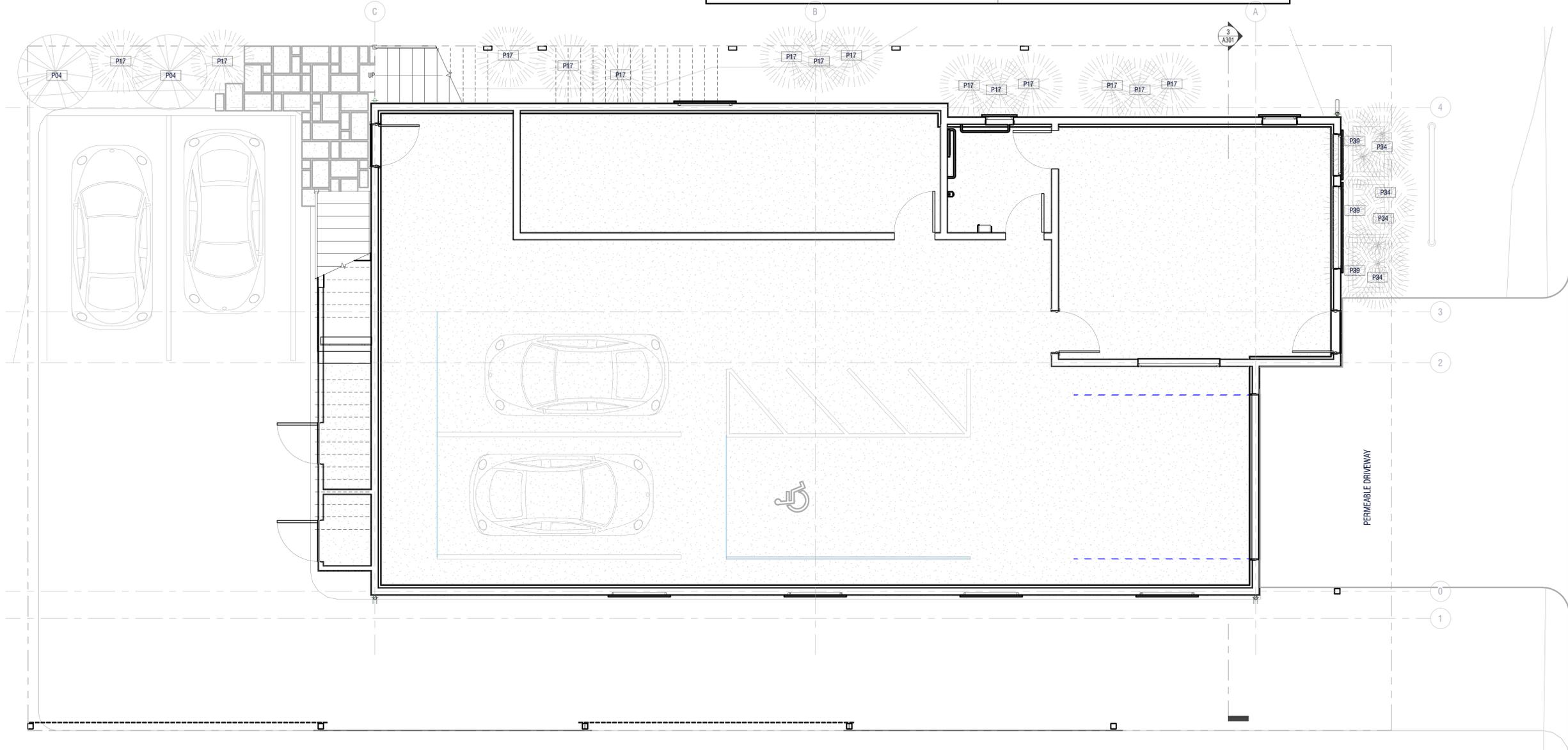
Type Mark	Count	Plant Name
P04	2	JAPANESE MapleTamukeyama
P17	14	BOXWOOD-Common
P34	7	GREIVILLEA-Coastal Gem
P39	4	JUNIPER-Blue Star



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PROJECT-24  
Mixed-Use Building

540 Purissima st  
Halfmoon Bay Ca., 94019



### LANDSCAPING PLAN

Phase: Design & Review

No.	REVISION	DATE

Sheet No.: **L01**  
Project number: 540PRSM-0823-02  
Date: 01SEP23

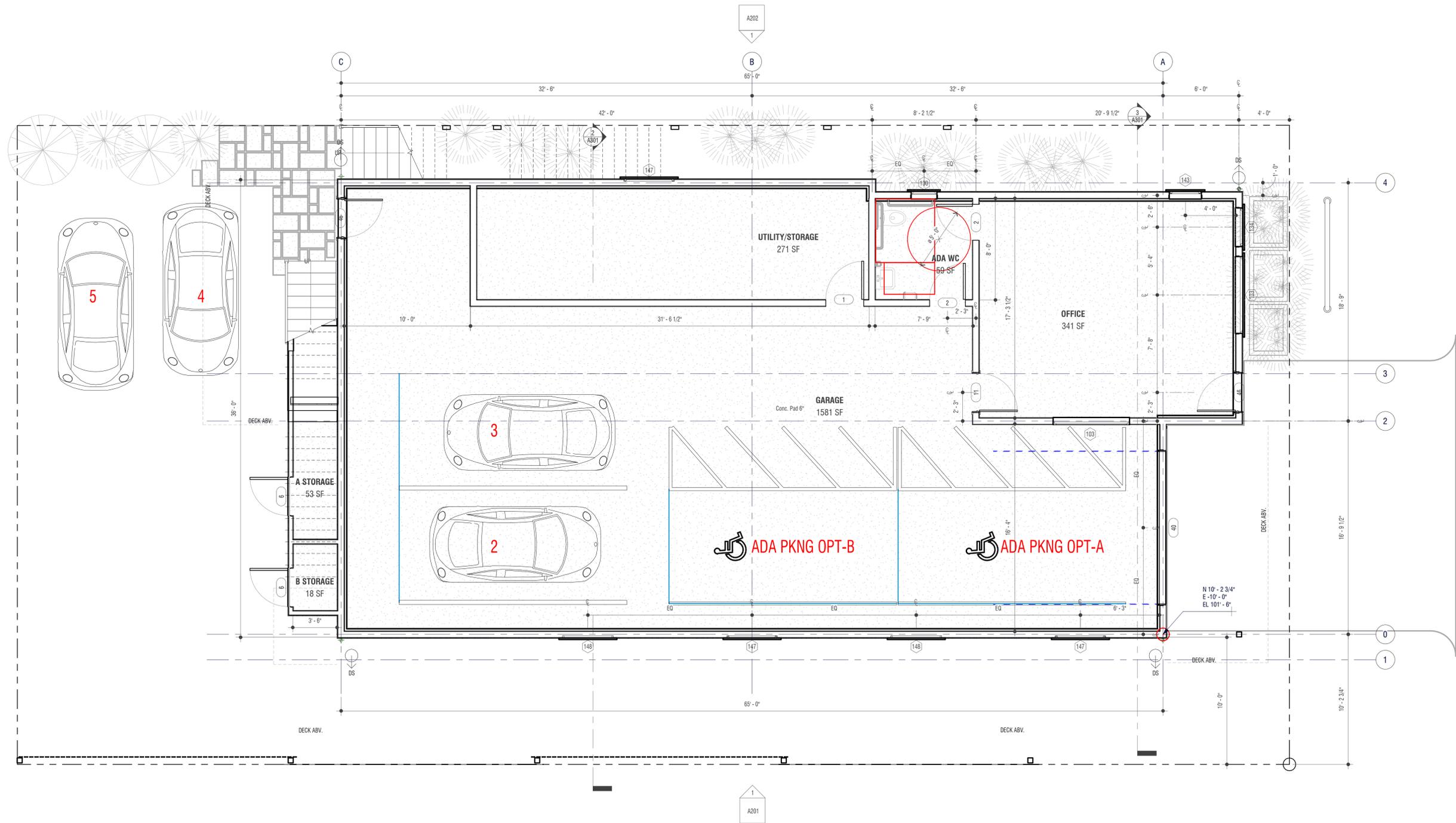
1 LAND SCAPING PLAN  
1/4" = 1'-0"

THESE PLANS AND DRAWINGS REFLECT THE DESIGNERS INTERPRETATION OF THE OF ALL CONCEPTS, IDEAS, DIMENSIONS AND CONDITIONS REQUIRED FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTORS, TRADESMEN TO VERIFY ALL EXISTING AND FORESEEABLE CONDITIONS, DIMENSIONS AND SHALL REPORT ANY IRREGULARITIES TO THE DESIGNER BEFORE PROCEEDING WITH ANY WORK. THESE PLANS REMAIN PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED, COPIED OR TRANSMITTED IN ANY WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE DESIGNER.

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1 Lvl1 FLOOR PLAN  
1/4" = 1'-0"

**LVL1 FLOOR PLAN**

Phase: Design & Review

C	Unit B Access Changes	03MAR24
B	For Planning Review	25JAN24
A	For Review Only	10.10.23
No.	REVISION	DATE

Building ID:

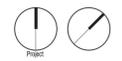
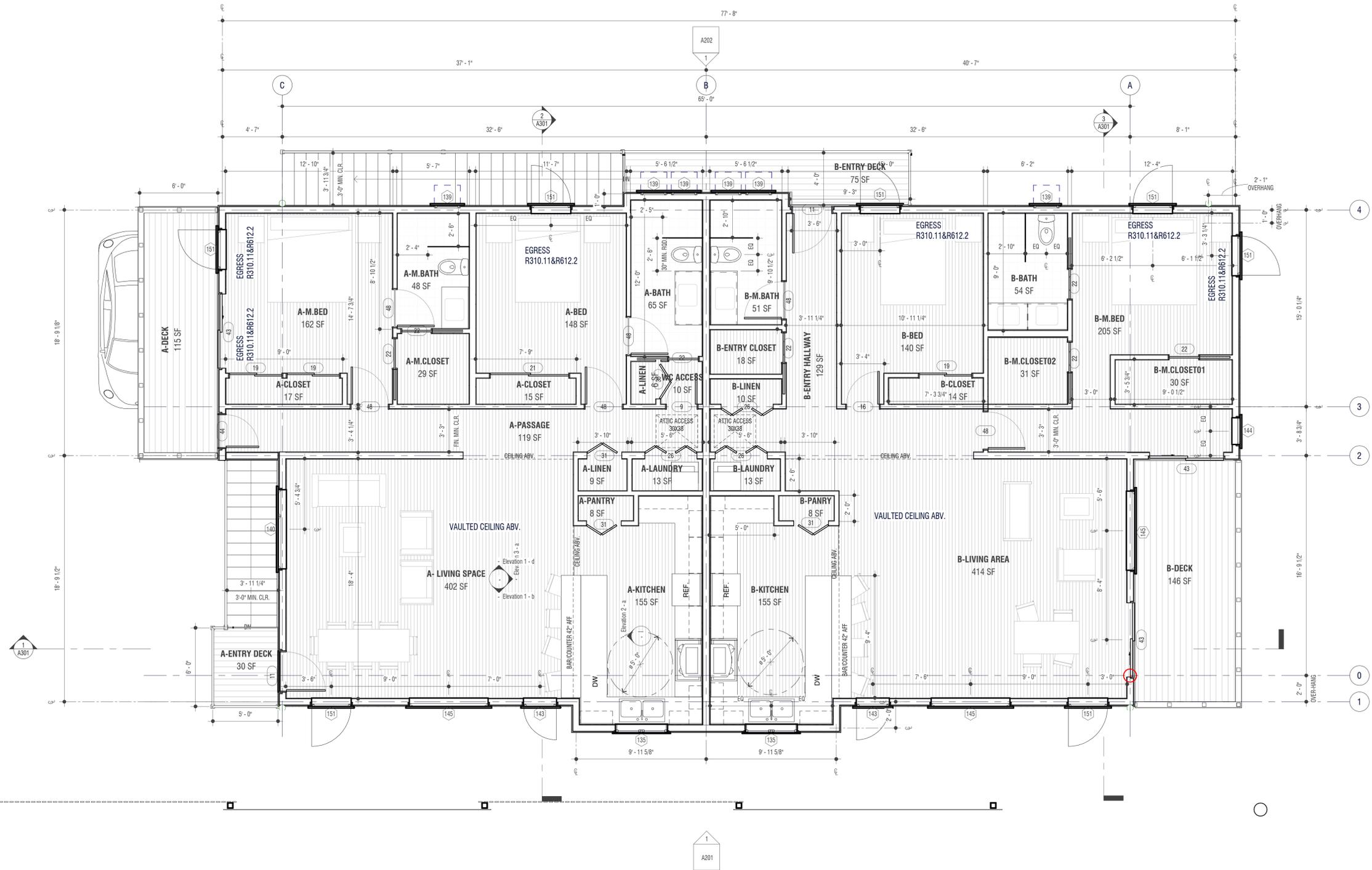
**A101**

Sheet No.:  
Project number: 540PRSM-0823-02  
Date: 01SEP23

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PROJECT-24  
Mixed-Use Building

540 Purissima St  
Halfmoon Bay Ca., 94019



**LVL2 FLOOR PLAN**

Phase: Design & Review

C	Unit B Access Changes	03MAR24
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No.	REVISION	DATE

Building ID:

Sheet No.: **A102**  
Project number: 540PRSM-0823-02  
Date: 01SEP23

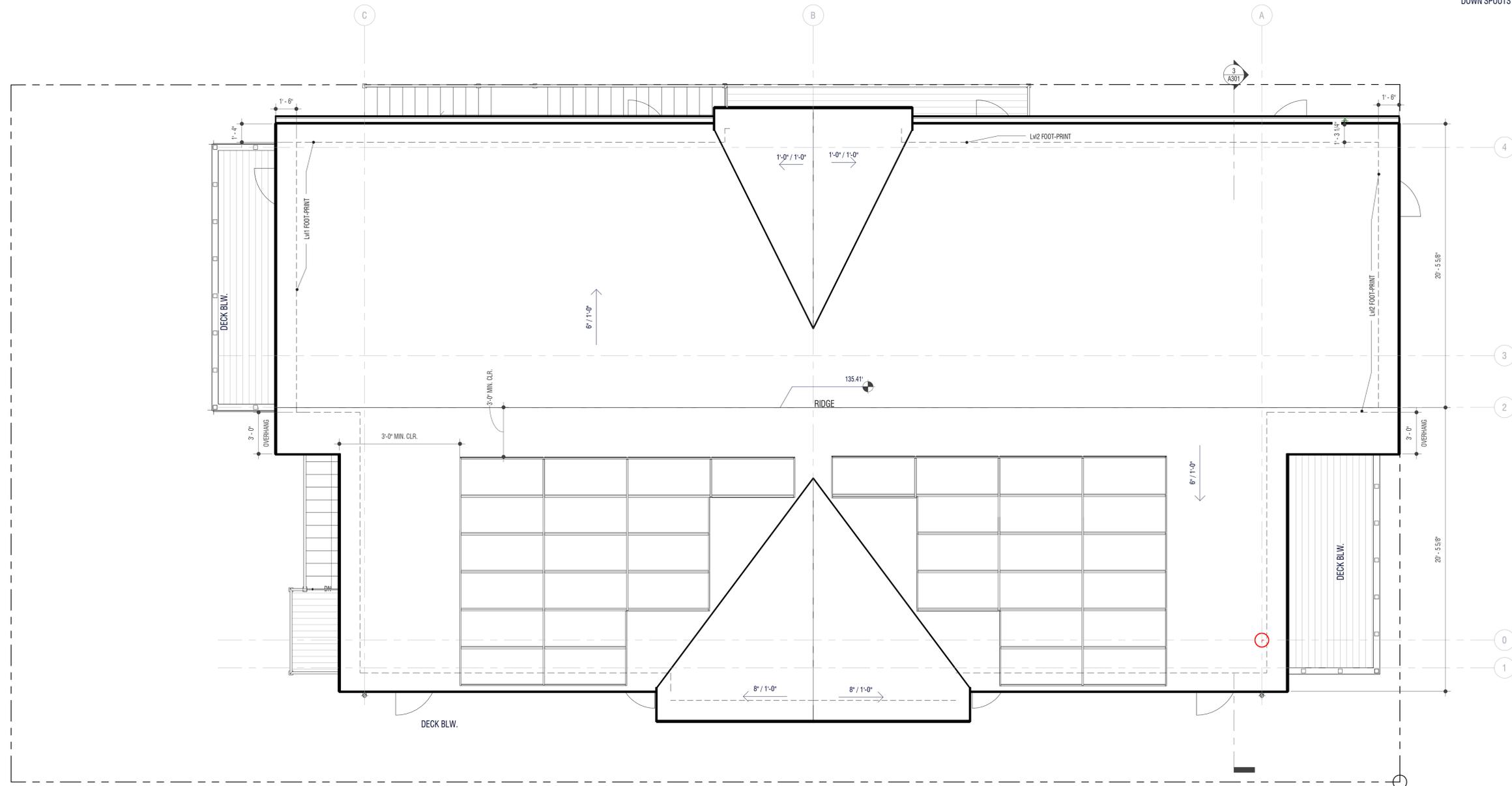
**ROOF PLAN NOTES**

- SOLAR PLAN DEFERRED DESIGN BY OTHERS.
- ROOF CONSTRUCTION CLASS B MIN. FIRE RATING PER ALL FIRE AND BUILDING CODES.
- ROOF SHINGLE 50 YEAR MED. GREY COLOR.
- ALL GUTTERS AND FLASHING TO BE COPPER MATERIAL AND DRAIN TO DOWN SPOUTS PER CIVIL PLAN.

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PROJECT-24  
 Mixed-Use Building

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**1** ROOF PLAN  
 1/4" = 1'-0"



**ROOF PLAN**

Phase: Design & Review

B	For Planning Review	25JAN24
No.:	REVISION	DATE
Building ID.:		

Sheet No.: **A103**  
 Project number: 540PRSM-0823-02  
 Date: 01SEP23

RM Construction

PROJECT-24  
Mixed-Use Building

540 Purissima St  
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1 SOUTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

**COLOR PALLET**

50-YEAR ASPHALT SHINGLE

ALL TRIM COLOR (FASCIA & EXTERIOR TRIM)

LVL1 BUSINESS FRONT-DOOR

ALL EXTERIOR DOORS COLOR

LEVEL2 SIDING COLOR

LEVEL1 SIDING COLOR

Westinghouse 6360900 Watts Creek/Black ETL LED Wet Rated Dark-Sky Compliant (DSC)

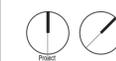
JELD-WEN TOP VIEW CRAFTSMAN 2 PANEL LITE BM MIDNIGHT NAVY 2067-10

HARDI PLANK SHIPLAP BM LAKE PLACID 827

JELD-WEN TOP VIEW CRAFTSMAN 2 PANEL LITE BM HERITAGE RED HC-181

**EXTERIOR NOTES**

- ALL COLORS ARE FOR REFERENCE ONLY. SCREEN OR PRINTER SETTINGS WILL CHANGE APPEARANCES. PLEASE REFER TO COLOR CODES AND CHECK WITH THE PRODUCT VENDOR TO VERIFY EXACT COLORS.
- ALL EXTERIOR LIGHTING TO BE DARK-SKY COMPLIANT (DSC)  
ALL EXTERIOR SOFFIT LIGHTING TO BE LED WET-RATED.
- EXTERIOR PRODUCTS & COLORS
1. SIDING:  
LVL1:  
• HARDI PLANK SHIPLAP  
• COLOR: BM LAKE PLACID-827  
LVL2:  
• HARDI PANEL BOARD & BATTEN @ 24" O.C.  
• COLOR: BM MOZART BLUE 1665
2. DOORS:  
LVL1:  
EXT. SWING DOORS  
• EXT. BUSINESS ENTRY DOOR: JELD-WEN Smooth-Pro Fiberglass Top-View Craftsman  
• COLOR: BM HERITAGE RED HC-181  
• UNIT STORAGE DOORS: SINGLE FLUSH EXTERIOR PAINT GRADE  
• COLOR: BM MIDNIGHT NAVY 2067-10  
GARAGE DOOR:  
• WAYNE DALTON MODEL 452 THERMOSPAN125  
• COLOR: BM MOZART BLUE 1665  
LVL2:  
EXT. SWING DOORS  
• JELD-WEN Smooth-Pro Fiberglass Top-View Craftsman  
• COLOR: BM MIDNIGHT NAVY 2067-10  
SLIDING DOORS:  
MILGARD TRINISC DK BRONZE
3. WINDOWS:  
• MILGARD TUSCANY V-400 SERIES  
• COLOR: DK BRONZE
4. TRIM:  
• WINDOW TRIM: HARDI 2X4HDR. & 1X4 FASCIA: 2X12 FASCIA BD.  
• COLOR: BM BLACK 2132-10
5. ROOFING:  
• 50 YEAR ASPHALT SHINGLE  
• COLOR: MED GREY
6. GUTTERS, DOWN SPOUTS & FLASHING  
• COPPER U.O.N.
- ALL OVERHANGS AND EAVES:  
HARDI-PLANK SOFFIT BOARD  
ALL EXTERIOR FLASHING TO BE COPPER  
COPPER:  
GUTTERS & DOWN-SPOUTS
- LVL2 T.O.P.LATE 124" - 11 3/4"  
LVL1 T.O.P.LATE 114" - 9"
- HEADER TRIM: HARDI-PLANK 2X4  
SIDE & BTM. TRIM: HARDI-PLANK 1X4  
WINDOWS: MILGARD TRINISC DK BRONZE
- LVL2 T.O.F.F. 116" - 0 1/2"  
LVL1 T.O.P.LATE 114" - 9"
- SOFFIT DOWN-LIGHTING  
ALL EAVES AND OVERHANGS TO HAVE HARDI VENT SOFFIT  
BUSINESS SIGN  
4" OFF-SET FROM WALL
- FRONT DOOR  
JELD-WEN TOP VIEW CRAFTSMAN 2 PANEL LITE BM HERITAGE RES HC-181  
BIKE RACK
- PLANTER BOXES
- LVL0 GRD 101" - 1 1/4"



**ELEVATIONS  
SOUTH & EAST**

Phase: Design & Review

C	Unit B Access Changes	03MAR24
B	For Planning Review	25JAN24
No.	REVISION	DATE

Building ID:

**A201**

Sheet No.:  
Project number: 540PRSM-0823-02  
Date: 01SEP23

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PROJECT-24  
Mixed-Use Building

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Halfmoon Bay Ca., 94019

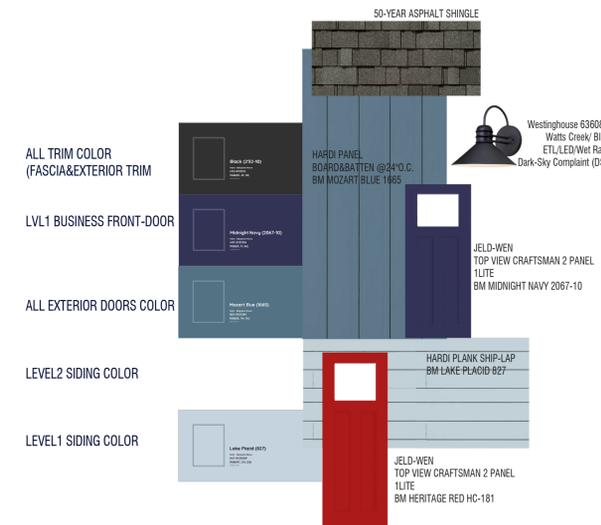


1 NORTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

**COLOR PALLET**



**ELEVATIONS  
NORTH&WEST**

Phase: Design & Review

C	Unit B Access Changes	03MAR24
B	For Planning Review	25JAN24
A	For Review Only	10.10.23
No.	REVISION	DATE

Building ID:

Sheet No.:

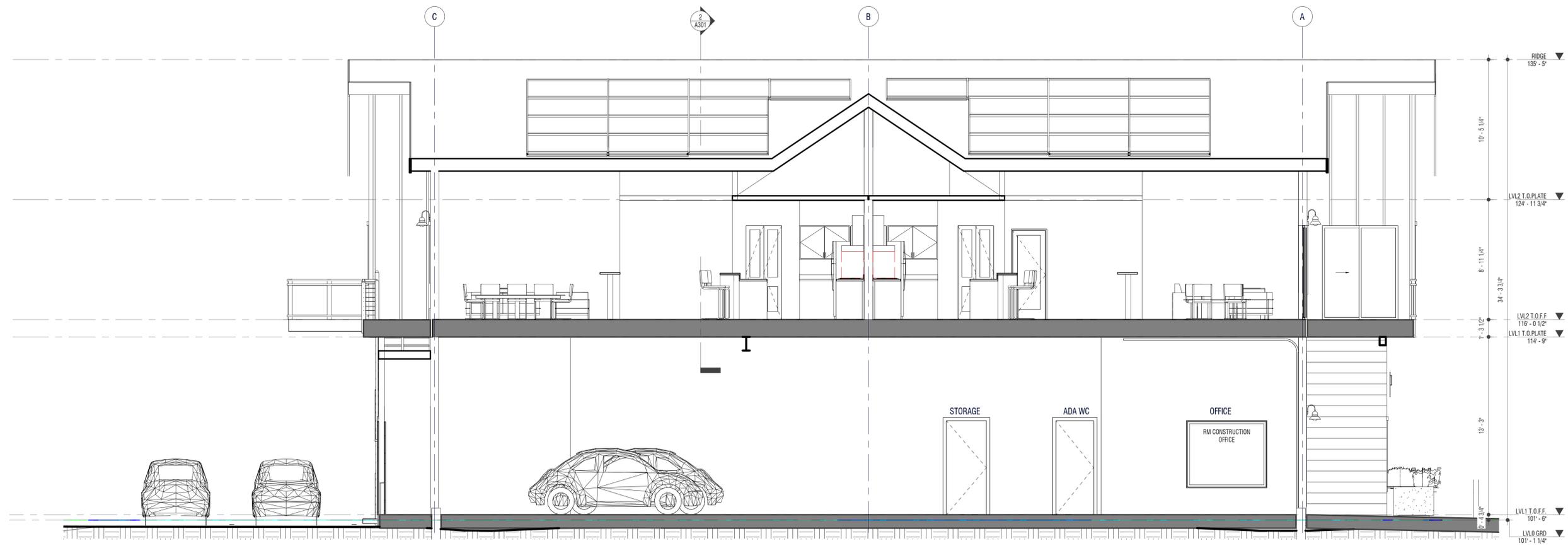
**A202**

Project number: 540PRSM-0823-02  
Date: 01SEP23

RM Construction

PROJECT-24  
 Mixed-Use Building

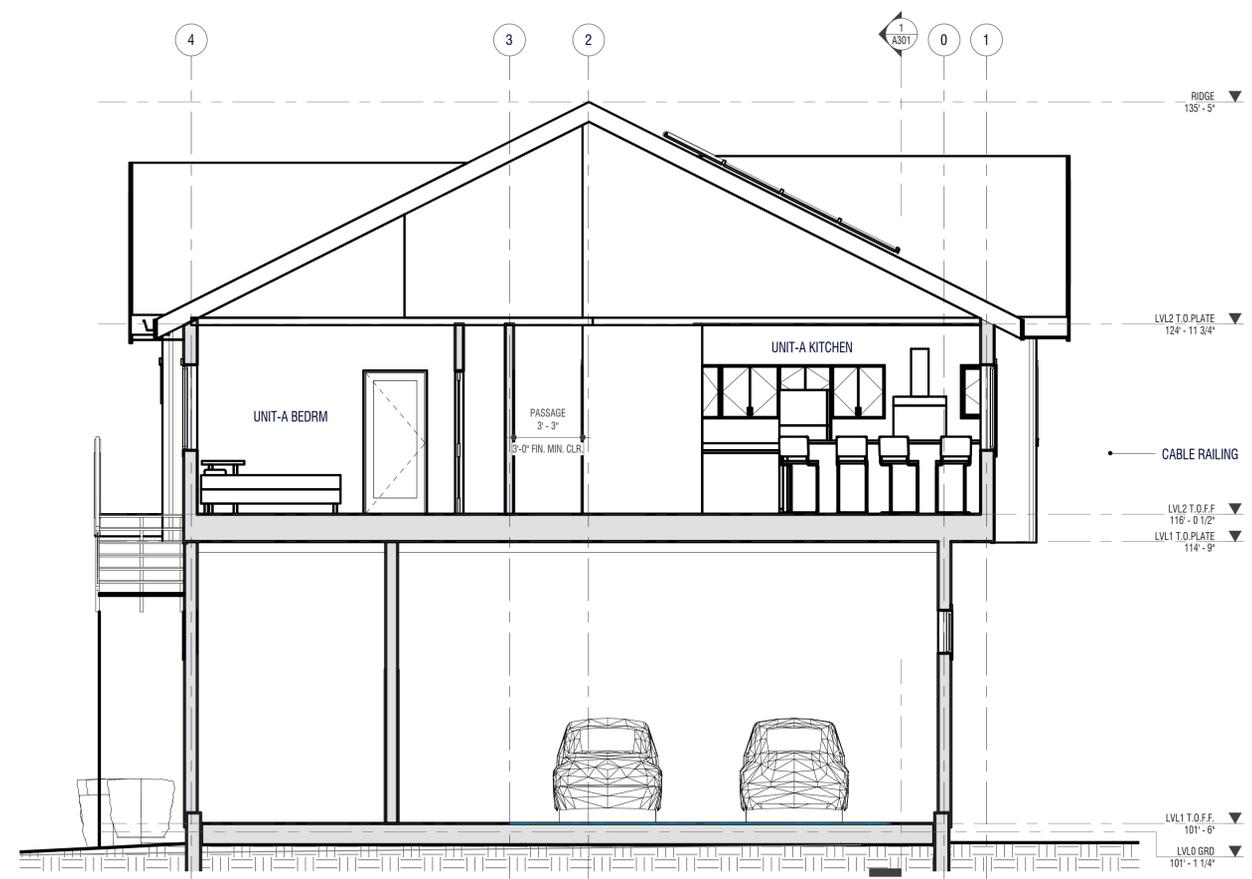
540 Purissima st  
 Halfmoon Bay Ca., 94019



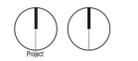
1 SECTION THRU KITCHEN AREA  
 1/4" = 1'-0"



3 SECTION EAST THROUGH GARAGE & UNIT-B  
 1/4" = 1'-0"



4 Section 4  
 1/4" = 1'-0"



**BUILDING SECTIONS**

Phase: Design & Review

B	For Planning Review	25JAN24
No.:	REVISION	DATE

Sheet No.: **A301**

Project number: 540PRSM-0823-02  
 Date: 01SEP23

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