



04/10/2024 ENTITLEMENT SET - RESUBMITTAL #1 (V2)

PROJECT DESCRIPTION

The 100% affordable housing development at 555 Kelly Avenue is intended to provide much needed housing and support services to members of the local senior and farm working community. With the support of ALAS (Ayudando a Latinos a Sonar, Helping Latinos Dream), Mercy Housing and the City of Half Moon Bay are working together to develop this site in a way that will target the intended population, meet funding, and cost requirements, and at the same time, meet local regulatory requirements and those of the Community at large. The development is in response to a City RFQ which included the parcel at 555 Kelly Avenue (6,207 SF) and the adjacent TACC parking lot (7,361 SF).

The proposed development includes a slight expansion into the TACC site by approximately 3,000 SF in order to balance the minimum number of units to make the project pencil financially and provide units which would work best with the targeted population. While 40 units has been considered a minimum target financially, these would need to be almost entirely studios within the original site. The expanded site allows for the inclusion of predominantly 1 bedroom units while still meeting the minimum number of units for financial feasibility. The current design proposal includes 40 units of housing over a concrete podium with a ground floor of common and support uses as well as parking. The unit mix includes studios, predominantly 1 bedrooms and eight 2 bedrooms. The ground floor includes support spaces for the housing and management offices as well as a permanent space for the Farmworker Resource Center. The building also includes amenity spaces with a common courtyard, a community room and common laundry facilities.

The building consists of 4 stories over a podium (5 stories total) with the upper most floor significantly set back so that it is less perceivable from the street. The perceived height of the building has also been mitigated by breaking the building horizontally into the traditional base, middle and top zones. The base is articulated by the active uses and entries with storefronts, the middle of the building is articulated with bay windows and the top of the building is set back in relation to the bay window at the 4th floor while the 5th floor is set back further.

This development has gone through three well attended community meetings and received the support from attendees which included members of the farmworker community, neighbors and concerned citizens as well as elected officials. It has also gone through the Half Moon Bay Architectural Advisory Committee on two different occasions. The project team has listened carefully to all community members and incorporated to the greatest extent possible, the comments and concerns that were voiced during these meetings.

The current plan set includes design changes that were voiced during the latest AAC meeting on March 14. The design changes are reflected in the latest set of renderings, elevations and additional details that have been provided. These include adjustments to the facades as well as additional detail information.

Sheet A0.8 includes a summary of the current zoning standards and the anticipated process that this project will go through to obtain entitlements. The site is expected to be rezoned to P-S with a WHO overlay (Public Service with Workforce Housing Overlay) and it is expected to use State Density Bonus Law where needed. The zoning summary spreadsheet outlines the current zoning under C-D (Commercial Downtown) and P-S, what is anticipated with the P-S / WHO overlay and where density bonus law might be used.

VICINITY MAP



AERIAL VIEW



PROJECT DIRECTORY

PROPERTY OWNER
CITY OF HALF MOON BAY
 501 MAIN ST,
 HALF MOON BAY, CA 94109

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DEVELOPER
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 SAN FRANCISCO, CA 94102

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Contact: Elaine Palacios
 Email: Elaine.Palacios@mercyhousing.org

ALAS
 636 PURISSIMA ST,
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Contact: Kique Bazan
 Email: kique@alasdreams.com

ARCHITECT
VAN METER WILLIAMS POLLACK
 333 BRYANT ST, SUITE 300,
 SAN FRANCISCO, CA 94107

Contact: Ben Chuaqui
 Email: ben@vmwp.com

Contact: Ruofei Gao
 Email: ruofei@vmwp.com

CIVIL ENGINEER
BKF ENGINEERS
 150 CALIFORNIA STREET, SUITE 600,
 SAN FRANCISCO, CA 94111

Contact: Janine Lapp
 Email: jlapp@bkf.com

LANDSCAPE ARCHITECT
JETT LANDSCAPE ARCHITECTURE + DESIGN
 2 THEATER SQUARE, SUITE 218,
 ORINDA, CA 94563

Contact: Whitney Miller
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- CIVIL ENGINEERING**
BKF ENGINEERS
 150 CALIFORNIA STREET, SUITE 600,
 SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT**
JETT LANDSCAPE ARCHITECTURE + DESIGN
 2 THEATER SQUARE, SUITE 218,
 ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT**
STEINBERG HART
 333 W SAN CARLOS STREET, #1000
 SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
 HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
 SAN FRANCISCO, CA 94102

COVER SHEET

JOB #: 2236

SCALE:

A0.0

DATE:

LOOKING FROM THE SOUTHWEST ON KELLY AVE



CIVIL ENGINEERING

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150 CALIFORNIA STREET, SUITE 600,
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LANDSCAPE ARCHITECT

**JETT LANDSCAPE
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Project:

555 KELLY

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Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

ARTISTIC RENDERING

JOB #: 2236

SCALE:

A0.1a

DATE: 10/04/23

LOOKING FROM THE SOUTH ON KELLY AVE



CIVIL ENGINEERING

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150 CALIFORNIA STREET, SUITE 600,
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ARTISTIC RENDERING

JOB #: 2236

SCALE:

A0.1b

DATE: 10/04/23

LOOKING FROM THE SOUTHEAST NEAR THE ENTRY



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A0.1c

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LOOKING FROM THE SOUTHWEST ON KELLY AVE



LOOKING FROM THE SOUTHEAST ON KELLY AVE



PROJECT STATISTICS

UNIT SUMMARY					
	STUDIO	1 BR	2 BR	UNIT COUNT	PARKING
GROUND FLOOR	-	-	-	-	18
2ND FLOOR	0	7	2	9	-
3RD FLOOR	0	8	3	11	-
4TH FLOOR	0	8	3	11	-
5TH FLOOR	6	3	0	9	-
TOTAL	6	26	8	40	18

	GROSS AREA	RESIDENTIAL	NON-RESIDENTIAL			CIRCULATION /SERVICE	PARKING
			COMMON	FUTURE TI	OFFICE		
GROUND FLOOR	13,745	-	-	2,794	841	3,669	6,441
2ND FLOOR	9,744	5,698	892	-	-	3,154	-
3RD FLOOR	9,783	8,118	-	-	-	1,665	-
4TH FLOOR	9,783	8,118	-	-	-	1,665	-
5TH FLOOR	6,730	5,210	-	-	-	1,520	-
TOTAL GROSS AREA (COURTYARD NOT INCLUDED)	49,785	27,144	892	2,794	841	11,673	6,441
COURTYARD AREA: 2,351							

TRASH APPROVAL LETTER



1680 Edgeworth Avenue, Daly City, CA 94015
 o 650.756.1130 f 650.756.4813

October 10, 2023

TO: Planning Department
 City of Half Moon Bay

FR: Jeannene Minnix, Sustainability Advisor
 Republic Services

RE: Will Serve 555 Kelly Ave, Half Moon Bay

Republic Services has reviewed and approved the architectural plans as presented for 555 Kelly Avenue Multi Housing Development.

Republic Services will provide service via metal, front-loading bins for the residential portion of the development for all three waste streams: garbage, compost, and recycling. Service for the Community Center will remain via carts, a.k.a. "Toters", for all three waste streams: garbage, compost, and recycling. All containers will need to be placed at the curb for service by the property managers.

For questions please contact Jeannene Minnix directly at 415-604-9016 or JMinnix@RepublicServices.com.

VAN METER WILLIAMS POLLACK LLP

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | DENVER | MINNEAPOLIS
 333 Bryant Street, Suite 300, San Francisco, CA 94107 T 415.574.5352

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 SAN FRANCISCO, CA 94102

3D VIEWS & BUILDING STATISTICS

JOB #: 2236

SCALE:

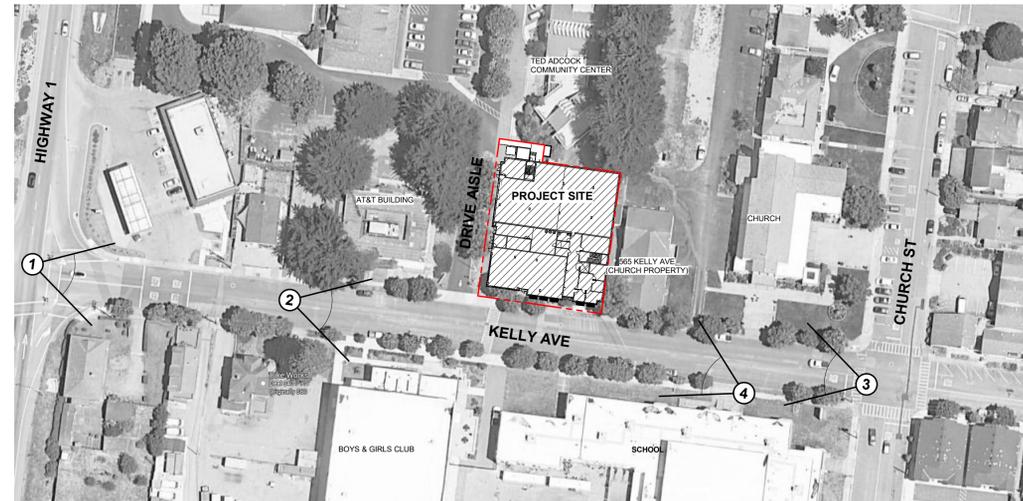
A0.2a

DATE: 08/02/23

1 - WEST VIEW FROM HIGHWAY 1



2 - WEST VIEW ON KELLY AVE



3 - EAST VIEW ON KELLY AVE



4 - EAST VIEW ON KELLY AVE



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	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

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555 KELLY

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Client:



1256 MARKET STREET,
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3D VIEWS WITH
CONTEXT

JOB #: 2236

SCALE: 1" = 80'-0"

A0.2b

DATE: 12/19/23

POTENTIAL MURAL ON UPPER WALLS OVERLOOKING THE COURTYARD



MURAL PLACEHOLDER

POTENTIAL MURALS

THERE ARE SEVERAL OPTIONS THAT ARE BEING CONSIDERED FOR INCORPORATING ART INTO THIS PROJECT INCLUDING INCORPORATING MURALS.

THERE ARE SEVERAL LOCATIONS BEING CONSIDERED FOR MURAL PLACEMENT THAT ARE DEPICTED IN THESE DRAWINGS. THE FINAL LOCATION WILL DEPEND ON SEVERAL FACTORS INCLUDING CITY AND COMMUNITY INPUT, THE PROCESS FOR ARTISTS SELECTION AND THE MURAL ITSELF.

THE LOCATIONS DEPICTED FOR POTENTIAL MURAL PLACEMENT DO NOT REPRESENT THE FINAL PAINTING BUT ARE ILLUSTRATIVE OF HOW A MURAL MIGHT BE PERCEIVED WITHIN CERTAIN PART OF THE BUILDING.

THE MAIN LOCATIONS BEING CONSIDERED FOR MURALS ARE:

- THE UPPER WALLS OVERLOOKING THE COURTYARD.
- EXTERIOR WALLS OF THE ALAS RESOURCE CENTER.
- THE WALL FACING THE COMMUNITY CENTER BUILDING

ALAS HAS A LONGSTANDING PARTNERSHIP WITH LOCAL ARTISTS FOR THE CREATION OF PAINTINGS AND VARIOUS OTHER FORMS OF ART. THE MURALS WILL BE A COLLABORATIVE EFFORT BETWEEN THE ARTISTS, THE COMMUNITY, THE CITY AND THE DEVELOPMENT TEAM.

POTENTIAL MURAL ON ALAS RESOURCE CENTER



MURAL PLACEHOLDER

POTENTIAL MURAL ON THE CONCRETE WALL FACING TACC



MURAL PLACEHOLDER

MURALS ON MAIN STREET, HALF MOON BAY



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ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

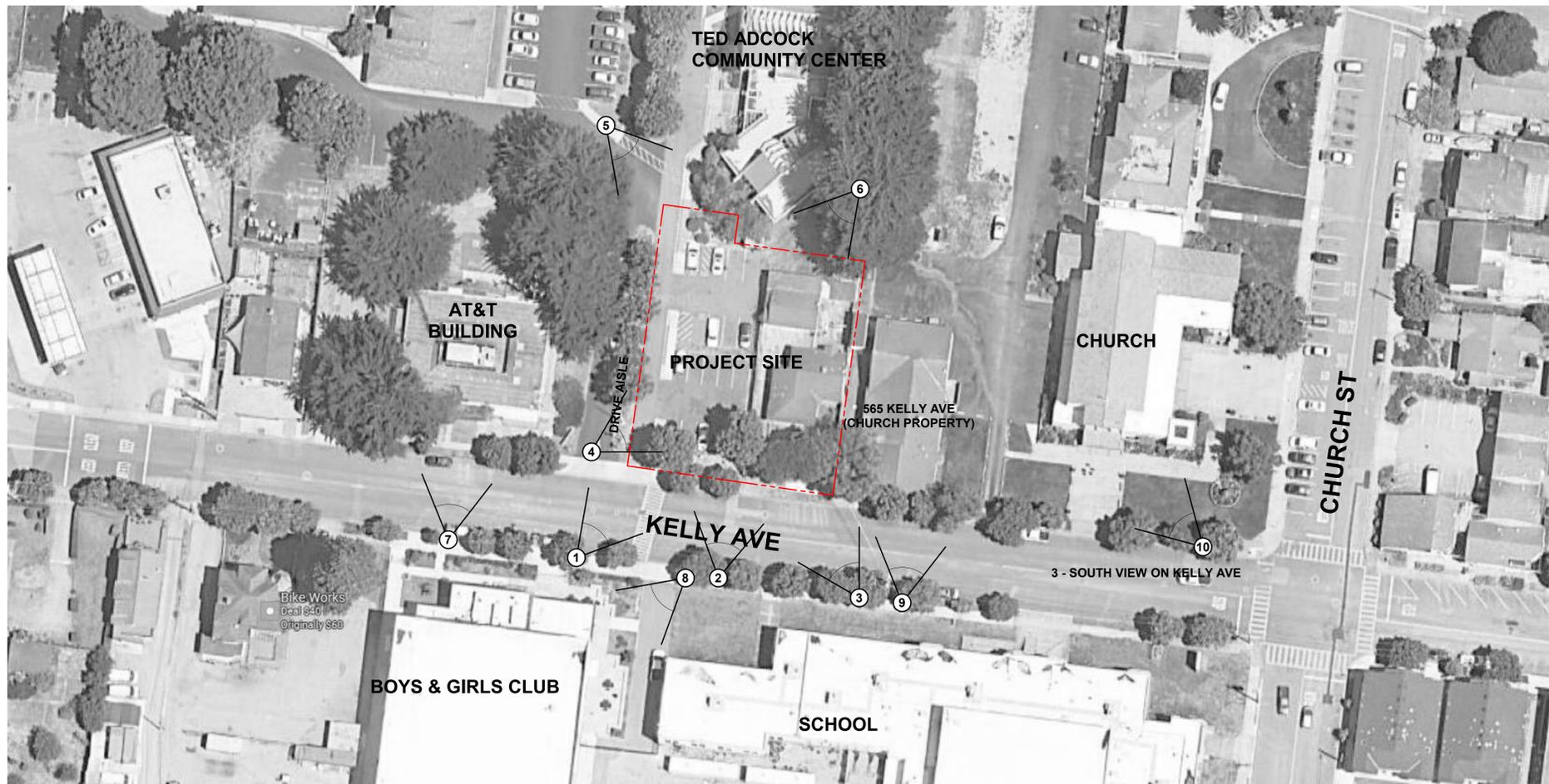
**3D VIEWS -
POTENTIAL MURALS**

JOB #: 2236

SCALE:

A0.3

DATE: 10/04/23



EXISTING SITE CONDITIONS



10 - CHURCH



8 - BOYS & GIRLS CLUB



6 - NORTH VIEW



2 - SOUTH VIEW ON KELLY AVE



9 - 565 KELLY AVE (CHURCH PROPERTY)



7 - AT&T BUILDING



5 - NORTHWEST VIEW ON DRIVE AISLE



1 - SOUTHWEST VIEW ON KELLY AVE



4 - SOUTHWEST VIEW ON DRIVE AISLE



3 - SOUTHEAST VIEW ON KELLY AVE

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555 KELLY AVE,
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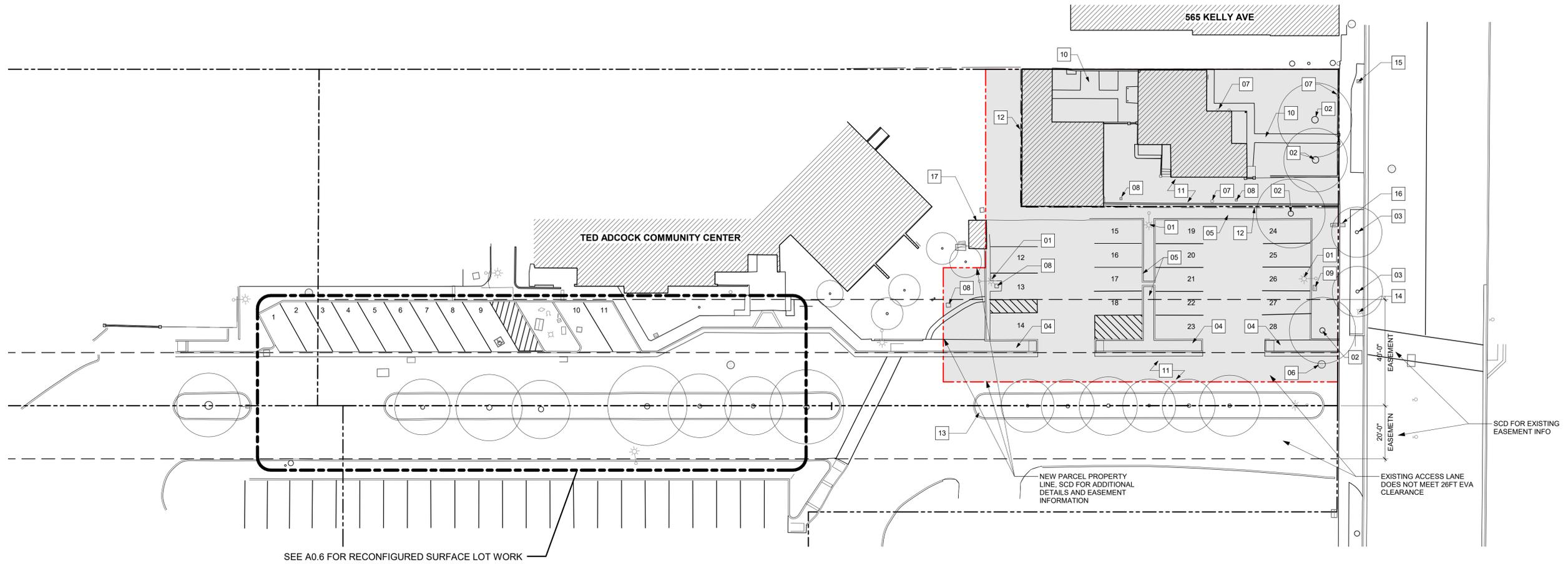
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

SITE PHOTOS

JOB #: 2236
SCALE: 1" = 40'-0"

A0.4

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1 EXISTING SITE PLAN
A0.5 SCALE: 1" = 20'-0"

LEGEND

- — — — — EXISTING PROPERTY LINE
- · · · · — ADJUSTED PROJECT PROPERTY LINE, SCD
- - - - - EASEMENT LINE, SCD
- NEW BUILDING SCOPE OF WORK AREA

KEYNOTES

- 01 (E) STREET LIGHT TO BE REMOVED
- 02 (E) TREE TO BE REMOVED, SLD
- 03 TREE TO BE PROTECTED, SLD
- 04 (E) SIDEWALK TO BE DEMOLISHED
- 05 (E) CONCRETE CURB & PLANTING STRIP TO BE DEMOLISHED
- 06 (E) MAN HOLE & SANITARY SEWER LINE TO BE RELOCATED, SCD
- 07 (E) CLEANOUT & SANITARY SEWER LINE TO BE REMOVED
- 08 (E) STORM WATER DROP INLET TO BE REMOVED
- 09 (E) ELECTRIC BOX TO BE REMOVED
- 10 (E) CONCRETE WALKWAY TO BE DEMOLISHED
- 11 (E) DRIVEWAY TO BE REMOVED
- 12 (E) FENCE TO BE REMOVED
- 13 (E) MEDIAN TO BE REMOVED
- 14 (E) FIRE HYDRANT TO BE REPLACED
- 15 (E) WATER METER TO BE REMOVED
- 16 (E) WATER METER & BFP TO BE REMOVED AND RELOCATED, SCD
- 17 (E) TRASH ENCLOSURE TO BE REMOVED

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

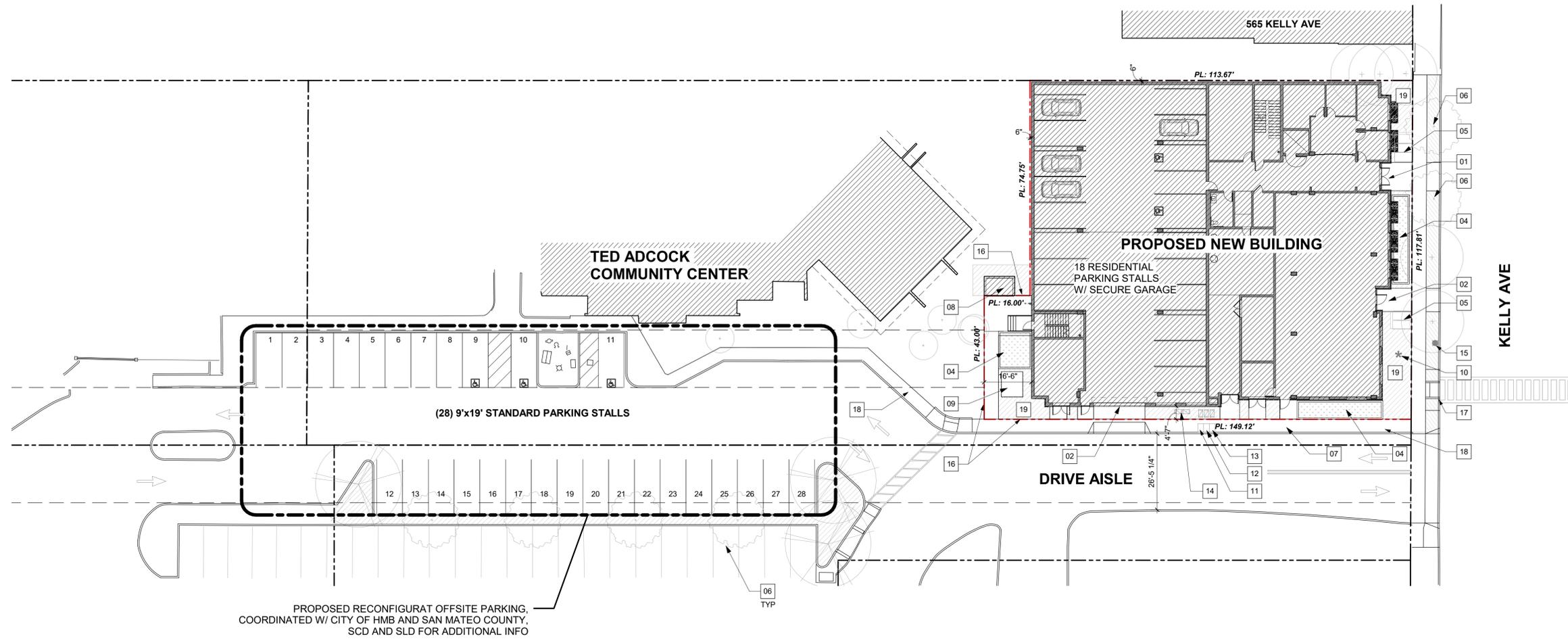
EXISTING SITE PLAN

JOB #: 2236
SCALE: As indicated

A0.5

DATE: 07/23/23

- CIVIL ENGINEERING
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SAN JOSE, CA 95110-017



1 ARCHITECTURAL SITE PLAN
A0.6 SCALE: 1" = 20'-0"

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

LEGEND

- EXISTING PROPERTY LINE
- ADJUSTED PROJECT PROPERTY LINE, SCD
- EASEMENT LINE

KEYNOTES

- 01 RESIDENTIAL MAIN ENTRY
- 02 ALAS RESOURCE CENTER MAIN ENTRY
- 03 GARAGE VEHICULAR ENTRY
- 04 BIORETENTION PLANTER, RECESSED IN GROUND, SCD
- 05 BIKE RACK, SLD
- 06 NEW TREE, SLD
- 07 NEW SIDEWALK, SLD
- 08 NEW AND RELOCATED TED ADCOCK TRASH ENCLOSURE SEE A3.5 FOR ADDITIONAL INFORMATION
- 09 NEW PAD MOUNTED TRANSFORMER PER PG&E STANDARDS
- 10 FREESTANDING FDC
- 11 BELOW GRADE WATER METER VAULT & ABOVE GRADE BFP, RESIDENTIAL, SCD
- 12 BELOW GRADE WATER METER VAULT & ABOVE GRADE BFP, COMMERCIAL, SCD
- 13 BELOW GRADE WATER METER VAULT & ABOVE GRADE BFP, IRRIGATION, SCD
- 14 FIRE WATER BFP W/ FDC
- 15 REPLACED FIRE HYDRANT, SCD
- 16 NEW PARCEL PROPERTY LINE, SCD FOR ADDITIONAL DETAILS AND EASEMENT INFO
- 17 NEW ADA CURB CUT AND CROSS WALK, SCD AND SLD
- 18 NEW STREET CURB & SIDEWALK, SCD
- 19 NEW LANDSCAPE AREA, SLD

SITE STATISTICS SUMMARY

SITE CALCULATIONS

555 KELLY	6,206 SF
TACC PARKING LOT	8,033 SF
TACC DRIVEWAY	2,156 SF
NEW TOTAL PARCEL LOT AREA	16,395 SF (0.38 ACRE)
TOTAL BUILDING AREA	49,785 SF
FAR	3.0
DENSITY	106 DU/A

UNIT MIX

STUDIO	6
1 BR	26
2 BR	8
TOTAL UNITS	40
RESIDENTIAL COMMON AMMENITY & OPEN SPACE (COURTYARD & COMMON ROOM)	3,243 SF (81 SF PER UNIT)

PARKING

TACC PARKING LOT BEING REMOVED	18 SPACES
TACC PARKING LOT RECONFIGURATION	28 SPACES (10 EXISTING SPACES + 18 NEW SPACES CREATED TO REPLACE THOSE BEING REMOVED)
NEW ON-SITE RESIDENTIAL PARKING IN GARAGE	18 SPACES (0.45 PER UNIT)

Project:

555 KELLY

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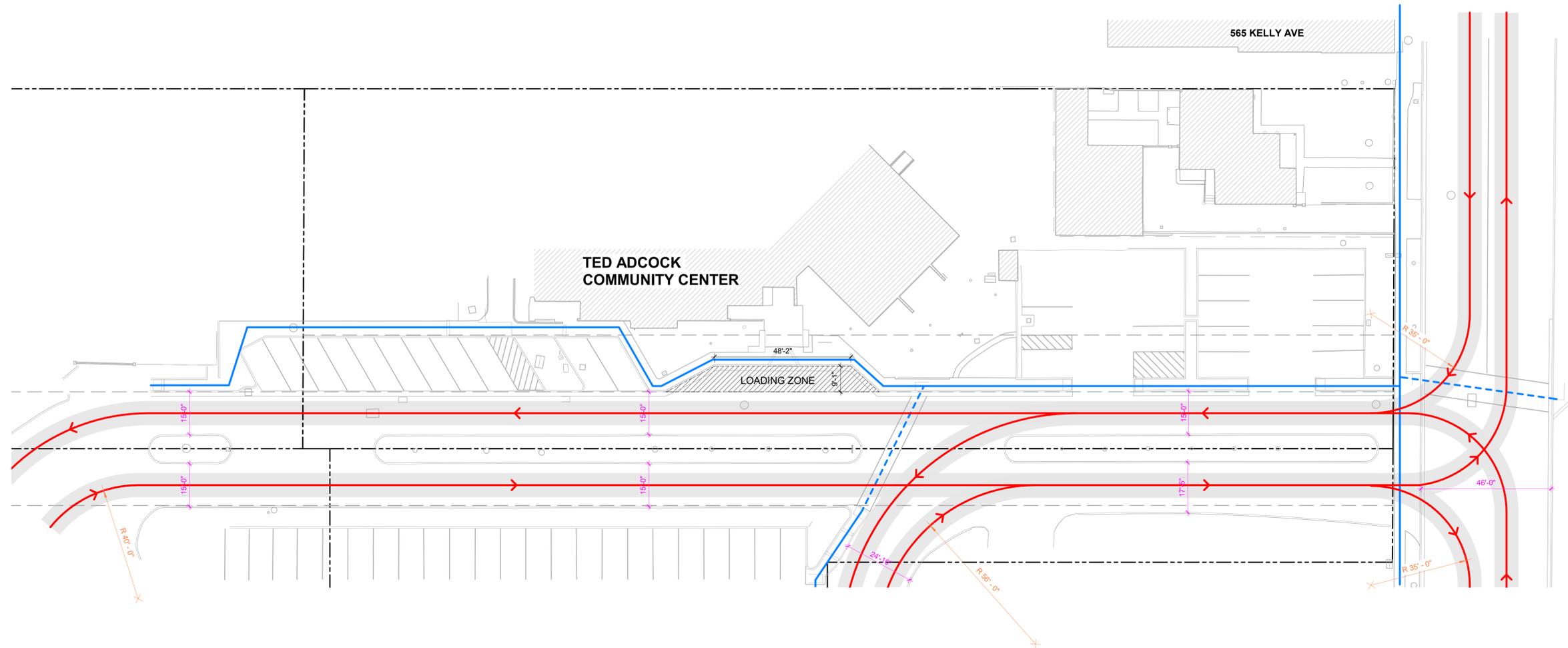
**ARCHITECTURAL SITE
PLAN**

JOB #: 2236
SCALE: As Indicated

A0.6

DATE: 07/24/23

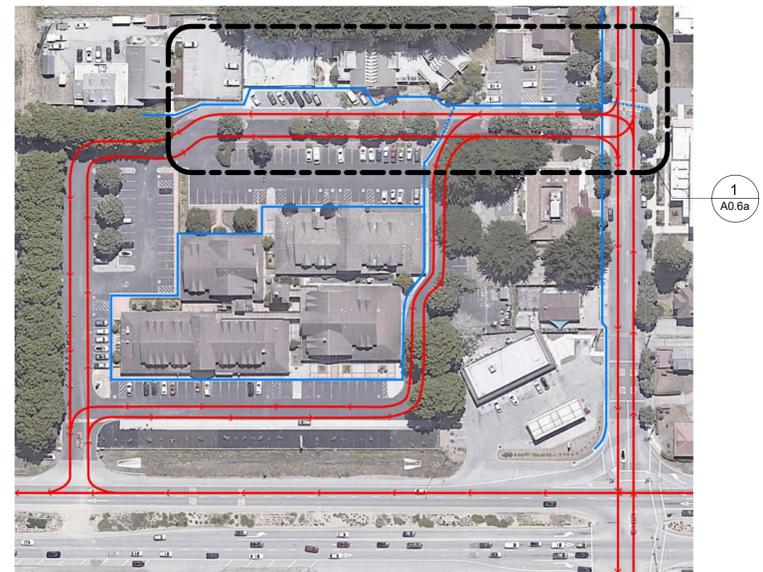
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1
A0.6a **SITE CIRCULATION DIAGRAM - EXISTING**
SCALE: 1" = 20'-0"

- LEGEND**
- PEDESTRIAN TRAFFIC (SIDEWALK)
 - - - PEDESTRIAN TRAFFIC (CROSSWALK)
 - ← VEHICULAR TRAFFIC W/ CENTERLINE, DIRECTION ARROW & 8'-6" VEHICLE WIDTH
 - XX'-XX" ROAD WIDTH
 - R XX'-XX" TURNING RADIUS @ CENTERLINE

OVERALL SITE CIRCULATION - EXISTING



ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:
mercy HOUSING

1256 MARKET STREET,
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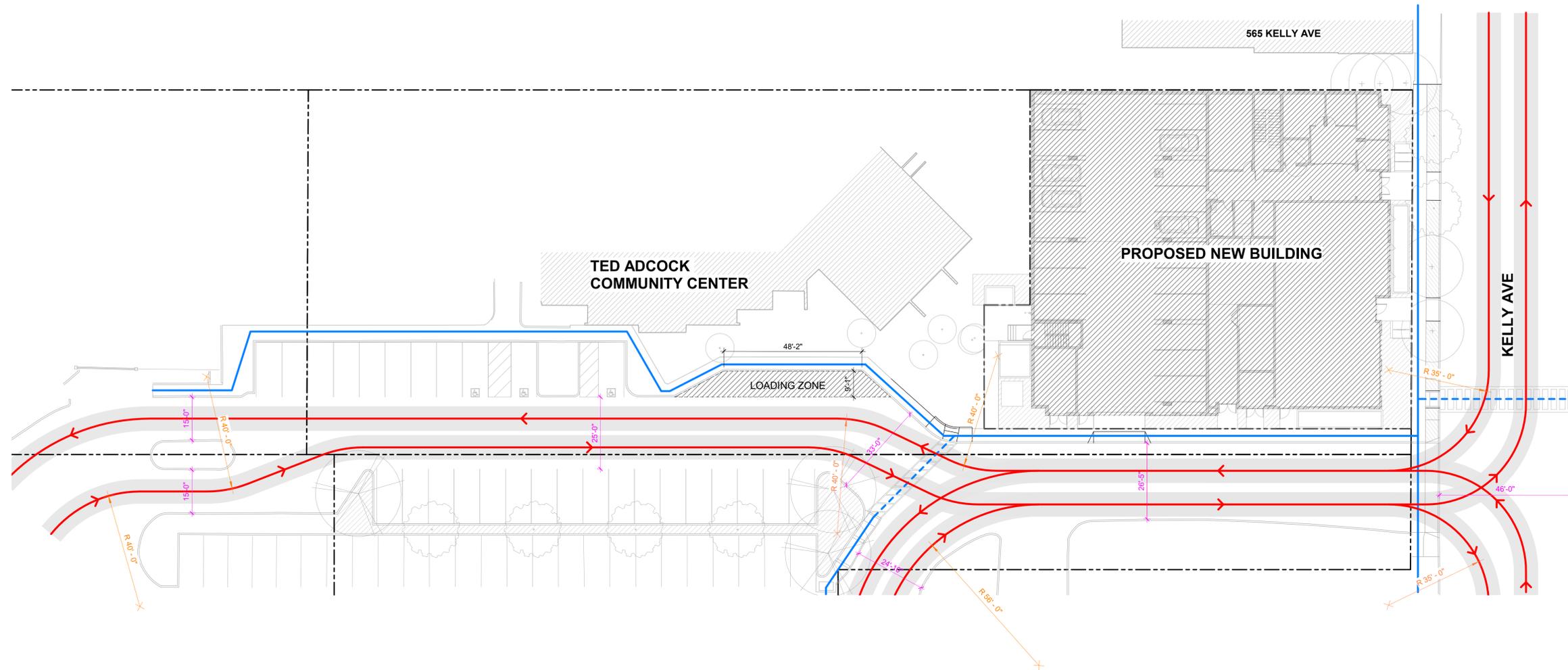
**SITE CIRCULATION
DIAGRAM - EXISTING**

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A0.6a

DATE: 12/18/23

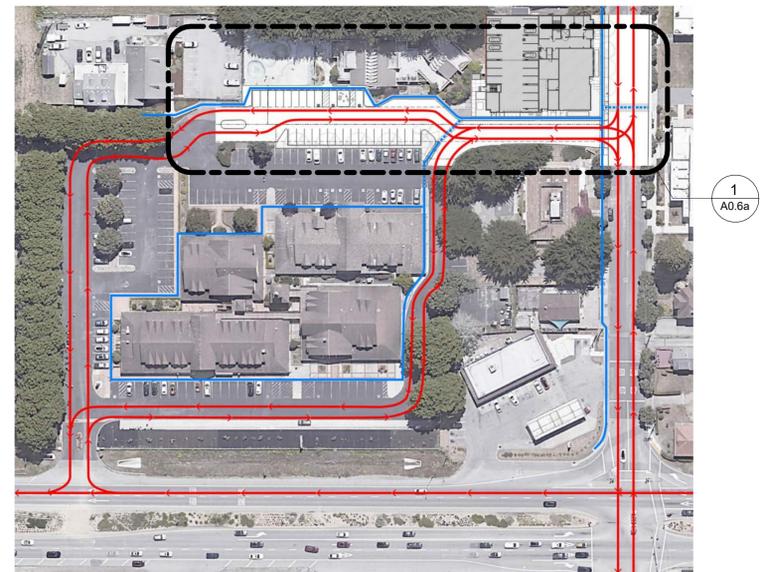
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- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



1 SITE CIRCULATION DIAGRAM
A0.6b SCALE: 1" = 20'-0"

- LEGEND**
- PEDESTRIAN TRAFFIC (SIDEWALK)
 - - - PEDESTRIAN TRAFFIC (CROSSWALK)
 - VEHICULAR TRAFFIC W/ CENTERLINE, DIRECTION ARROW & 6'-6" VEHICLE WIDTH
 - XX'-XX" ROAD WIDTH
 - R XX'-XX" TURNING RADIUS @ CENTERLINE

OVERALL SITE CIRCULATION



ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**SITE CIRCULATION
DIAGRAM**

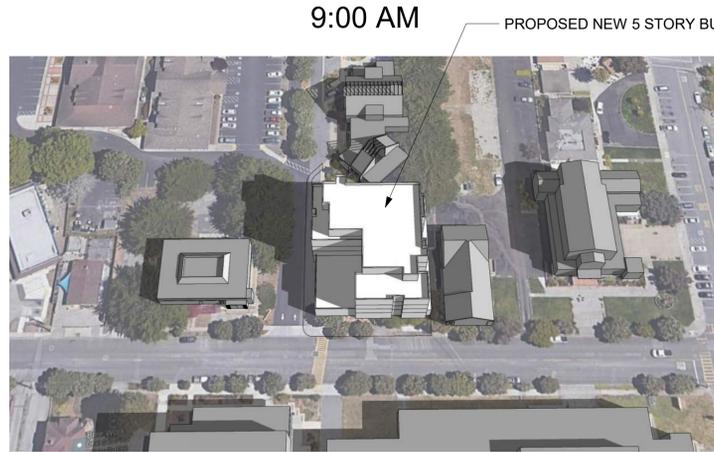
JOB #: 2236
SCALE: 1" = 20'-0"

A0.6b

DATE: 12/12/23

SHADOW STUDY

MARCH, 21



9:00 AM

PROPOSED NEW 5 STORY BUILDING, TYP

12:00 PM



3:00 PM



JUNE, 21



SEPTEMBER, 21



DECEMBER, 21



- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
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SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

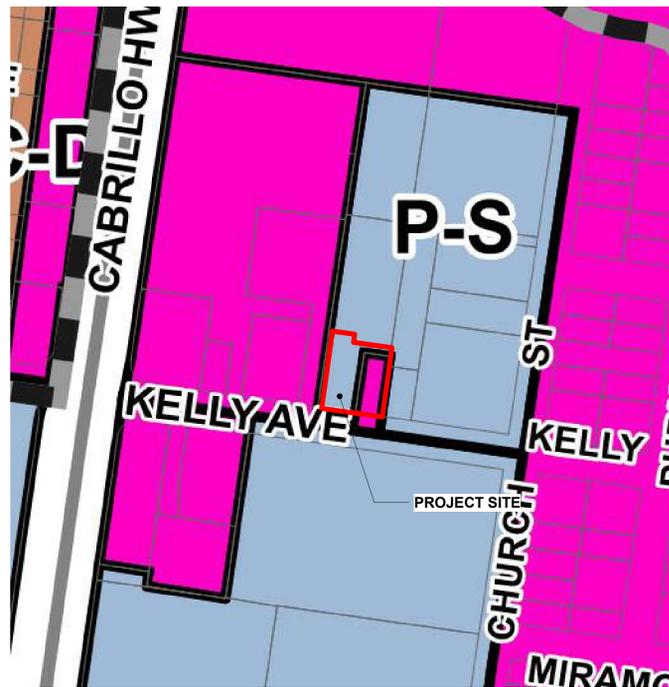
SHADOW STUDY

JOB #: 2236
SCALE:

A0.7

DATE: 08/02/23

HALF MOON BAY ZONING MAP



ZONING MAP OVERLAY



ZONING CODE SUMMARY

Site Data	Site as proposed in City RFQ			Expanded site as proposed by development team	
Project Address	555 Kelly Avenue	TACC Parking Lot	TACC Driveway	Total Site Area	
APN	056-150-200	056-150-220	056-150-220	Square Feet	Acres
Site Area	6,206	8,033	2,156	16,395	0.38

ZONING STANDARDS COMPLIANCE MATRIX

Zoning Standards	Current Zoning Standards Required					With a rezone to Workforce Housing Overlay (WHO) this project is entitled to a super density bonus as a 100% affordable to lower-income households (Govt. Code section 65915(b)(1)(G) and located within 1/2 mile of a "major transit stop." Govt. Code section 65915(o)(3) and (5); Pub. Res. Code 21155(b); the proposed project is entitled to unlimited density (Govt. Code section 65915(f)(3)(D)(ii)); three stories above what would otherwise be the height limit (Govt. Code section 65915 (d)(2)(D)); four incentives/concessions (id.); and no minimum parking requirements (Govt. Code section 65915(p)(3)).
Zoning Category	Commercial Downtown (C-D)	Public Service (P-S)	Anticipated Zoning Standard: Public Service (P-S) with Workforce Housing Overlay (WHO)	Proposed	Standard Met or Potential Waiver, Concession or other State Density Bonus Exemption	
Residential development standards Sec. 18.07.030	Structures with three or more units shall meet the R-3 district standards. For mixed use projects, residential development standards may be modified by the planning commission as a part of any discretionary review.	No standards for residential uses	General standards as stated in the Local Coastal Land Use Plan (2020) Chapter 2	Standards that generally follow density bonus state laws with 100% affordable housing	Standards for density bonus 100% affordable housing are met	
Lot Coverage	Section 18.07.040: No Limit for multifamily housing	No Limit	No Limit	83.94%	Standard is met	
FAR	No Limit for MF over 3 units	No Limit	No Limit	3.00	Standard is met	
Density Section 18.06.030 Table C	Minimum density is 15 units an acre 6 units. No maximum noted.	No standards for residential uses	Unlimited density per Govt. Code section 65915(f)(3)(D)(ii)	106 units/acre	Standard is met per rezone density bonus regulations	
Height	Section 18.07.040: 36' and 3 stories	Section 18.09.030: 50 or 4 stories	Three stories above what would otherwise be the height limit (Govt. Code section 65915 (d)(2)(D)) or 6 stories	5 stories and 59' to top of parapet	Standard is met per rezone density bonus regulations	
Setbacks						
Front	Section 18.07.040: No minimum setback or 5' when bordering a residential parcel	Section 18.09.050: 20' minimum setback	5'-10' per City RFQ guidelines	7'-9"	Waiver to meet P-S standard	
Side	Section 18.07.040: No minimum setback or 5' when bordering a residential parcel	Section 18.09.060: No minimum setback or 5' when bordering a residential parcel	No minimum setback per City RFQ guidelines	6"	Standard is met	
Rear	Section 18.07.040: No minimum setback or 5' when bordering a residential parcel	Section 18.09.070: No minimum setback or 5' when bordering a residential parcel	No minimum setback per City RFQ guidelines	6"	Standard is met	
Parking						
Residential Parking per RFQ development Standards & Sec. 18.36.040 Table A	One parking space per studio and one-bedroom unit; one and one-half parking spaces for units with two or more bedrooms; plus one guest space for each four units, with a minimum of one guest space. Required: approximately 43 spaces Mixed-use shared-use reduction and/or guest parking waiver subject to the requirements of Chapter 18.07.	No standards for residential uses	No minimum parking requirements per Govt. Code section 65915(p)(3)	18 spaces or approximately 0.4 to 0.5 per unit	Standard is met per rezone density bonus regulations	
Commercial Parking per RFQ development Standards & Sec. 18.36.040 Table A	1 space per 300 SF Approximately 3,000 SF of community spaces or 10 spaces	1 space per 250 SF Approximately 3,000 SF of community spaces or 12 spaces	No minimum parking requirements per Govt. Code section 65915(p)(3)	No commercial parking provided.	Standard is met per rezone density bonus regulations	
Bike Parking Sec. 18.36.070	1 long term space per 3 units or 14 spaces			14 spaces	Standard is met	
	4 short term spaces			4 spaces	Standard is met	
Open Space & Common Areas						
Open Space & Common Areas	18.060.40 Per R3 residential standards 15% of the residential floor area per unit. Total residential floor area 27,144 SFx15%=4,071.6 SF total open space required.	No standards for residential uses	Per City RFQ guidelines a shared common area recommended but not required	2,351 SF Common Courtyard or 8.6% of total residential floor area or 58.7 SF/unit	Waiver to meet R3 open space standards standards	
Other Standards						
Storage Space, Section 18.07.030	For each residential unit in new multifamily or mixed-use development, a minimum of sixty cubic feet of enclosed, lockable storage space shall be provided outside of the unit	No standards for residential uses	As stated by Planning flexibility in to what extent and how the 60 cubic feet of storage is provided	48 storage closets with 100 cubic feet each is provided	Standard is met	

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BKF ENGINEERS
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333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:
555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

ZONING CODE SUMMARY

JOB #: 2236
SCALE: 1" = 40'-0"

A0.8

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
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LEGEND

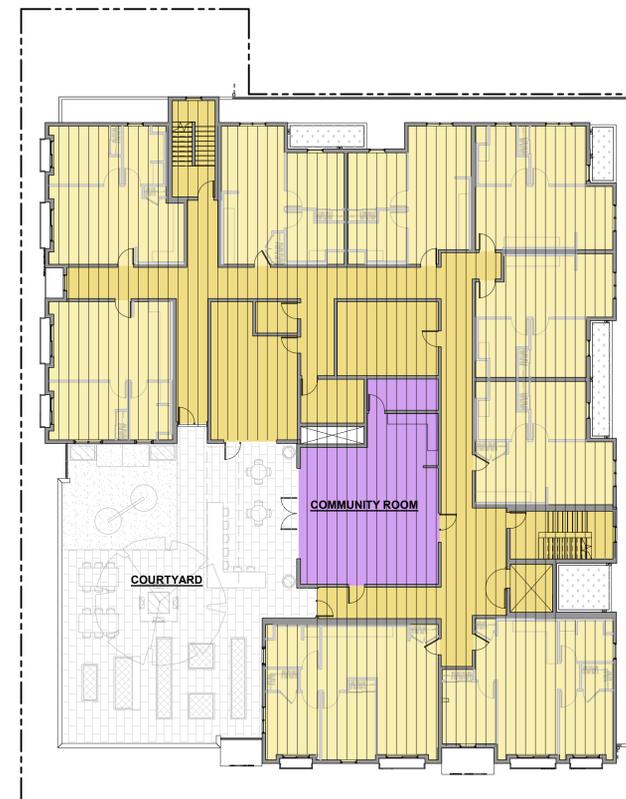
	TYPE 1A CONSTRUCTION		R-2 OCCUPANCY DWELLING UNITS
	TYPE 5A CONSTRUCTION		R-2 OCCUPANCY CIRCULATION, UTILITY & OTHER SPACES
	A-3 OCCUPANCY COMMUNITY ROOM		S-2 OCCUPANCY RESIDENTIAL GARAGE
	B OCCUPANCY RESIDENTIAL MANAGEMENT OFFICE		TBD FUTURE TI SPACE

GENERAL NOTES

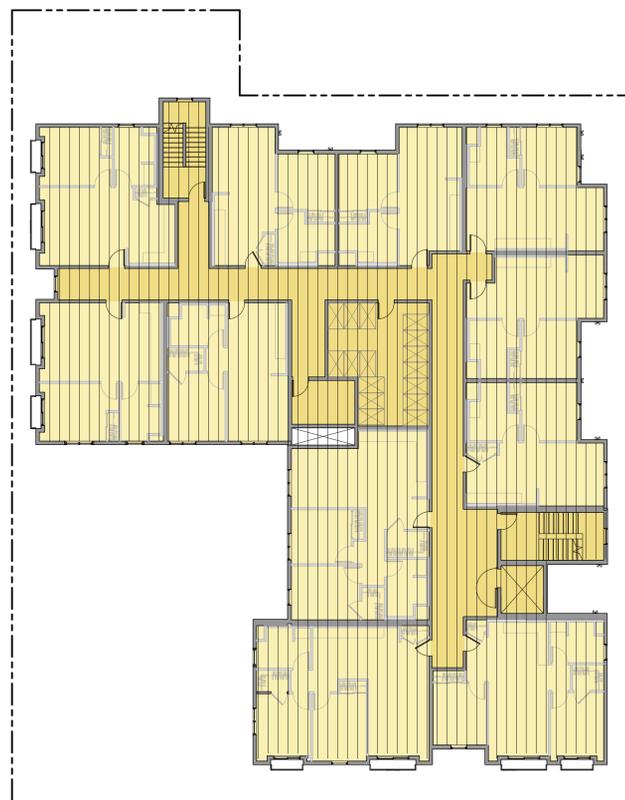
A COMPLETE BUILDING CODE SUMMARY ANALYSIS INCLUDING AREA CALCULATIONS, EXIT WIDTHS, AND ADDITIONAL RATED SEPARATION DETAILS WILL BE PROVIDED WITH THE BUILDING PERMIT SUBMITTAL.



4 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM
A0.9 5TH FLOOR
SCALE: 1/16" = 1'-0"



2 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM
A0.9 2ND FLOOR
SCALE: 1/16" = 1'-0"



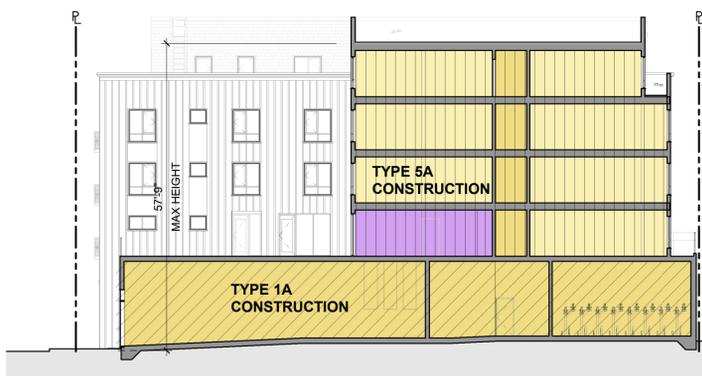
3 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM
A0.9 3RD FLOOR (4TH FLOOR SIM)
SCALE: 1/16" = 1'-0"



1 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM
A0.9 1ST FLOOR
SCALE: 1/16" = 1'-0"

GENERAL			
THIS BUILDING IS A 4 (TYPE 5A CONSTRUCTION TYPE) OVER 1 (TYPE 1A CONSTRUCTION TYPE). THE GROUND FLOOR IS CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS (CONCRETE AND LIGHT GAUGE METAL). FLOORS 2 THROUGH 5 ARE FRAMED IN WOOD IN TYPICAL WESTERN PLATFORM FRAMING. THE BUILDING IS FULLY FIRE SPRINKLERED AND INCLUDES A SEPARATE FIRE WATER BACKFLOW PREVENTOR.			
APPLICABLE CODES			
ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY ORDINANCES (IF CONFLICTS OCCUR, THE MORE STRINGENT REGULATION GOVERNS), REQUIREMENTS AS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS, AND THE RULES AND REGULATIONS OF THE UTILITY COMPANIES SERVING THIS PROJECT.			
2022 EDITION OF THE CALIFORNIA BUILDING CONSTRUCTION CODE INCLUDES AMENDMENTS OF THE CA BUILDING STANDARDS CODE (TITLE 24)			
PART 2 - CALIFORNIA BUILDING CODE (CBC)	2022 EDITION		
PART 3 - CALIFORNIA ELECTRICAL CODE	2022 EDITION		
PART 4 - CALIFORNIA MECHANICAL CODE	2022 EDITION		
PART 5 - CALIFORNIA PLUMBING CODE	2022 EDITION		
PART 6 - CALIFORNIA ENERGY CODE	2022 EDITION		
PART 7 - CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE	2022 EDITION		
PART 9 - CALIFORNIA FIRE CODE	2022 EDITION		
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)	2022 EDITION		
CITY OF HALF MOON BAY MUNICIPAL CODE ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS & REGULATIONS			

CONSTRUCTION CLASSIFICATION			
TYPE 1A	OCCUPANCY TYPE TWO STORES ABOVE GRADE WHICH INCLUDE PARKING (S-2), COMMON AREAS (B & A-3) & DWELLING UNITS (R-2)	CONSTRUCTION CLASSIFICATION TYPE 1A (CBC TABLE 503)	FIRE SPRINKLER REQUIREMENTS FIRE SPRINKLERS PER NFPA-13 REQUIRED
S-2, S-1, B		1st FLOOR PROVIDES NON-SEPARATED OCCUPANCIES PER PROVISIONS OF CBC SECTIONS 508.3 & 510. PER SECTION 508.3 THE TYPE 1A CONSTRUCTION IS THE PORTION OF THE BUILDING WHICH COMPLIES WITH NON-SEPARATED OCCUPANCIES AND SECTION 510 IS THE BASIS FOR HAVING THESE FLOORS WITH UNLIMITED AREA WITHOUT NEEDING OCCUPANCY SEPARATION.	EXTERIOR WALLS 3 HOUR BEARING WALLS 1 HOUR NON BEARING WALLS
TYPE 5A	OCCUPANCY TYPE 40 UNIT APARTMENT BUILDING, 4 STORES ABOVE PODIUM AND 5 STORES ABOVE GRADE	CONSTRUCTION CLASSIFICATION TYPE 5A (CBC TABLE 503)	FIRE SPRINKLER REQUIREMENTS FIRE SPRINKLERS PER NFPA-13 REQUIRED
R-2, B, A-3		SEPARATED OCCUPANCIES PER PROVISIONS OF CBC SECTIONS 508.4 & 509.2	EXTERIOR WALLS 1 HOUR WALLS THROUGHOUT



5 CONSTRUCTION TYPE/OCCUPANCY DIAGRAM
A0.9 SECTION
SCALE: 1/16" = 1'-0"

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

BUILDING CODE SUMMARY

JOB #: 2236

SCALE: As indicated

A0.9

DATE: 08/02/23

GENERAL NOTE:

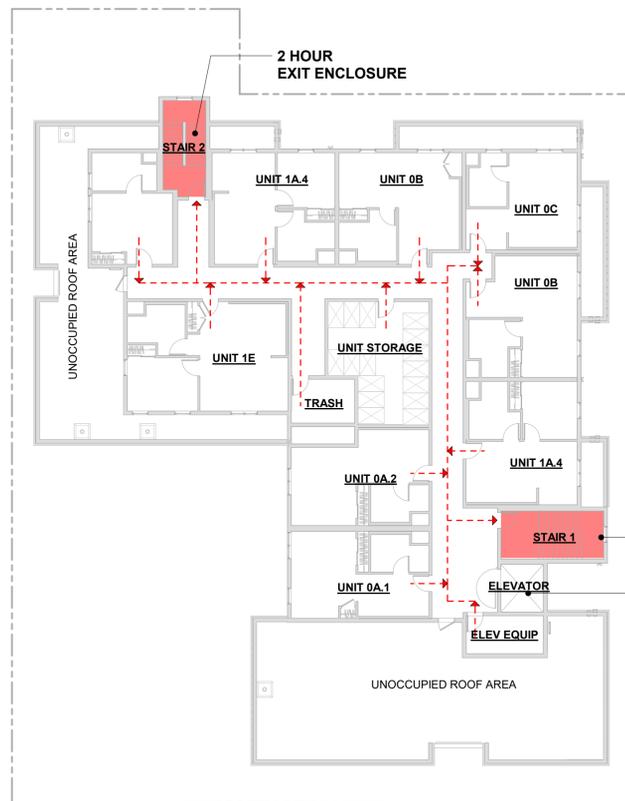
A COMPLETE BUILDING CODE SUMMARY ANALYSIS INCLUDING AREA CALCULATIONS, EXIT WIDTHS, AND ADDITIONAL RATED SEPARATION DETAILS WILL BE PROVIDED WITH THE BUILDING PERMIT SUBMITTAL.

ACCESSIBILITY CODE SUMMARY

GENERAL ACCESSIBILITY REQUIREMENTS	ANTICIPATED FUNDING SOURCES
<p>GENERAL ACCESSIBILITY REQUIREMENTS</p> <p>ANTICIPATED FUNDING SOURCES: BASED ON FUNDING AND IN ADDITION TO THE CODES NOTED IN THE CODE SUMMARY, THIS PROJECT WILL BE COVERED AS FOLLOWS: FEDERAL - FAIR HOUSING ACT (FHA); AMERICANS WITH DISABILITIES ACT (TITLE II) (ADA) - 2010 ADA STANDARDS (AGMS) - PART 36 - ADAAG - SECTION 8 - STATE - TITLE 24, CALIFORNIA BUILDING CODES - TITLE 4, DIV 17, CHAPTER 1 CALIFORNIA TAX CREDIT ALLOCATION COMMISSION (CALC) REGULATIONS</p> <p>TOD, COAC, FUNDING REQUIREMENTS (ITEM #): ALL NEW CONSTRUCTION PROJECTS SHALL ADHERE TO THE PROVISIONS OF CALIFORNIA BUILDING CODE (CBC) CHAPTER 11(B) REGARDING ACCESSIBILITY TO PRIVATELY OWNED HOUSING MADE AVAILABLE FOR PUBLIC USE IN ALL RESPECTS EXCEPT AS FOLLOWS: INSTEAD OF THE MINIMUM REQUIREMENTS ESTABLISHED IN 11B 233.1.1 AND 11B 233.1.3, ALL NEW CONSTRUCTION PROJECTS MUST PROVIDE A MINIMUM OF FIFTEEN PERCENT (15%) OF THE LOW INCOME UNITS WITH MOBILITY FEATURES, AS DEFINED IN CBC 11B 809.2 THROUGH 11B 809.4 AND A MINIMUM OF TEN PERCENT (10%) OF THE LOW INCOME UNITS WITH COMMUNICATIONS FEATURES, AS DEFINED IN CBC 11B 809.5. THESE UNITS SHALL, TO THE MAXIMUM EXTENT FEASIBLE AND SUBJECT TO REASONABLE HEALTH AND SAFETY REQUIREMENTS, BE DISTRIBUTED THROUGHOUT THE PROJECT CONSISTENT WITH 24 CFR SECTION 8.26.</p> <p>ENHANCED ACCESSIBILITY FUNDING: THIS PROJECT IS NOT PURSUING THE ENHANCED ACCESSIBILITY TCAC FUNDING REGULATIONS SECTION 1025(b)(8).</p> <p>ADDITIONAL ACCESSIBILITY MEASURES: IN ADDITION TO THE GRAB BARS BEING INSTALLED WITHIN THE MOBILITY UNITS, GRAB BARS MAY BE INSTALLED WITHIN ADDITIONAL UNITS.</p>	<p>EXTERIOR ACCESSIBILITY</p> <p>PUBLIC STREET ACCESS: AN ACCESSIBLE ROUTE ALONG THE PUBLIC SIDEWALK, FROM PUBLIC TRANSPORTATION, STREET PARKING AND PUBLIC GARAGE PARKING TO THE BUILDING'S MAIN ENTRANCES ON FLORA VISTA AVENUE AND TO SECONDARY ACCESS POINT ON EL CAMINO REAL. THE SIDEWALKS FRONTING THE BUILDING WILL BE REFINISHED AND INCLUDE SLOPES WHICH ARE UNDER 5%.</p> <p>WALKWAYS & SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:</p> <ul style="list-style-type: none"> A. CONTINUOUSLY ACCESSIBLE B. MAX. 12" CHANGE IN ELEVATION OR PROVIDE CURB RAMPS COMPLYING WITH CBC 11B C. MIN. 48" WIDE, OR AS REQUIRED BY THE AHJ <p>COMMON ON SITE OPEN SPACES: AN ACCESSIBLE EXTERIOR COURTYARD IS PROVIDED AT GRADE OF THE BUILDING. THE GROUND OF THIS AREA WILL BE FLAT AND INCLUDE PAVERS AS WELL AS AN ADA COMPATIBLE CHILDRENS PLAYGROUND. IN ADDITION AN ABOVE GRADE EXTERIOR COURTYARD IS PROVIDED WHICH IS ACCESSIBLE VIA AN ELEVATOR. BENCHES AND THE COURTYARD ELEMENTS WILL INCLUDE ACCESSIBLE FEATURES COMPLYING WITH CBC CHAPTER 11B.</p> <p>ACCESSIBLE PARKING REQUIREMENTS: THE NUMBER OF ACCESSIBLE STALLS IS BASED ON TABLE 11B-208.2. TOTAL STALLS PROVIDED WITHIN THE GARAGE ARE 68. 3 ACCESSIBLE STALLS ARE PROVIDED WITHIN THE GARAGE WITH ONE THAN MUST BE VAN ACCESSIBLE. 15 SURFACE STALLS ARE PROVIDED WITHIN SURFACE PARKING LOT WITH 1 ACCESSIBLE STALL, WHICH IS VAN ACCESSIBLE.</p> <p>AN ACCESSIBLE PATH OF TRAVEL IS PROVIDED FROM ADAPTABLE DWELLING UNITS PRIMARY ENTRY DOOR TO THE VEHICULAR ENTRANCE AT THE GARAGE.</p> <p>ELECTRIC VEHICLES: 10% OF PARKING STALLS PROVIDED (OFF STREET) WILL INCLUDE THE CAPABILITY FOR ELECTRIC VEHICLE CHARGING. A TOTAL OF 7 VAN ACCESSIBLE STALL, WILL INCLUDE FUTURE ELECTRIC VEHICLE CHARGING EQUIPMENT IN COMPLIANCE WITH EXCEPTION 2 IN SECTION 11B 228.3.2.</p>
<p>BUILDING ACCESSIBILITY</p> <p>EXITING: AN ACCESSIBLE MEANS OF EGRESS AT THE GROUND FLOOR ARE PROVIDED ONTO THE PUBLIC STREETS. THE UPPER FLOORS INCLUDE STAIRS WITH TWO HOUR RATED ENCLOSURES AND COMPLYING WITH ACCESSIBILITY STANDARDS OF CBC CHAPTER 10 AND CHAPTER 11. THE BUILDING ALSO WILL INCLUDE A HORIZONTAL EXIT AT FLOOR 5 WITH TWO WAY COMMUNICATION ON EITHER SIDE. A HORIZONTAL EXIT IS NOT REQUIRED AT THE LEVEL OF EXIT DISCHARGE.</p> <p>TRASH VESTIBULE ROOMS: ACCESSIBLE TRASH VESTIBULE ROOMS ARE PROVIDED WITHIN BOTH THE NEW BUILDING AND THE EXISTING BUILDING. THESE ROOMS ARE PROVIDED WITH THE REQUIRED MANEUVERING CLEARANCES. WITHIN THE NEW BUILDING THE TRASH VESTIBULES ARE SERVED BY CHUTES AND THROUGH WALL ACCESSIBLE DOORS (SEE AT 16) WHILE IN THE EXISTING BUILDING THE TRASH DISPOSAL OCCURS FROM AN ABOVE GRADE PLATFORM AND THROUGH WALL ACCESSIBLE DOORS (SEE AT 7).</p> <p>BIKE STORAGE ROOM: THE BIKE STORAGE ROOM IS ACCESSIBLE FROM STREET LEVEL AND ON THE GROUND FLOOR AND IS ACCESSIBLE TO AN INDIVIDUAL IN A WHEELCHAIR. THIS BUILDING WILL INCLUDE A FRONT DESK CUSTOMER THAT CAN ASSIST WITH BIKE STORAGE WITHIN THE BIKE ROOM.</p> <p>UNITS: 40 UNITS COVERED MULTIFAMILY DWELLING UNITS WITH ELEVATOR ACCESS TO THEIR PRIMARY ENTRANCES. ALL DWELLING UNITS SHALL BE PROVIDED WITH ADAPTABLE FEATURES IN ACCORDANCE WITH CBC SECTION 11B-809.6 THROUGH SECTION 11B-809.12. 15% OF THE UNITS WILL FOLLOW CBC 11B 809.2 THROUGH 11B 809.4 AND PROVIDING MOBILITY FEATURES. SEE FLOOR PLANS, FOR DISPERSION OF UNITS BY UNIT TYPE AND LOCATION.</p> <p>10% UNITS (12 UNITS) SHALL PROVIDE COMMUNICATION FEATURES COMPLYING WITH CBC 11B 809.5 (PER ADA 233.3.1.2) ALSO REFERRED TO AS "HEARING/VISUALLY IMPAIRED" UNITS. SEE FLOOR PLANS, FOR DISPERSION OF UNITS.</p> <p>AT MOBILITY UNITS, THE KITCHEN UNIT COUNTERTOPS IS TO BE INSTALLED AT 34" AND OF SOLID SURFACE NOT REQUIRING REPOSITIONABILITY PER 11B 804.3.2. COVERED UNITS TO INCLUDE SOLID SURFACE COUNTERTOPS AT 30" PER 11B 804.1. COVERED UNITS ARE TO BE ADAPTABLE PER CHAPTER 11A DIVISION IV WITH BLOCKING REINFORCING FOR FUTURE GRAB BARS INSTALLATION AND REMOVABLE BASE CABINETS IN THE KITCHEN AND BATHS.</p> <p>MANUAL AND AUTOMATIC FIRE ALARM SYSTEM THROUGHOUT. ALL RESIDENTIAL UNITS PRE-WIRED FOR HEARING IMPAIRED OCCUPANTS.</p> <p>ALL DWELLING UNITS EQUIPPED WITH 1 HORN IN THE LIVING AREA WITH CAPABILITY TO SUPPORT VISUAL ALARM NOTIFICATION APPLIANCE.</p> <p>ALL BEDROOM AND OR SLEEPING AREAS SHALL BE PRE-WIRED WITH "BACK BOXES" FOR FUTURE INCLUSION OF VISUAL NOTIFICATION APPLIANCE.</p> <p>ACCESS CONTROL TO UNITS TO INCLUDE A TWO WAY COMMUNICATION ENTRY SYSTEM AND TTY COMMUNICATION SYSTEM CONNECTING TO THE HEARING IMPAIRED UNITS PER CBC 11B 708 & 708.4.</p> <p>COMMON AREAS: COMMON AREAS INCLUDING LOBBIES, OFFICES, COMMUNITY ROOM, BIKE PARKING ROOM, LAUNDRY ROOM, TRASH ROOMS TO COMPLY WITH STANDARDS IN CBC CHAPTER 11B.</p>	

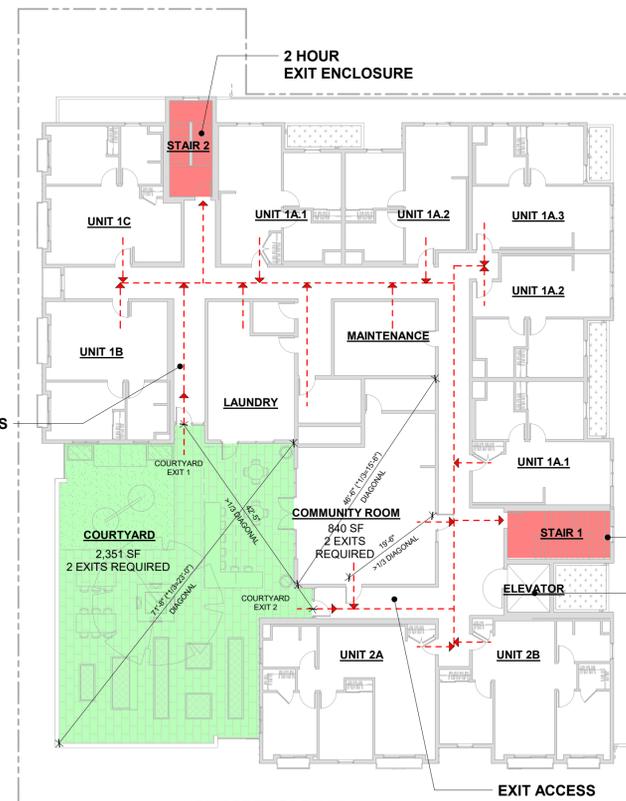
LEGEND

---> EXIT PATH



4 EGRESS PLAN - 5TH FLOOR

SCALE: 1/16" = 1'-0"



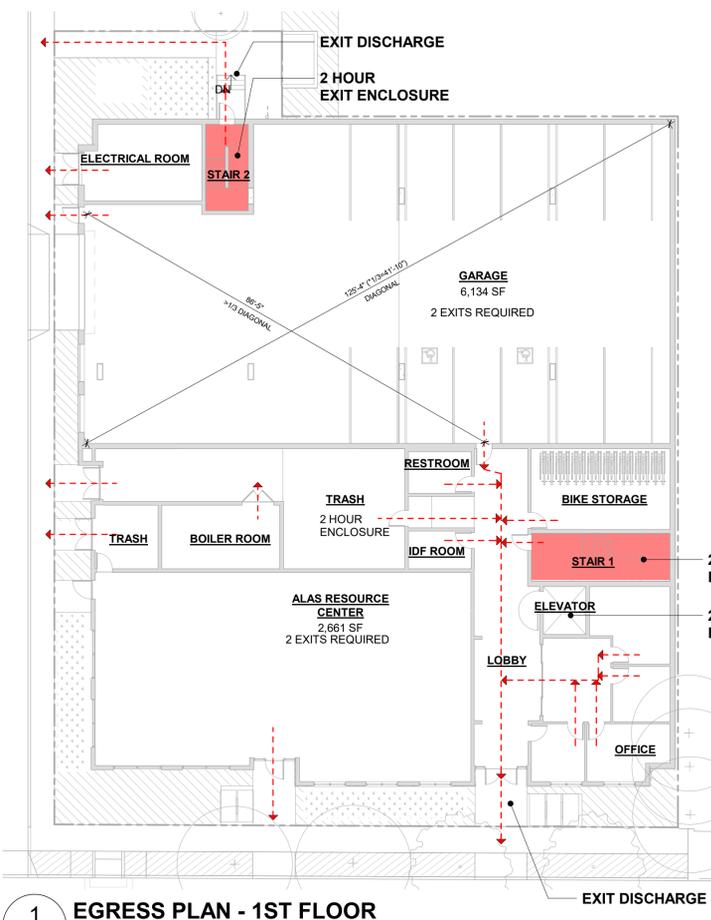
2 EGRESS PLAN - 2ND FLOOR

SCALE: 1/16" = 1'-0"



3 EGRESS PLAN - 3RD FLOOR (4TH FLOOR SIM)

SCALE: 1/16" = 1'-0"



1 EGRESS PLAN - 1ST FLOOR

SCALE: 1/16" = 1'-0"

CONSTRUCTION FIRE-RESISTIVE REQUIREMENTS	
TYPE 5A CONSTRUCTION PER CBC 602.3	TYPE 5A CONSTRUCTION PER CBC 602.5. TYPE 5 CONSTRUCTION IS THAT TYPE OF CONSTRUCTION IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS ARE OF ANY MATERIALS PERMITTED BY THIS CODE.
EXTERIOR BEARING WALLS PER CBC TABLE 601	1-HR RATED CONSTRUCTION AT EXTERIOR BEARING LOCATIONS. ROOF FRAMING MIRRORS THE FLOOR FRAMING AND CONSISTS OF A TIA SYSTEM.
PRIMARY STRUCTURAL FRAME PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INDIVIDUAL PRIMARY STRUCTURAL MEMBERS THAT REQUIRES FIRE RESISTIVE PROTECTION	1 AND 2 HOUR RATED CONSTRUCTION PER CBC TABLE 601 AND CBC 704.
TYPICAL FLOOR CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
ROOF CONSTRUCTION PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR BEARING WALLS PER CBC TABLE 601	1-HR RATED CONSTRUCTION
INTERIOR NON-BEARING WALLS PER CBC TABLE 601	NON-RATED
WALLS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.2	1-HR RATED FIRE PARTITION [PER CBC 708]
FLOORS SEPARATING DWELLING UNITS WITHIN R-2 PER CBC 420.3	1-HR RATED HORIZONTAL ASSEMBLY [PER CBC 711]
HORIZONTAL BUILDING SEPARATION PER CBC 510	3-HR RATED HORIZONTAL SEPARATION [PER CBC 510]
FIRE WALL BUILDING SEPARATION FIRE WALL PER CBC 706	3-HR RATED VERTICAL SEPARATION [PER CBC TABLE 706.4]
HORIZONTAL EXIT WALL PER CBC 1025	2-HR RATED HORIZONTAL SEPARATION [PER CBC TABLE 706.4]
INTERIOR EXIT ENCLOSURES PER 1022.1	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707.3.1, 711]
EXIT PASSAGEWAYS PER CBC 1023.1	1-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707.3.4, 711]
CORRIDORS PER CBC 1018	1-HR RATED FIRE PARTITION [CBC 708] - BUILDING SPRINKLER SYSTEM REQUIRED
SHAFT ENCLOSURES PER CBC 713	2-HR RATED FIRE BARRIER OR HORIZONTAL ASSEMBLY [CBC 707.3.1, 711]
ELEVATOR	2-HR RATED FIRE BARRIER [CBC 707.3.1]
OCCUPANCY SEPARATIONS PER CBC TABLE 508.4	1-HR OCCUPANCY SEPARATIONS BETWEEN R-2 & A-3, R-2 & S-2, R-2 & U, S-2 & A-3

OTHER CODE PROVISIONS
AN UNVENTED ATTIC SPACE IS BEING PROVIDED IN COMPLIANCE WITH CBC SECTION 1202.3
WINDOWS IN HABITABLE ROOMS SHALL HAVE AN AREA OF 8% OF THE FLOOR AREA MIN. [CBC 1205.2] AND 4% OF THE FLOOR AREA FOR NATURAL VENTILATION [CBC 1203.4.1]
EMERGENCY EGRESS WINDOWS ARE PROVIDED FROM ALL SLEEPING ROOMS IN COMPLIANCE WITH SECTION 1031
ELEVATORS ARE NOT REQUIRED TO BE PART OF THE ACCESSIBLE MEANS OF EGRESS IN BUILDINGS ABOVE 4 STORY BECAUSE A HORIZONTAL EXIT IS PROVIDED PER CBC 1002.1 EXCEPTION 7
STAIRWAYS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11A AND 11B.
AREAS OF REFUGE IN STAIRWELLS ARE NOT REQUIRED IN THIS BUILDING PER CBC 1007.3 EXCEPTION 2 AND 6. AREAS OF REFUGE WITH TWO WAY COMMUNICATION ARE PROVIDED AT THE HORIZONTAL EXIT.
CLEAR WIDTH OF 48" BETWEEN HANDRAILS NOT REQUIRED PER CBC 1007.3 EXC. 1
FIRE EXTINGUISHERS SHALL BE MOUNTED IN COMMON AREAS, CORRIDORS, PATH OF EXIT TRAVEL AT OR LESS THAN 75' FROM ANY LOCATION OR 1 FIRE EXTINGUISHER EVERY 3,000 S.F. WHOEVER RESULTS IN A HIGHER COUNT PER NFPA 10. SEE PLANS FOR LOCATIONS.
HORIZONTAL PENETRATIONS WITHIN BOXED OUT ENCLOSURES AND WALLS TO BE FIRE CALKED AND COMPLY WITH THE PROVISIONS WITHIN CBC 714.4.1.1
DRAFTSTOPS IN FLOOR/CEILING ASSEMBLIES ARE NOT REQUIRED PER CBC 718.3.2 EXCEPTION 1
DRAFTSTOPS IN ATTICS ARE NOT REQUIRED PER CBC 718.4.2 EXCEPTION 2 (AN UNVENTED ATTIC IS BEING PROVIDED)
CORRIDOR PARTITION WALL RATING CAN TERMINATE AT UNDERSIDE OF CEILING AND NOT EXTEND TO ROOF SHEATHING OR FLOOR SHEATHING ABOVE IF FIREBLOCKING AND DRAFTSTOPPING IS INSTALLED [PER CBC 708.4]
INTERIOR FINISHES, DECORATIVE MATERIALS AND FURNISHINGS TO COMPLY WITH THE REQUIREMENTS OF THE 2019 CALIFORNIA FIRE CODE CHAPTER 8.
RESIDENTIAL UNITS ARE GOVERNED BY CHAPTER 11B & THE FAIR HOUSING ACT; MOBILITY UNITS AND ALL COMMON AREAS ARE GOVERNED BY CHAPTER 11B & ADAAG.
FIRE RESISTANCE RATING AT TRANSITIONS BETWEEN RATED WALL TO WALL ASSEMBLIES AND WALL TO FLOOR CEILING ASSEMBLIES CAN BE ACCOMPLISHED THROUGH SOLID BLOCKING BASED ON PROVISIONS WITHIN THE CBC AS WELL AS BASED ON STANDARD ASTM TESTING AND INFORMATION PUBLISHED BY THE USDA. CBC SECTION 722.63 PROVIDES FORMULAS FOR CALCULATING THE FIRE RESISTANCE RATING IN MINUTES OF EXPOSED WOOD MEMBERS WHICH CAN BE USED WHEN BUILDING CONDITION AT THE SAME TIME, TABLE 722.2(2) ASSIGNS 20 MINUTES TO A STANDARD 2x4 1F s.s. WOOD FRAMED WALL. IN ADDITION, BASED ON STANDARD ASTM E 119, THE USDA WOOD HANDBOOK WOOD AS AN ENGINEERING MATERIAL. ASSIGN A CHARRING RATE OF 1.5 INCHES PER HOUR FOR DOUGLAS-FIR IN CHAPTER 18 OF THIS TECHNICAL REPORT (FIRE SAFETY OF WOOD CONSTRUCTION); A PARTIAL COPY OF THIS CHAPTER WITH THE RELEVANT SECTION IS INCLUDED ON THIS SHEET AND ADDITIONAL INFORMATION CAN BE PROVIDED. DETAILS IN THIS SET ARE SHOWN BOTH WAYS WITH THE CONCEPT THAT THIS IS A MEANS AND METHOD PROCEDURE FOR THE BUILDER. DETAILS ON THIS AT SERIES SHOW THE SOLID BLOCKING ALTERNATIVE AT THE SHAFT WALL LOCATIONS WHILE DETAILS ON SHEET AS 02 SHOW BOTH SCENARIOS CONTINUOUS CYPRESS BOARD AT THE TRANSITIONS BETWEEN THE FLOORS AND THE EXTERIOR WALLS AND THE SOLID BLOCKING. AS SUGGESTED IN THE DRAWINGS, THE FIRE PROTECTION AT THESE TRANSITIONS COULD BE ACCOMPLISHED EITHER WAY AND IS UP TO THE DISCRETION OF THE BUILDER.

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- JETT LANDSCAPE ARCHITECTURE + DESIGN
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ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
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SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

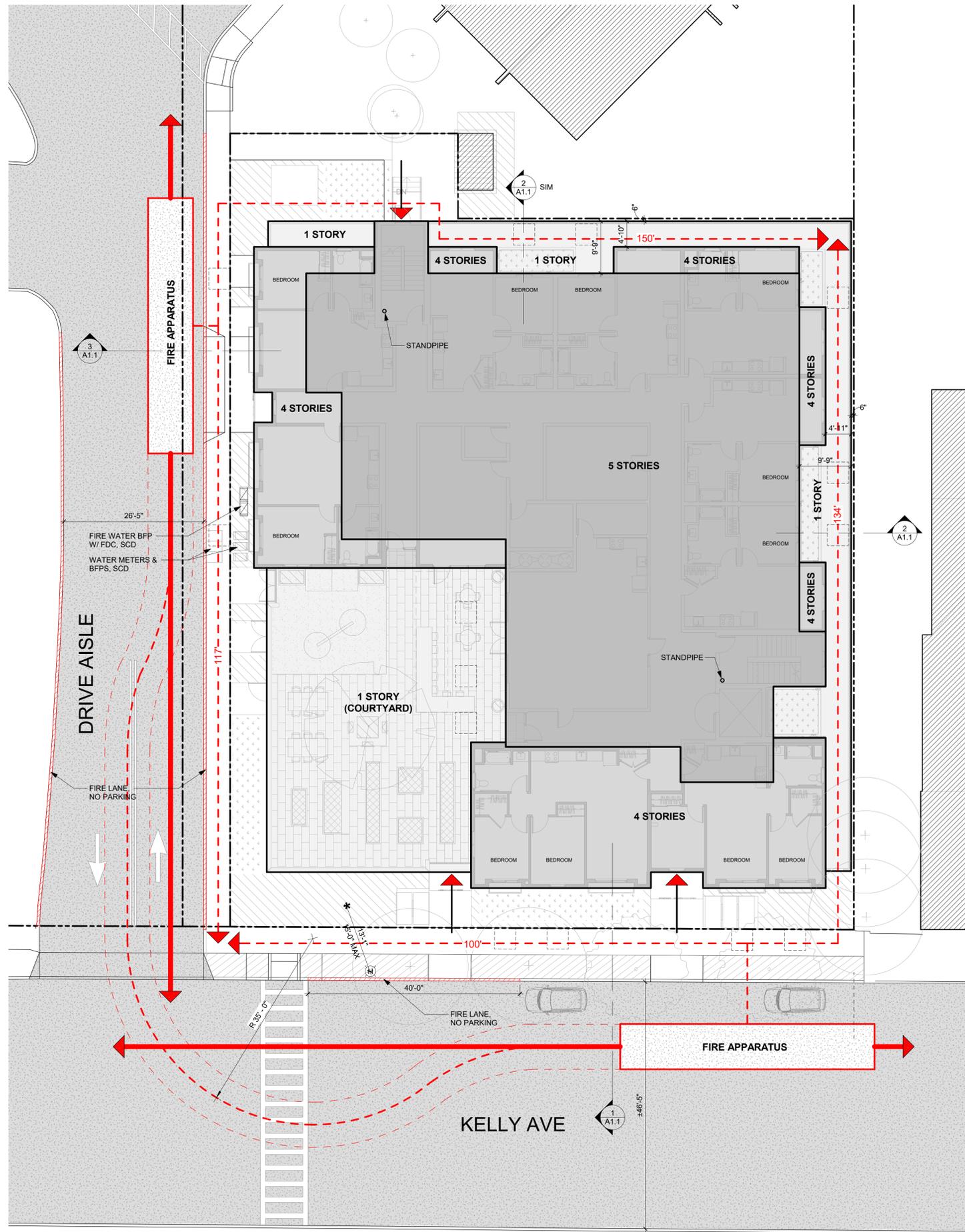
EGRESS DIAGRAMS

JOB #: 2236

SCALE: As indicated

A1.0

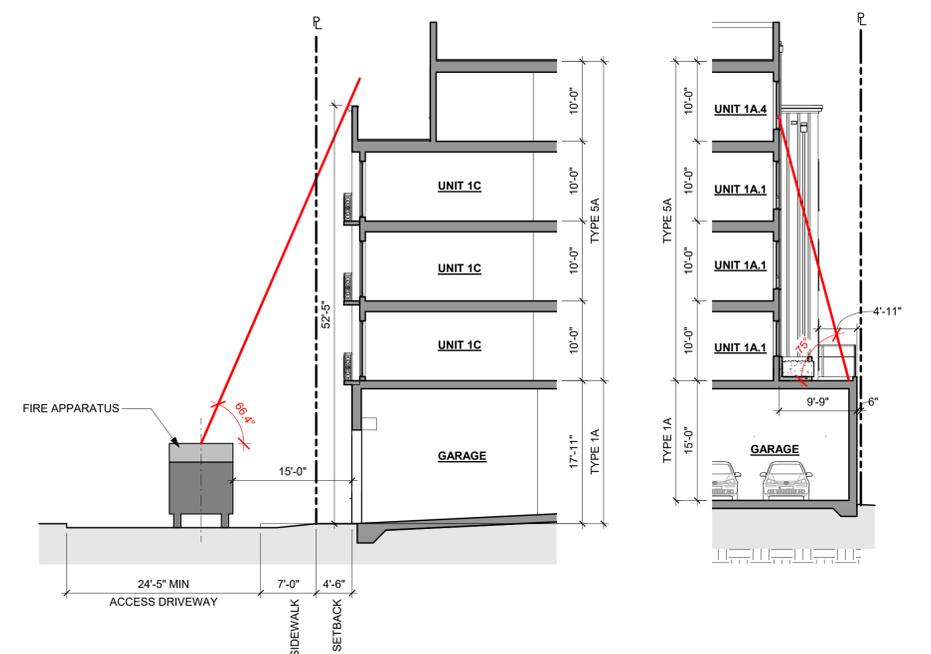
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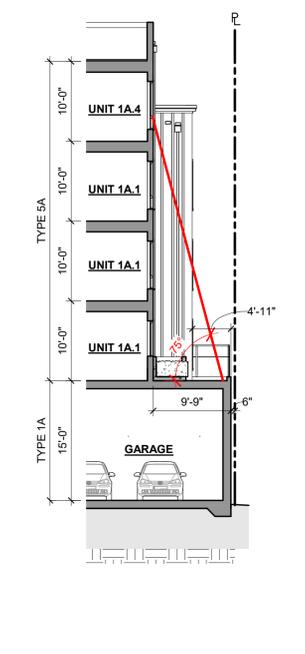
4 FIRE ACCESS DIAGRAM
A1.1 SCALE: 3/32" = 1'-0"

- LEGEND**
- FIRE APPARATUS ACCESS
 - FIRE FIGHTER ACCESS, 150' MAX FROM FIRE APPARATUS
 - FIRE FIGHTER ACCESS TO THE BUILDING
 - STANDPIPE RISER AT STAIRS (MAIN LANDING)
 - EXISTING FIRE HYDRANT TO BE RELOCATED
 - FIRE HYDRANT
 - ROOF ACCESS VIA STAIRS
 - FIRE DEPARTMENT CONNECTION (FDC)
 - 4x4' LADDER PAD, SHOWN IN DASH

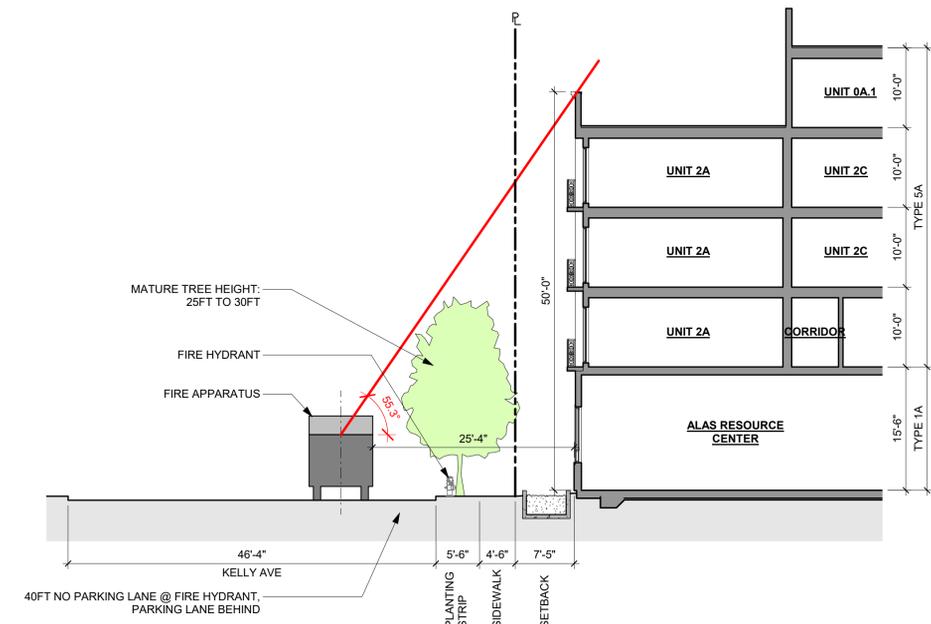
- GENERAL NOTES**
1. THIS FIRE ACCESS DIAGRAM WAS SUBMITTED AND DISCUSSED WITH THE COASTSIDE FIRE PROTECTION DISTRICT. INITIAL COMMENTS WERE RECEIVED ON 07/27/2023 AND DISCUSSED ON 08/16/2023. A SUBSEQUENT SUBMITTAL WAS SUBMITTED TO COASTSIDE FIRE DISTRICT ON 08/21/2023. ADDITIONAL COMMENTS WERE RECEIVED ON 9/15/2023.
 2. RESPONSES TO ALL THE COMMENTS HAVE BEEN ADDRESSED IN THE ATTACHED DEPARTMENTAL RESPONSE LETTER.
 3. PLEASE ALSO REFER TO THE FOLLOWING SHEETS WHICH WERE ALSO SUBMITTED PERTAINING TO PERMANENT LADDER LOCATIONS, FIRE WATER PRESSURE AND FIRE PUMP INFORMATION.
 4. THE FIRE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE OR PERMIT MODIFICATIONS TO THE REQUIRED ACCESS WIDTHS WHERE THEY ARE INADEQUATE FOR FIRE OR RESCUE OPERATIONS OR WHERE NECESSARY TO MEET THE PUBLIC SAFETY OBJECTIVES OF THE JURISDICTION. [CFC 503.2.2]



3 WEST SECTION @ ACCESS DRIVEWAY
A1.1 SCALE: 3/32" = 1'-0"



2 EAST SECTION NORTH SIM
A1.1 SCALE: 3/32" = 1'-0"



1 WEST SECTION @ KELLY AVE
A1.1 SCALE: 3/32" = 1'-0"

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ID	DATE	NAME

Project:
555 KELLY
555 KELLY AVE,
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Client:
mercy HOUSING
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

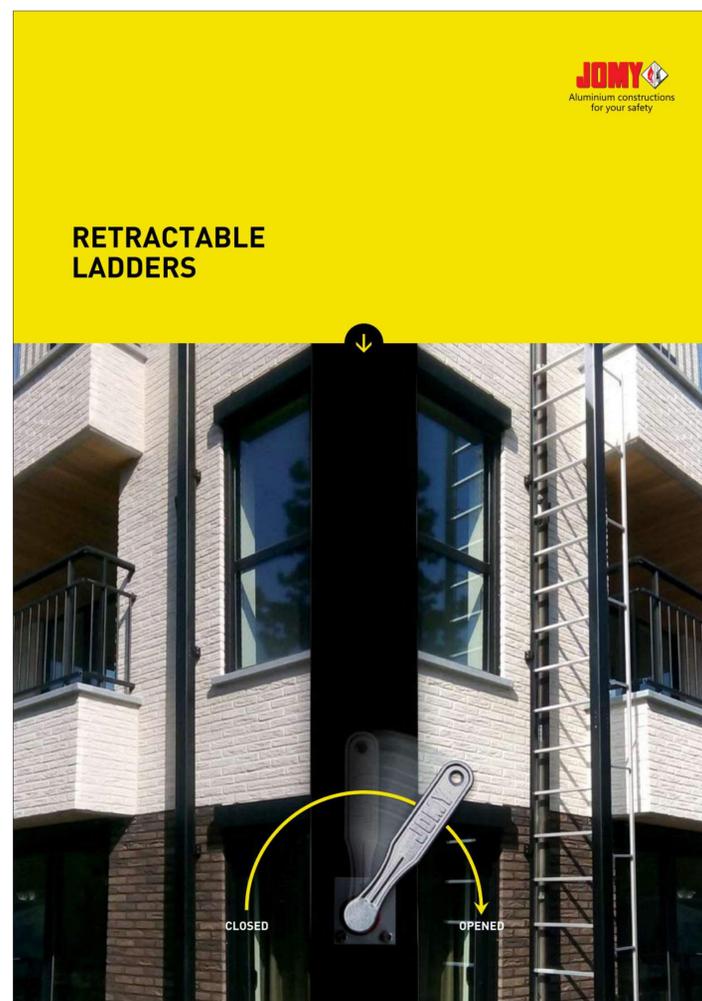
FIRE ACCESS DIAGRAMS

JOB #: 2236
SCALE: As Indicated

A1.1

BELOW ARE THE CUT SHEETS OF THE RETRACTABLE LADDER

PRODUCT WEBSITE LINK: <https://www.jomy.com/en/ladders/retractable>



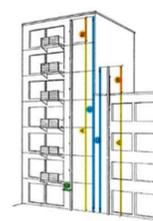
THE MOST ESTHETIC, SECURED, BURGLAR-RESISTANT AND COMPACT SOLUTION

- Unobtrusive, looks like a drainpipe;
- Deploys instantly from any number of evacuation levels;
- Burglar resistant;
- RAL color with polyester powder coating (optional);
- Fixed lifetime for secure access and working at height (optional);
- At a reassuring price.

- 🔒 Burglar-resistant.
- 👁️ Closes to the size of a drainpipe when not used.
- ⚡ Opens in an instant when needed.

🌍 Dependable, reliable and tested in over 20,000 installations worldwide.

Key measurements :



- ▲ Level of highest evacuation point
- Overshoot height: approx 7 ft or 2.25 m
- Total ladder height = A + B
- Horizontal distance between evacuation balcony and ladder: approx 2 ft or 60 cm

Versions:

JOMY	Mini-JOMY
Evacuation and access.	Mostly access. Evacuation from 2 storey building (one opening latch).
Up to 30 m or 100 ft (and higher if needed).	Up to 15 m or 50 ft.
Multiple independent opening handles.	1 or maximum 2 simple opening latches.
Rungs: 1000 lb or 450 Kg. Ladder total: 11000 lb or 5,000 Kg.	Rungs: 770 lb or 350 Kg. Ladder total: 5500 lb or 2,500 Kg.
One attachment every 5 ft or 1.5 m. Optionally, with reinforcement profile, one attachment every 10 ft or 3m.	One attachment every 3'3" ft or 1 m.
At an affordable price.	Lower price than a JOMY for the same height.
Guardrail on the left or right.	No guardrail.
Options - Access balcony - Attachment at a distance from the facade - Reinforcement profile - RAL color (polyester powder coating) - Locking hub and padlock for opening mechanism - Protection against over-opening in the absence of a solid floor - Double opening mechanism and double guardrail to use the ladder from both sides - Opening detector.	

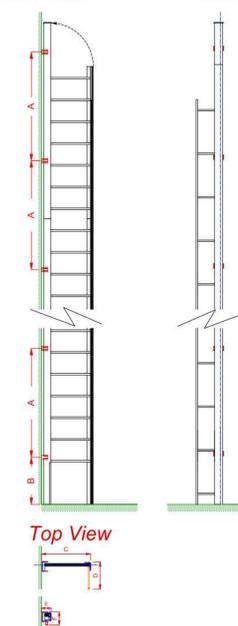


JOMY S.A.
info@jomy.be
+32 4 278 55 12
Rue Bourgogne 20
4452 Wihogne, Belgium

STANDARD JOMY LADDER PERPENDICULAR TO THE WALL

Front View

Side View



Dimensions		
A	max. 1500mm	max. 4' 11"
B	max. 650mm	max. 2' 1"
C	680mm	2' 2 3/4"
D	381mm	1' 3"
E	133mm	5 1/4"
F	182mm	7 5/32"

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LANDSCAPE ARCHITECT

**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT

STEINBERG HART
333 W SAN CARLOS STREET, #1000
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ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**RETRACTABLE
LADDER**

JOB #: 2236

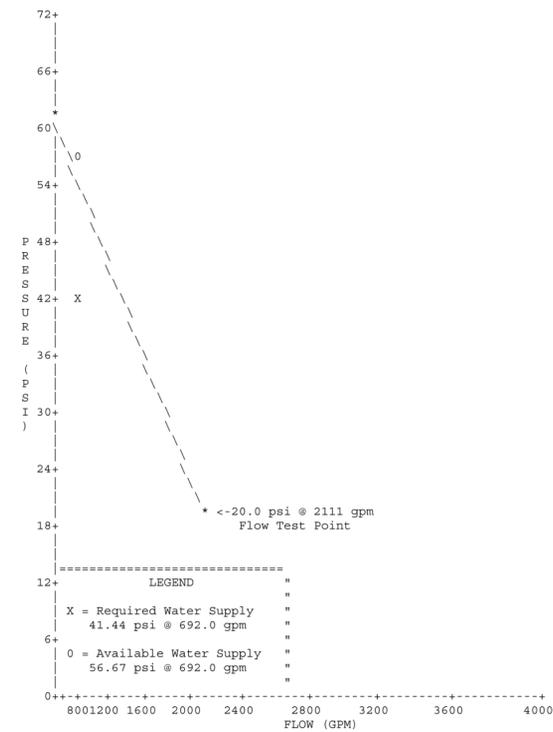
SCALE:

A1.2

DATE: 08/21/23

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WATER SUPPLY CURVE



PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM.
Pipe: 26						-442.0	6.275	PL 25.00	PF 0.6
BF2	1.5	0.0	40.2	0.0	4.6	140	FTG	2ETG	PE 0.6
S	0.0	SRCE	41.4	(N/A)		0.005	TL	120.80	PV

NOTES (HASS):

- (1) Calculations were performed by the HASS 2023 D computer program under license no. 64600052 granted by HRS Systems, Inc. 208 Southside Square, Petersburg, TN 37144 (931) 659-9760
- (2) The system has been calculated to provide an average imbalance at each node of 0.006 gpm and a maximum imbalance at any node of 0.152 gpm.
- (3) Total pressure at each node is used in balancing the system. Maximum water velocity is 12.8 ft/sec at pipe 12.
- (4) Items listed in bold print on the cover sheet are automatically transferred from the calculation report.

(5) PIPE FITTINGS TABLE

User Pipe Table Name: STANDARD

PAGE: A	MATERIAL: S40	HWC: 120								
Diameter (in)	Equivalent Fitting Lengths in Feet									
	E	T	L	C	B	G	A	D	F	
2.067	5.00	10.00	3.00	11.00	6.00	1.00	10.00	10.00	14.00	
4.026	10.00	20.00	6.00	22.00	12.00	2.00	20.00	13.00	30.00	
6.065	14.00	30.00	9.00	32.00	10.00	3.00	28.00	31.00	16.00	

PAGE: D	MATERIAL: DIRON	HWC: 140								
Diameter (in)	Equivalent Fitting Lengths in Feet									
	E	T	L	C	B	G				
6.275	22.00	47.10	14.10	50.20	15.70	4.70				

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM.
Pipe: 13						-30.3	2.067	PL 5.00	PF 0.2
14	14.0	8.0	14.4	30.3	2.9	120	FTG	T	PE 0.0
13	14.0	0.0	14.5	0.0		0.010	TL	15.00	PV
Pipe: 14						-327.9	4.026	PL 12.67	PF 0.4
13	14.0	0.0	14.5	0.0	8.3	120	FTG	---	PE 0.0
19	14.0	0.0	14.9	0.0		0.033	TL	12.67	PV
Pipe: 15						-28.1	2.067	PL 8.50	PF 0.1
15	14.0	8.0	12.4	28.1	2.7	120	FTG	---	PE 0.0
16	14.0	8.0	12.5	28.2		0.009	TL	8.50	PV
Pipe: 16						-56.4	2.067	PL 8.50	PF 0.3
16	14.0	8.0	12.5	28.2	5.4	120	FTG	---	PE 0.0
17	14.0	8.0	12.7	28.5		0.033	TL	8.50	PV
Pipe: 17						-84.9	2.067	PL 8.50	PF 0.6
17	14.0	8.0	12.7	28.5	8.1	120	FTG	---	PE 0.0
18	14.0	8.0	13.3	29.2		0.069	TL	8.50	PV
Pipe: 18						-114.1	2.067	PL 3.50	PF 1.6
18	14.0	8.0	13.3	29.2	10.9	120	FTG	T	PE 0.0
19	14.0	0.0	14.9	0.0		0.120	TL	13.50	PV
Pipe: 19						-442.0	4.026	PL 70.00	PF 10.5
19	14.0	0.0	14.9	0.0	11.1	120	FTG	3ETCBF	PE 3.9
1F	5.0	0.0	29.3	0.0		0.057	TL	184.00	PV
Pipe: 20						-442.0	6.065	PL 8.00	PF 0.3
1F	5.0	0.0	29.3	0.0	4.9	120	FTG	T	PE -3.5
99	13.0	0.0	26.2	0.0		0.008	TL	38.00	PV
Pipe: 21						-442.0	6.065	PL 70.00	PF 0.9
99	13.0	0.0	26.2	0.0	4.9	120	FTG	TB	PE 0.0
100	13.0	0.0	27.0	0.0		0.008	TL	110.00	PV
Pipe: 22						-442.0	6.065	PL 21.50	PF 0.4
100	13.0	0.0	27.0	0.0	4.9	120	FTG	2E	PE 0.0
TR	13.0	0.0	27.4	0.0		0.008	TL	49.50	PV
Pipe: 23						-442.0	6.065	PL 12.00	PF 0.4
TR	13.0	0.0	27.4	0.0	4.9	120	FTG	CB	PE 5.2
BR	1.0	0.0	33.0	0.0		0.008	TL	54.00	PV
Pipe: 24						-442.0	6.275	PL 10.00	PF 0.4
BR	1.0	0.0	33.0	0.0	4.6	140	FTG	3E	PE -0.2
BF1	1.5	0.0	33.2	0.0		0.005	TL	76.00	PV
Pipe: 25						FIXED PRESSURE LOSS DEVICE			
BF1	1.5	0.0	33.2	0.0		7.0 psi,		442.0 gpm	
BF2	1.5	0.0	40.2	0.0					

PIPE DATA

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM.
Pipe: 1						-26.0	2.067	PL 8.50	PF 0.1
1	14.0	8.0	10.6	26.0	2.5	120	FTG	---	PE 0.0
2	14.0	8.0	10.6	26.1		0.008	TL	8.50	FV
Pipe: 2						-52.1	2.067	PL 8.50	PF 0.2
2	14.0	8.0	10.6	26.1	5.0	120	FTG	---	PE 0.0
3	14.0	8.0	10.9	26.4		0.028	TL	8.50	FV
Pipe: 3						-78.5	2.067	PL 8.50	PF 0.5
3	14.0	8.0	10.9	26.4	7.5	120	FTG	---	PE 0.0
4	14.0	8.0	11.4	27.0		0.060	TL	8.50	FV
Pipe: 4						-105.4	2.067	PL 8.50	PF 0.9
4	14.0	8.0	11.4	27.0	10.1	120	FTG	---	PE 0.0
5	14.0	8.0	12.3	28.0		0.104	TL	8.50	FV
Pipe: 5						-133.4	2.067	PL 3.50	PF 2.2
5	14.0	8.0	12.3	28.0	12.8	120	FTG	T	PE 0.0
6	14.0	0.0	14.4	0.0		0.160	TL	13.50	PV
Pipe: 6						-30.2	2.067	PL 5.50	PF 0.2
7	14.0	8.0	14.3	30.2	2.9	120	FTG	T	PE 0.0
6	14.0	0.0	14.4	0.0		0.010	TL	15.50	FV
Pipe: 7						-163.7	4.026	PL 11.08	PF 0.1
6	14.0	0.0	14.4	0.0	4.1	120	FTG	---	PE 0.0
13	14.0	0.0	14.5	0.0		0.009	TL	11.08	FV
Pipe: 8						-26.1	2.067	PL 8.50	PF 0.1
8	14.0	8.0	10.6	26.1	2.5	120	FTG	---	PE 0.0
9	14.0	8.0	10.7	26.2		0.008	TL	8.50	FV
Pipe: 9						-52.3	2.067	PL 8.50	PF 0.2
9	14.0	8.0	10.7	26.2	5.0	120	FTG	---	PE 0.0
10	14.0	8.0	10.9	26.5		0.028	TL	8.50	FV
Pipe: 10						-78.7	2.067	PL 8.50	PF 0.5
10	14.0	8.0	10.9	26.5	7.5	120	FTG	---	PE 0.0
11	14.0	8.0	11.5	27.1		0.060	TL	8.50	FV
Pipe: 11						-105.8	2.067	PL 8.50	PF 0.9
11	14.0	8.0	11.5	27.1	10.1	120	FTG	---	PE 0.0
12	14.0	8.0	12.3	28.1		0.104	TL	8.50	FV
Pipe: 12						-133.9	2.067	PL 3.50	PF 2.2
12	14.0	8.0	12.3	28.1	12.8	120	FTG	T	PE 0.0
13	14.0	0.0	14.5	0.0		0.161	TL	13.50	PV

WATER SUPPLY DATA

SOURCE	STATIC	RESID.	FLOW	AVAIL.	TOTAL	REQ'D
NODE	PRESS.	PRESS.	@	PRESS.	@	DEMAND
TAG	(PSI)	(PSI)	(GPM)	(PSI)	(GPM)	(PSI)
S	62.0	20.0	2111.0	56.7	692.0	41.4

Available pressure is 15.2 psi (27%) greater than required pressure.

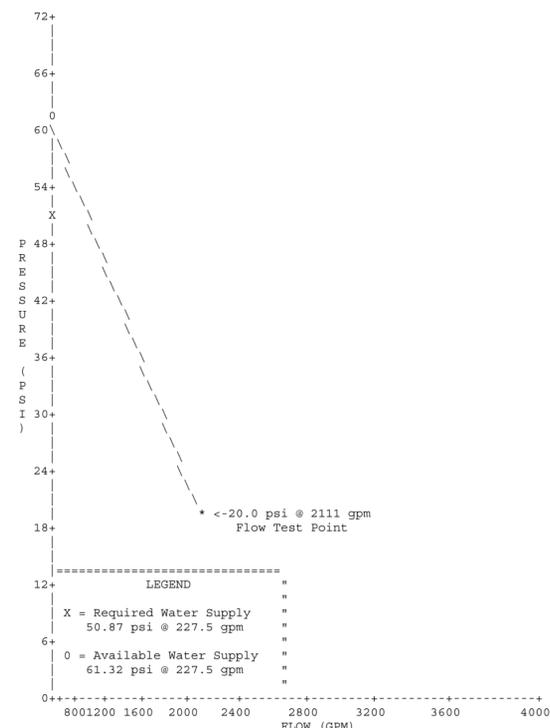
AGGREGATE FLOW ANALYSIS:

TOTAL FLOW AT SOURCE	692.0 GPM
TOTAL HOSE STREAM ALLOWANCE AT SOURCE	250.0 GPM
OTHER HOSE STREAM ALLOWANCES	0.0 GPM
TOTAL DISCHARGE FROM ACTIVE SPRINKLERS	442.0 GPM

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
1	14.0	K= 8.00	10.6	26.0
2	14.0	K= 8.00	10.6	26.1
3	14.0	K= 8.00	10.9	26.4
4	14.0	K= 8.00	11.4	27.0
5	14.0	K= 8.00	12.3	28.0
6	14.0	K= 8.00	14.4	0.0
7	14.0	K= 8.00	14.3	30.2
8	14.0	K= 8.00	10.6	26.1
9	14.0	K= 8.00	10.7	26.2
10	14.0	K= 8.00	10.9	26.5
11	14.0	K= 8.00	11.5	27.1
12	14.0	K= 8.00	12.3	28.1
13	14.0	K= 8.00	14.5	0.0
14	14.0	K= 8.00	14.4	30.3
15	14.0	K= 8.00	12.4	28.1
16	14.0	K= 8.00	12.5	28.2
17	14.0	K= 8.00	12.7	28.5
18	14.0	K= 8.00	13.3	29.2
19	14.0	K= 8.00	14.9	0.0
1F	5.0	K= 8.00	29.3	0.0
99	13.0	K= 8.00	26.2	0.0
100	13.0	K= 8.00	27.0	0.0
TR	13.0	K= 8.00	27.4	0.0
BR	1.0	K= 8.00	33.0	0.0
BF1	1.5	K= 8.00	33.2	0.0
BF2	1.5	K= 8.00	40.2	0.0
S	0.0	SOURCE	41.4	442.0

WATER SUPPLY CURVE



(4) Items listed in bold print on the cover sheet

are automatically transferred from the calculation report.

(5) PIPE FITTINGS TABLE

User Pipe Table Name: STANDARD

PAGE: A MATERIAL: S40 HWC: 120
Equivalent Fitting Lengths in Feet

Diameter (in)	E	T	L	C	B	G	A	D	F
1.049	2.00	5.00	2.00	5.00	6.00	1.00	10.00	10.00	6.00
1.380	3.00	6.00	2.00	7.00	6.00	1.00	10.00	10.00	9.00
1.610	4.00	8.00	2.00	9.00	6.00	1.00	10.00	10.00	10.00
2.469	6.00	12.00	4.00	14.00	7.00	1.00	10.00	10.00	17.00
4.026	10.00	20.00	6.00	22.00	12.00	2.00	20.00	13.00	30.00
6.065	14.00	30.00	9.00	32.00	10.00	3.00	28.00	31.00	16.00

PAGE: D MATERIAL: DIRON HWC: 140
Equivalent Fitting Lengths in Feet

Diameter (in)	E	T	L	C	B	G
6.275	22.00	47.10	14.10	50.20	15.70	4.70

PIPE TAG	END NODES	ELEV. (FT)	NOZ. (K)	PT (PSI)	DISC. (GPM)	Q (GPM) VEL (FPS)	DIA (IN) HW (C) FL/FT	LENGTH (FT)	PRESS. SUM. (PSI)
Pipe: 13	13	55.0	0.0	10.2	0.0	-127.6 8.5	2.469 PL 120.00	120.00	PF 8.9
Pipe: 14	14	55.0	0.0	19.1	0.0	0.062 TL	144.00	144.00	PV 0.0
Pipe: 14	14	55.0	0.0	19.1	0.0	-127.6	4.026 PL	6.00	PF 0.6
Pipe: 15	5F	50.0	0.0	21.9	0.0	-127.6	6.065 PL	37.00	PF 0.1
Pipe: 16	99	13.0	0.0	38.0	0.0	0.001 TL	67.00	67.00	PV 16.0
Pipe: 16	99	13.0	0.0	38.0	0.0	-127.6	6.065 PL	70.00	PF 0.1
Pipe: 17	100	13.0	0.0	38.1	0.0	0.001 TL	110.00	110.00	PV 0.0
Pipe: 17	100	13.0	0.0	38.1	0.0	-127.6	6.065 PL	21.50	PF 0.0
Pipe: 18	TR	13.0	0.0	38.1	0.0	120 FTG	49.50	49.50	PV 0.0
Pipe: 18	TR	13.0	0.0	38.1	0.0	-127.6	6.065 PL	12.00	PF 0.0
Pipe: 19	BR	1.0	0.0	43.3	0.0	120 FTG	54.00	54.00	PV 5.2
Pipe: 19	BR	1.0	0.0	43.3	0.0	-127.6	6.275 PL	10.00	PF 0.0
Pipe: 20	BF1	1.5	0.0	43.2	0.0	140 FTG	76.00	76.00	PV -0.2
Pipe: 20	BF2	1.5	0.0	50.2	0.0	0.000 TL	76.00	76.00	PV 0.0
Pipe: 21	BF1	1.5	0.0	43.2	0.0	7.0 psi, 127.6 gpm			
Pipe: 21	BF2	1.5	0.0	50.2	0.0	-127.5	6.275 PL	25.00	PF 0.1
Pipe: 21	S	0.0	0.0	50.2	0.0	140 FTG	2ETG	PE 0.6	
Pipe: 21	S	0.0	0.0	50.9	(N/A)	0.000 TL	120.80	120.80	PV 0.0

NOTES (HASS):

- Calculations were performed by the HASS 2023 D computer program under license no. 64600052 granted by HRS Systems, Inc. 208 Southside Square Petersburg, TN 37144 (931) 659-9760
- The system has been calculated to provide an average imbalance at each node of 0.006 gpm and a maximum imbalance at any node of 0.128 gpm.
- Total pressure at each node is used in balancing the system. Maximum water velocity is 8.5 ft/sec at pipe 13.

PIPE DATA

PIPE TAG	END NODES	ELEV. (FT)	NOZ. (K)	PT (PSI)	DISC. (GPM)	Q (GPM) VEL (FPS)	DIA (IN) HW (C) FL/FT	LENGTH (FT)	PRESS. SUM. (PSI)
Pipe: 1	1	55.0	5.6	7.2	15.1	-15.1 5.6	1.049 PL 120 FTG	5.00	PF 0.5
Pipe: 2	2	55.0	5.6	7.0	14.8	-14.8 5.5	1.049 PL 120 FTG	3.25	PF 0.8
Pipe: 3	3	55.0	0.0	7.8	0.0	0.077 TL	10.25	10.25	PV 0.0
Pipe: 3	3	55.0	0.0	7.8	0.0	-29.9	1.380 PL 120 FTG	10.00	PF 0.7
Pipe: 4	4	55.0	5.6	8.5	16.3	-46.2 7.3	1.610 PL 120 FTG	10.83	PF 1.4
Pipe: 4	4	55.0	0.0	9.9	0.0	0.076 TL	18.83	18.83	PV 0.0
Pipe: 5	5	55.0	0.0	9.9	0.0	-46.2 3.1	2.469 PL 120 FTG	1.00	PF 0.0
Pipe: 5	5	55.0	0.0	9.9	0.0	0.009 TL	1.00	1.00	PV 0.0
Pipe: 6	6	55.0	5.6	9.1	16.9	-16.9 6.3	1.049 PL 120 FTG	1.50	PF 0.8
Pipe: 7	7	55.0	0.0	9.9	0.0	0.095 TL	8.50	8.50	PV 0.0
Pipe: 7	7	55.0	0.0	9.9	0.0	-63.1 4.2	2.469 PL 120 FTG	7.08	PF 0.1
Pipe: 11	11	55.0	0.0	10.0	0.0	0.017 TL	7.08	7.08	PV 0.0
Pipe: 8	8	55.0	5.6	7.2	15.1	-15.1 5.6	1.049 PL 120 FTG	8.00	PF 0.8
Pipe: 9	9	55.0	5.6	8.0	15.9	0.077 TL	10.00	10.00	PV 0.0
Pipe: 9	9	55.0	5.6	8.0	15.9	-30.9 6.6	1.380 PL 120 FTG	7.00	PF 0.5
Pipe: 10	10	55.0	5.6	8.6	16.4	0.077 TL	7.00	7.00	PV 0.0
Pipe: 10	10	55.0	5.6	8.6	16.4	-47.3 7.5	1.610 PL 120 FTG	10.83	PF 1.5
Pipe: 11	11	55.0	0.0	10.0	0.0	0.079 TL	18.83	18.83	PV 0.0
Pipe: 11	11	55.0	0.0	10.0	0.0	-110.4 7.4	2.469 PL 120 FTG	3.50	PF 0.2
Pipe: 13	13	55.0	0.0	10.2	0.0	0.047 TL	3.50	3.50	PV 0.0
Pipe: 12	12	55.0	5.6	9.4	17.2	-17.2 6.4	1.049 PL 120 FTG	1.50	PF 0.8
Pipe: 13	13	55.0	0.0	10.2	0.0	0.098 TL	8.50	8.50	PV 0.0

WATER SUPPLY DATA

SOURCE	STATIC PRESS. (PSI)	RESID. PRESS. (PSI)	FLOW @ (GPM)	AVAIL. PRESS. (PSI)	TOTAL @ DEMAND (GPM)	REQ'D PRESS. (PSI)
S	62.0	20.0	2111.0	61.3	227.5	50.9

Available pressure is 10.5 psi (17%) greater than required pressure.

AGGREGATE FLOW ANALYSIS:

TOTAL FLOW AT SOURCE	227.5 GPM
TOTAL HOSE STREAM ALLOWANCE AT SOURCE	100.0 GPM
OTHER HOSE STREAM ALLOWANCES	0.0 GPM
TOTAL DISCHARGE FROM ACTIVE SPRINKLERS	127.5 GPM

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
1	55.0	K= 5.60	7.2	15.1
2	55.0	K= 5.60	7.0	14.8
3	55.0	- - -	7.8	- - -
4	55.0	K= 5.60	8.5	16.3
5	55.0	- - -	9.9	- - -
6	55.0	K= 5.60	9.1	16.9
7	55.0	- - -	9.9	- - -
8	55.0	K= 5.60	7.2	15.1
9	55.0	K= 5.60	8.0	15.9
10	55.0	K= 5.60	8.6	16.4
11	55.0	- - -	10.0	- - -
12	55.0	K= 5.60	9.4	17.2
13	55.0	- - -	10.2	- - -
14	55.0	- - -	19.1	- - -
5F	50.0	- - -	21.9	- - -
99	13.0	- - -	38.0	- - -
100	13.0	- - -	38.1	- - -
TR	13.0	- - -	38.1	- - -
BR	1.0	- - -	43.3	- - -
BF1	1.5	- - -	43.2	- - -
BF2	1.5	- - -	50.2	- - -
S	0.0	SOURCE	50.9	127.5

Hydraulic Calculations

Project Information

Project Name:	555 Kelly	Date:	8/30/23
Address:	555 Kelly Ave. Half Moon Bay, CA	File #	33025-5
		Index	202

Calculation Area: Level 5 - Residential

Design Criteria

Occupancy Classification:	Residential
Density:	.10 gpm/sq. ft.
Area of Operation:	8 sprinklers
Number of Sprinklers Calculated:	8 heads
Hose Allowance	Rack Sprinkler Allowance
000 gpm inside	0 gpm
100 gpm outside	
Water Supply	Sprinklers
Static 62.0 psi	Make: Residential Sprinkler
Residual 20.0 psi	Size K=5.6
Flow 2111 gpm	

Calculation Summary

Total Sprinkler Water Flow:	127.5 gpm
Flow & Pressure: (at standpipe connection)	127.5 gpm @ 21.9 psi
(at city connection)	227.5 gpm @ 50.9 psi

Notes:

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

HYDRAULIC CALCS -
RESIDENTIAL

JOB #: 2236

SCALE:

A1.4

DATE: 10/04/23



FIRST FLOOR - PIPING PLAN

1/8" = 1'-0"

WATER FLOW INFORMATION

COASTSIDE
Hydrant Flow Test By Hydrant
Hydrant Number = "CCWD-130"

Date	Static	Residual	Pitot	Pitot 2	GPM	20 PSI	10 PSI	0 PSI	
01/04/2008	52	30.00	0.00	919	2111	2370	2606	2442	
01/04/2018	52	30.00	0.00	919	2111	2370	2606	2442	
Subtotal Flow Tests:					2	Min: 769	1867	2171	2442
						Max: 919	2111	2370	2606
						Avg: 844	1989	2270	2524
Total Flow Tests:					2				

HYDRAULIC DESIGN CRITERIA

LEVEL #5 - RESIDENTIAL W/ A DESIGN DENSITY OF .10 GPM PER SQ. FT. OVER #8 SPRINKLERS (REF: NFPA 13:2022 19.3.1.2.1 & 19.3.1.3)

* POSSIBLE 4 SPRINKLERS DESIGN IF NO UNSPRINKLERED CONCEALED SPACES (REF: NFPA 13:2022 FIG. 19.3.1.1)

OUTSIDE HOSE ALLOWANCE: 100 GPM

TOTAL SYSTEM DEMAND (INCLUDING HOSE ALLOWANCE) - 227.5 GPM
 AVAILABLE PRESSURE - 61.3 PSI
 REQUIRED PRESSURE - 50.9 PSI
 SAFETY MARGIN - 10.5 PSI (17%)

SPRINKLER K-FACTOR = 5.6

SPRINKLER ELEVATION - +55' (BASED ARCHITECTURAL BUILDING ELEVATIONS SHEETS A3.1 & A3.2).

6" UNDERGROUND WILL BE REQUIRED COORDINATE EXACT UNDERGROUND ROUTING WITH CIVIL.

7 PSI LOSS THROUGH BACKFLOW PREVENTER - COORDINATE EXACT MAKE AND MODEL WITH CIVIL.

CALCULATIONS DEMONSTRATE THAT A FIRE PUMP IS NOT NECESSARY TO ACHIEVE THE REQUIRED FIRE SPRINKLER WATER PRESSURE

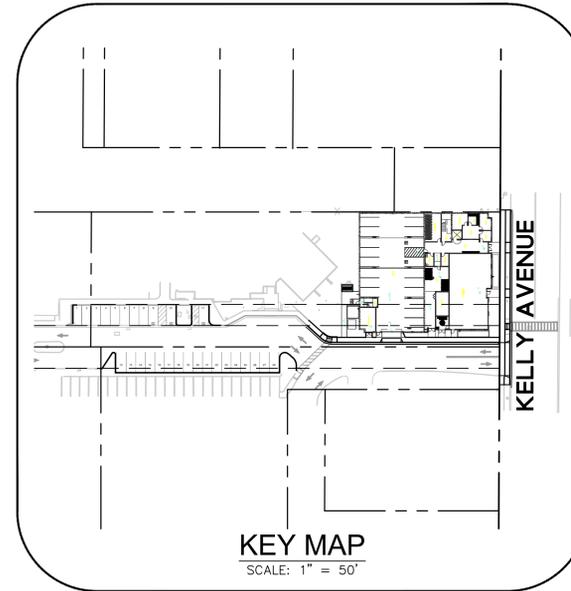
DATE	8-29-23
SCALE	1/8" = 1'-0"
DRAWN	HM
FILE NUMBER	33025
SYSTEM	WET
OCCUPANCY	NFPA 13
SHEET TITLE	555 KELLY 555 KELLY AVE. HALF MOON BAY, CA
SHEET NUMBER	FP-2 2 OF 2 SHEETS

The Fire Consultants, Inc.
2890 North Main Street
Suite 210
Walnut Creek, CA 94597
925-979-9993

CITY & STATE: HALF MOON BAY, CA
ADDRESS: 555 KELLY AVE.
PROJECT: 555 KELLY

555 KELLY AVENUE ENTITLEMENT PLANS

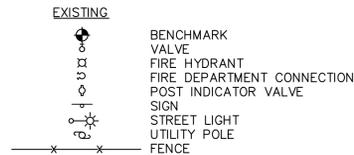
HALF MOON BAY, SAN MATEO COUNTY, CALIFORNIA



ABBREVIATIONS

AB	AGGREGATE BASE	L/C	LANDSCAPE
AC	ASPHALT CONCRETE	LF	LINEAR FEET
AD	AREA DRAIN	LG	LIP OF GUTTER
BW, B/W	BACK OF WALK	LID	LOW IMPACT DEVELOPMENT
BFP	BACKFLOW PREVENTER	LSM	LICENSED SURVEYOR MAPS
BLDG	BUILDING	LT	LIGHT
BTM	BOTTOM	M	MAPS
C&G	CURB AND GUTTER	MB	MAILBOX
CB	CATCH BASIN	N	NORTH
CCP	CONCRETE CYLINDER PIPE	OH	OVERHEAD
CI	CAST IRON PIPE	OR, O.R.	OFFICIAL RECORD
CL, C/L	CENTER LINE	PERF	PERFORATED
CO	CLEAN OUT BOX	P&E	PACIFIC GAS & ELECTRIC
COMM	COMMUNICATIONS	PP	POWER POLE
CONC	CONCRETE	PIV	POST INDICATOR VALVE
CP	SURVEY CONTROL POINT	PL	PROPERTY LINE
CTV	CABLE TELEVISION	PR	PROPOSED
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R	RADIUS
DOC	DOCUMENT	RCP	REINFORCED CONCRETE PIPE
DW	DOMESTIC WATER	RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY
DWY	DRIVEWAY	S	SOUTH
E	EAST, ELECTRIC	S/W	SIDEWALK
EG	EXISTING GROUND	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ELEC	ELECTRIC	SD	STORM DRAIN
ELEV	ELEVATION	SDAD	STORM DRAIN AREA DRAIN
EM	ELECTRIC METER	SDCO	STORM DRAIN CLEANOUT
EP	EDGE OF PAVEMENT	SDDI	STORM DRAIN DROP INLET
ESMT	EASEMENT	SDMH	STORM DRAIN MANHOLE
EV	ELECTRIC VAULT	S.L.P.	SEE LANDSCAPE PLANS
EX	EXISTING	SS	SANITARY SEWER
FC	FACE OF CURB	SSCO	SANITARY SEWER CLEANOUT
FDC	FIRE DEPARTMENT CHECK	SSMH	SANITARY SEWER MANHOLE
FF	FINISHED FLOOR	ST	STREET
FG	FINISHED GRADE	STA	STATION
FH	FIRE HYDRANT	TBD	TO BE DETERMINED
FL	FLOWLINE	TC	TOP OF CURB
FNC	FENCE	TG	TOP OF GRATE
FT	FEET	TEL	TELEPHONE
FW	FIRE WATER	TTC	THEORETICAL TOP OF CURB
GM	GAS METER	TWELL	TREE WELL
GND	GROUND	TYP	TYPICAL
GR	GRATE	UB	UTILITY BOX
GV	GAS VALVE, GATE VALVE	VC	VERTICAL CURVE
HCR	ACCESSIBLE RAMP	VERT	VERTICAL
HORIZ	HORIZONTAL	VLT	VAULT
INV	INVERT	W	WEST
IRR	IRRIGATION	WM	WATER METER
JP	JOINT POLE	WV	WATER VALVE
L	LENGTH	W/	WITH

SYMBOLS & LEGEND



NOTES

- UTILITY NOTE:** THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY LINES SHOWN HEREON OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.
- ENCROACHMENT PERMIT:** NO CONSTRUCTION ACTIVITY SHALL OCCUR AND NO PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL SHALL BE INSTALLED WITHIN THE CITY RIGHT-OF-WAY OR AFFECTING THE CITY'S IMPROVEMENTS PRIOR TO OBTAINING AN ENCROACHMENT PERMIT FROM THE CITY. ALL IMPROVEMENTS CONSTRUCTED WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS TO THE SATISFACTION OF THE CITY ENGINEER. TRAFFIC CONTROL SHALL CONFORM TO CALTRANS/ MUTCD STANDARD PLANS FOR TRAFFIC CONTROL IN CONSTRUCTION AND MAINTENANCE ZONES.
- SIDEWALK MAINTENANCE AND LIABILITY:** IT SHALL BE THE DUTY OF THE PROPERTY OWNER(S) WHOSE PROPERTY IS ADJACENT TO ANY PORTION OF A PUBLIC STREET OR PLACE TO MAINTAIN ANY SIDEWALKS ALONG THE PROJECT FRONTAGE IN A SAFE AND NON-DAINGEROUS CONDITION. SIDEWALK MAINTENANCE SHALL INCLUDE REMOVAL AND REPLACEMENT OF CONCRETE TO ELIMINATE TRIPPING HAZARDS; AND PRUNING AND TRIMMING OF TREES, SHRUBS, GROUND COVER AND OTHER LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY. THE PROPERTY OWNER HAS THE PRIMARY AND EXCLUSIVE DUTY TO FUND AND PERFORM SUCH MAINTENANCE AND REPAIR, WHETHER THE CITY HAS NOTIFIED THE PROPERTY OWNER OF THE NEED FOR SUCH MAINTENANCE OR REPAIRS OR HAS PERFORMED SIMILAR MAINTENANCE OR REPAIRS IN THE PAST, PURSUANT TO §12.18.020 AND §12.18.030 OF THE HALF MOON BAY MUNICIPAL CODE.
- CONSTRUCTION HOURS:** CONSTRUCTION WORK SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY; 8:00 A.M. TO 6:00 P.M. SATURDAYS; AND 10:00 A.M. TO 6:00 P.M. SUNDAYS AND HOLIDAYS, EXCEPT AS EXPRESSLY AUTHORIZED BY THE CITY ENGINEER IN CONFORMANCE WITH SECTION 14.40.020 OF THE HALF MOON BAY MUNICIPAL CODE.
- NOTICE OF DISRUPTION:** THE PERMITTEE SHALL PROVIDE WRITTEN NOTICE TO AFFECTED PROPERTY AND BUSINESS OWNERS AND A COPY OF SUCH NOTICE TO THE CITY ENGINEER A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY PLANNED DISRUPTION OF PEDESTRIAN OR VEHICULAR TRAFFIC, PARKING, OR PUBLIC SERVICE FACILITIES.
- CONSTRUCTION MATERIAL STORAGE:** CONSTRUCTION MATERIAL SHALL NOT BE STORED IN THE STREET RIGHT-OF-WAY WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
- COPPER BUILDING ELEMENTS:** PRIOR TO ISSUANCE OF BUILDING PERMITS, THE BUILDING PLANS SHALL SPECIFY THAT ALL COPPER BUILDING ELEMENTS WILL BE PRE-PATINATED AT THE FACTORY, OR IF PATINATION WILL OCCUR ON THE SITE, THE PLANS SHALL IDENTIFY BEST MANAGEMENT PRACTICES IN CONFORMANCE WITH THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM REQUIREMENTS FOR ARCHITECTURAL COPPER, TO THE SATISFACTION OF THE CITY ENGINEER.
- STREET/PUBLIC RIGHT-OF-WAY CUTS FOR UTILITY CONNECTIONS:** STREET CUTS FOR UTILITY CONNECTIONS THAT ARE LESS THAN TWENTY (20) FEET APART SHALL BE REPAIRED WITH A SINGLE PATCH. ASPHALT REPAIR AND OVERLAY SHALL BE IN ACCORDANCE WITH THE CITY STANDARD DETAILS. TWO OR MORE STREET CUTS IN THE FRONTAGE ROAD FOR UTILITY CONNECTIONS WILL REQUIRE A SINGLE 2-INCH THICK ASPHALT CONCRETE OVERLAY PATCH ON EXISTING PAVEMENT ACROSS THE PROPERTY FRONTAGE.

TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THIS MAP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED FROM A FIELD SURVEY CONDUCTED BY BKF ENGINEERS.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIFLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND DO NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

FIELD SURVEY DATE: 07/03/23, 07/10/23

BASIS OF BEARINGS

HORIZONTAL COORDINATES ARE ON AN ASSUMED SYSTEM BASED ON THE CONTROL POINTS SHOWN HEREON AN COORDINATES BELOW:

	NORTHING	EASTING	ELEVATION	
1	10475.64	5077.68	60.60	MAG NAIL
2	10000.00	5000.00	64.38	MAG NAIL

BENCHMARK

ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, DERIVED FROM GPS OBSERVATIONS ON LEICA'S "SMARTNET" REAL TIME NETWORK (RTN).

DATE OF SURVEY: 07/03/2023 (EPOCH 2023.5027)

SITE BENCHMARK IS SHOWN HEREON AS POINT NO. 2.

FLOOD ZONE RATING:

THE SUBJECT PROPERTIES APPEAR ON F.I.R.M. MAP NO. 06081C0260E, EFFECTIVE DATE OCTOBER 16, 2012, AND LIES WITHIN ZONE "X", DESCRIBED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONING:

C-D COMMERCIAL, DOWNTOWN

UTILITIES

WATER SUPPLY:	COASTSIDE COUNTY WATER DISTRICT
FIRE PROTECTION:	COASTSIDE FIRE PROTECTION DISTRICT
SEWAGE DISPOSAL:	MID-COASTSIDE SEWER AUTHORITY
STORM DRAIN:	CITY OF HALF MOON BAY
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T
CABLE TELEVISION:	AT&T

SHEET INDEX

SHEET NO.	SHEET TITLE
C1.0	NOTES, LEGEND, & ABBREVIATIONS
C2.0	EXISTING CONDITIONS
C3.0	PARCELIZATION PLAN
C3.1	PROPOSED PARCELIZATION PLAN
C4.0	PRELIMINARY SITE PLAN
C5.0	PRELIMINARY GRADING PLAN
C5.1	CROSS SECTIONS
C6.0	PRELIMINARY UTILITY PLAN
C7.0	PRELIMINARY STORMWATER CONTROL PLAN
C8.0	DETAILS
C8.1	DETAILS

ARCHITECT

VAN METER WILLIAMS POLLACK LLP
333 BRYANT STREET, SUITE 300
SAN FRANCISCO, CA 94107

CIVIL ENGINEER

JANINE LAPP, PE
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600
SAN FRANCISCO, CA 94111
415.930.7900

ENGINEER'S STATEMENT

THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

Janine Lapp

JANINE LAPP, P.E.
PROJECT MANAGER
BKF ENGINEERS



1.22.2024

DATE

**VAN METER
WILLIAMS
POLLACK** LLP

ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | BAYVIEW | BIRMINGHAM
333 Bryant Street, Suite 300, San Francisco, CA 94107 | 415.930.7900

CIVIL ENGINEERING

BKF ENGINEERS

150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

JETT LANDSCAPE ARCHITECTURE + DESIGN

2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT

STEINBERG HART

333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

NOTES, LEGEND,
& ABBREVIATIONS

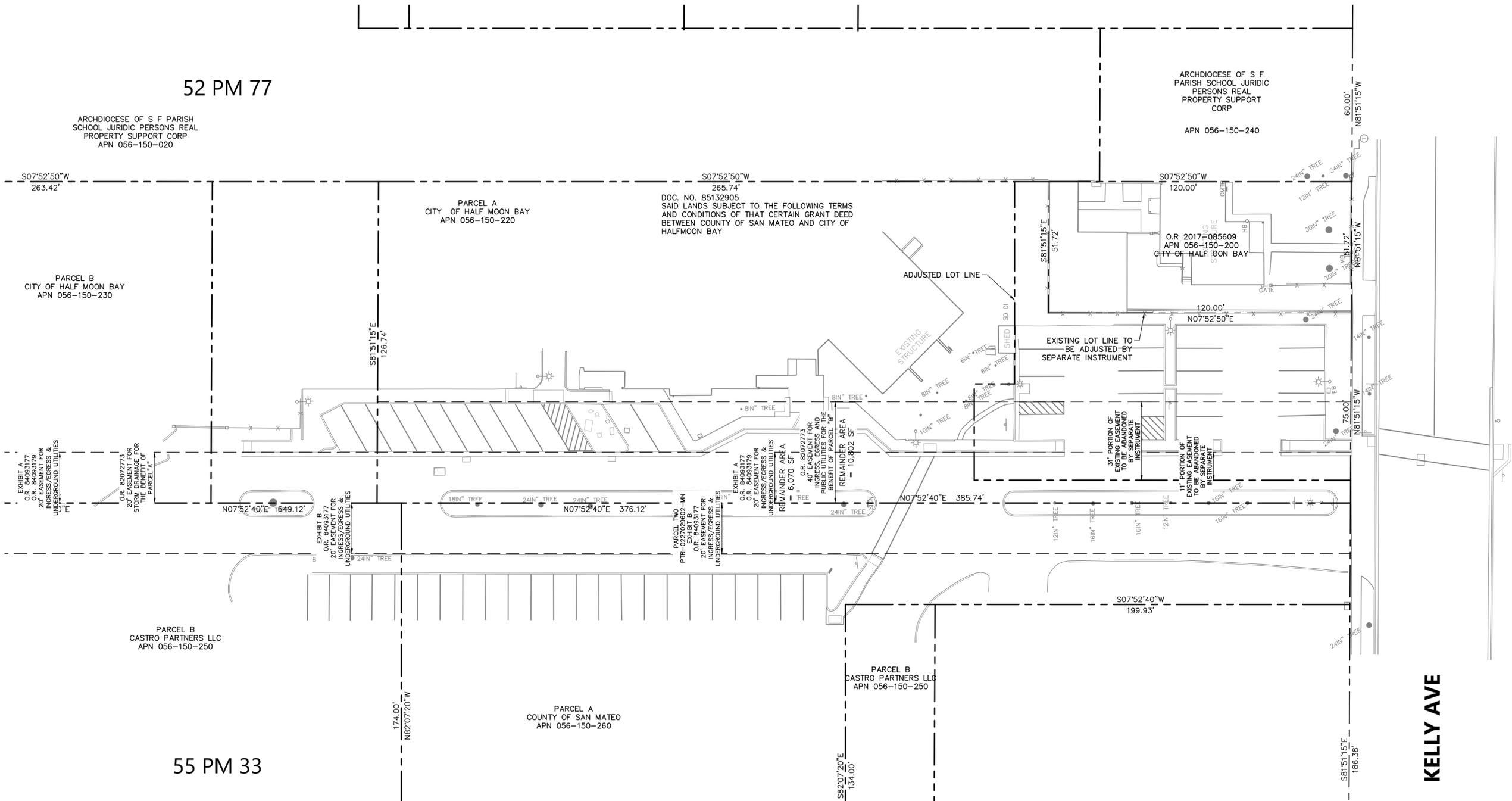
JOB #: 221803

SCALE: N/A

C1.0

DATE: 1.22.2024

52 PM 77



55 PM 33

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:

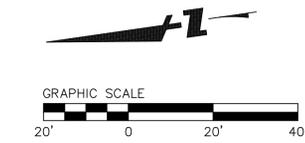
**mercy
HOUSING**
 1256 MARKET STREET,
 SAN FRANCISCO, CA 94102

PARCELIZATION PLAN

JOB #: 221803
 SCALE: 1"=20'

C3.0

DATE: 1.22.2024



52 PM 77

ARCHDIOCESE OF S F PARISH
SCHOOL JURIDIC PERSONS REAL
PROPERTY SUPPORT CORP
APN 056-150-020

ARCHDIOCESE OF S F
PARISH SCHOOL JURIDIC
PERSONS REAL
PROPERTY SUPPORT
CORP

APN 056-150-240

PARCEL A
CITY OF HALF MOON BAY
APN 056-150-220

DOC. NO. 85132905
SAID LANDS SUBJECT TO THE FOLLOWING TERMS
AND CONDITIONS OF THAT CERTAIN GRANT DEED
BETWEEN COUNTY OF SAN MATEO AND CITY OF
HALFMOON BAY

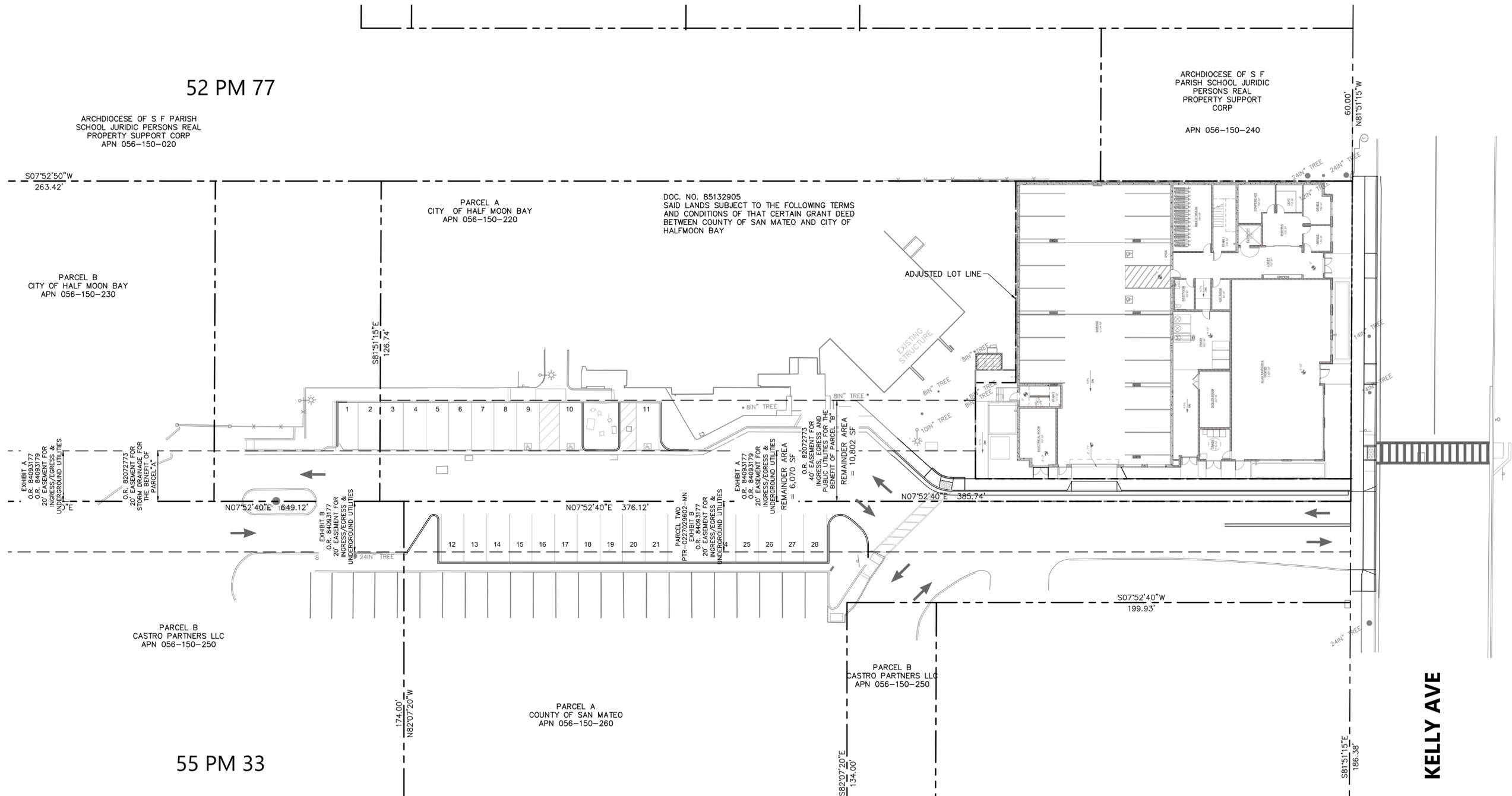
PARCEL B
CITY OF HALF MOON BAY
APN 056-150-230

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

PARCEL A
COUNTY OF SAN MATEO
APN 056-150-260

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

55 PM 33



- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

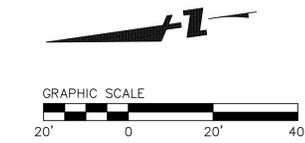
Client:
 **mercy
HOUSING**
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**PROPOSED
PARCELIZATION PLAN**

JOB #: 221803
SCALE: 1"=20'

C3.1

DATE: 1.22.2024



52 PM 77

ARCHDIOCESE OF S F PARISH
SCHOOL JURIDIC PERSONS REAL
PROPERTY SUPPORT CORP
APN 056-150-020

ARCHDIOCESE OF S F
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HALFMOON BAY

PARCEL B
CITY OF HALF MOON BAY
APN 056-150-230

PR DIRECTIONAL
ARROW

PR CURB RAMP
SEE CALTRANS DETAIL
A88A

CONFORM TO EXISTING
CURB, GUTTER, AND
SIDEWALK

OR 2017-085609
APN 056-150-200
CITY OF HALF MOON BAY

PR SIDEWALK
(SI-3)
(CB.0)

PR CURB AND
GUTTER
(SI-2)
(CB.0)

5.00' SIDEWALK
5.00' LANDSCAPE

EXISTING CROSSWALK
SIGN AND BEACON

EXISTING CROSSWALK
BEACON PUSH BUTTON
TO REMAIN

REPLACE EXISTING
CROSSWALK STRIPING,
SEE CALTRANS DETAIL
A24F

PR CURB RAMP
SEE CALTRANS DETAIL
A88A

S07°52'50"W
263.42'

S07°52'50"W
265.74'

S07°52'50"W
206.00'

60.00'
N81°51'15"W

S81°51'15"E
126.74'

263.38'
N07°52'40"E

N07°52'40"E
285.74'

75.00'
N81°51'15"W

CONFORM TO EXISTING
6" VERTICAL CURB

REPLACE EX
PEDESTRIAN
CROSSING STRIPING

PR CENTERLINE
STRIPING

PR DIRECTIONAL
ARROW

CONFORM TO EXISTING
CURB, GUTTER, AND
SIDEWALK

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

PR DIRECTIONAL
ARROW

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

PARCEL A
COUNTY OF SAN MATEO
APN 056-150-260

55 PM 33

174.00'
N82°07'20"W

S89°07'20"E
134.00'

26.47'
DRIVE ASLE

S07°52'40"W
199.93'

31.00'
DRIVEWAY

S81°51'15"E
186.38'

KELLY AVE

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
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STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

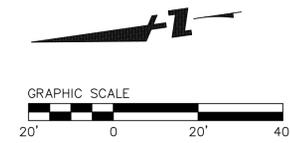
Client:
**mercy
HOUSING**
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

PRELIMINARY
SITE PLAN

JOB #: 221803
SCALE: 1"=20'

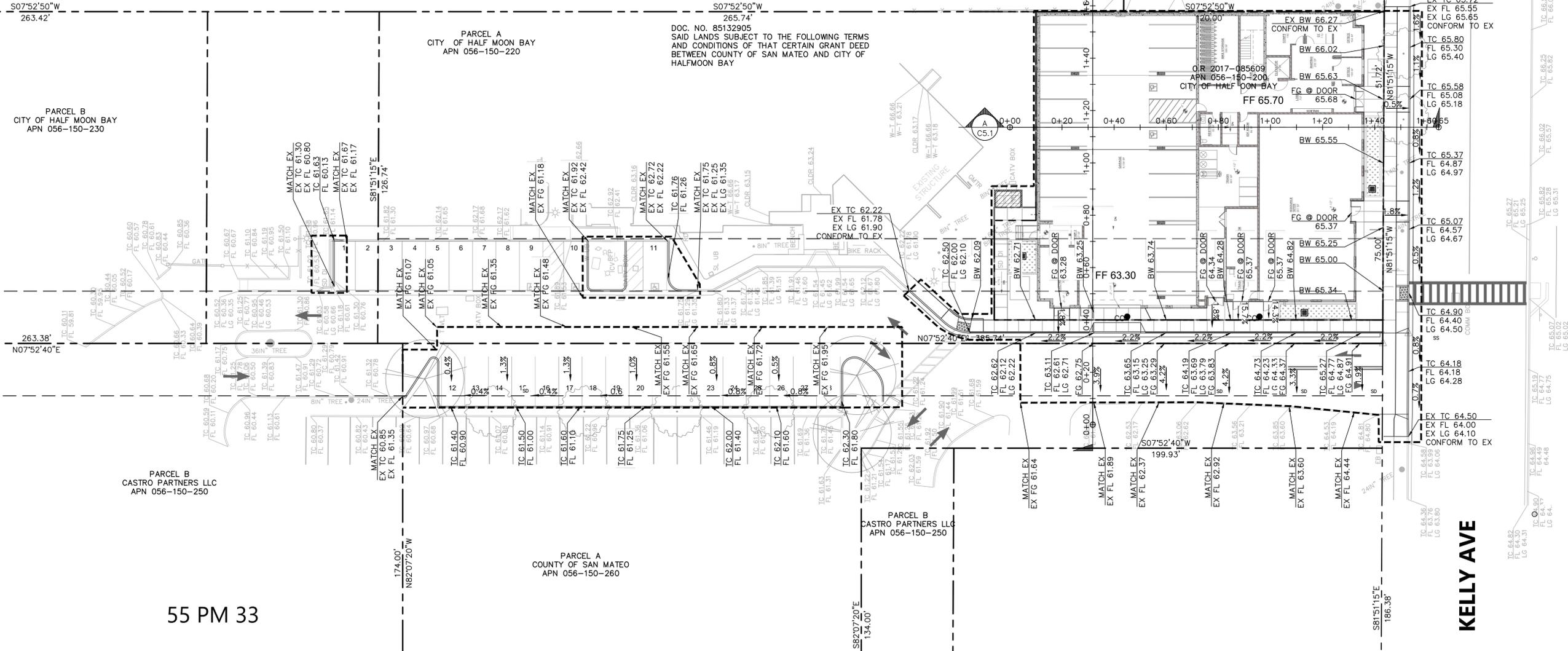
C4.0

DATE: 1.22.2024



52 PM 77

ARCHDIOCESE OF S F PARISH
SCHOOL JURIDIC PERSONS REAL
PROPERTY SUPPORT CORP
APN 056-150-020



55 PM 33

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

PARCEL A
COUNTY OF SAN MATEO
APN 056-150-260

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

ARCHDIOCESE OF S F
PARISH SCHOOL JURIDIC
PERSONS REAL
PROPERTY SUPPORT
CORP
APN 056-150-240

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
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SAN JOSE, CA 95110-017



ID	DATE	NAME

Project: **555 KELLY**

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**PRELIMINARY
GRADING PLAN**

JOB #: 221803
SCALE: 1"=20'

C5.0

DATE: 1.22.2024

NOTES:

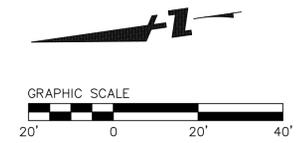
- ALL STORM WATER RUNOFF SHALL BE RETAINED ON SITE AND SHALL NOT DRAIN TOWARDS ADJACENT PROPERTY OWNERS

PRELIMINARY EARTHWORK QUANTITIES

CUT: 30 CY
FILL: 590 CY
TOTAL 560 CY FILL

NOTES:

- EARTHWORK QUANTITIES ARE PRELIMINARY. THESE QUANTITIES DO NOT TAKE INTO ACCOUNT BUILDING FOUNDATION ELEMENTS OR PAVEMENT SECTIONS. CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION REGARDING EARTHWORK VOLUMES.



CIVIL ENGINEERING

BKF ENGINEERS

150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

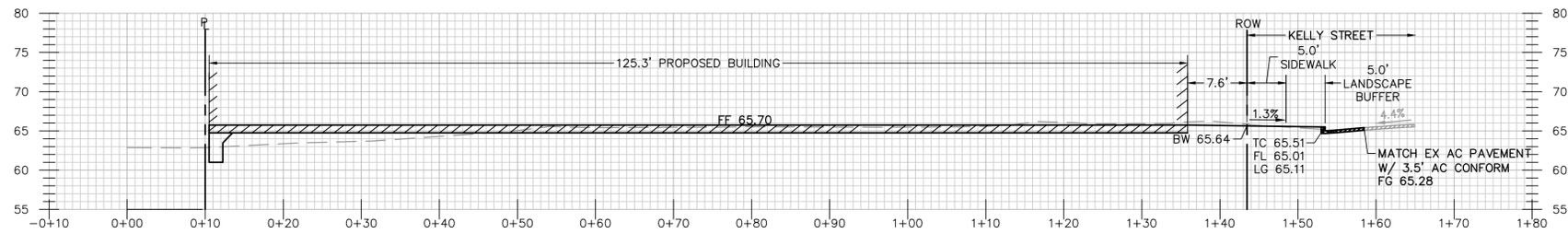
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**

2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563

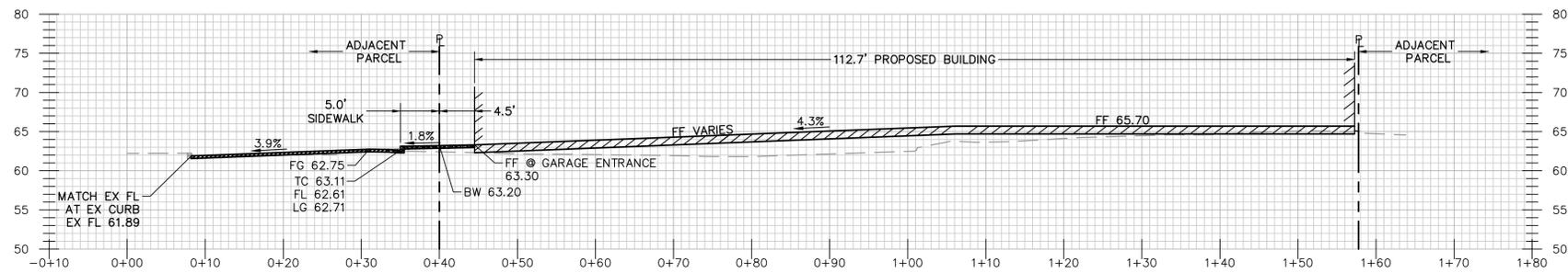
TENANT IMPROVEMENT ARCHITECT

STEINBERG HART

333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



SECTION A PROFILE
SCALE: 1" = 10'



SECTION B PROFILE
SCALE: 1" = 10'

ID	DATE	NAME

Project:

555 KELLY

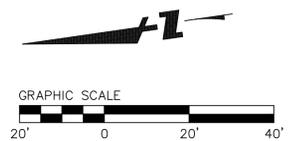
555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

CROSS SECTIONS



JOB #: 221803

SCALE: 1"=20'

C5.1

DATE: 1.22.2024

52 PM 77

ARCHDIOCESE OF S F PARISH
SCHOOL JURIDIC PERSONS REAL
PROPERTY SUPPORT CORP
APN 056-150-020

S07°52'50"W
263.42'

PARCEL B
CITY OF HALF MOON BAY
APN 056-150-230

263.38'
N07°52'40"E

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

55 PM 33

PARCEL A
CITY OF HALF MOON BAY
APN 056-150-220

DOC. NO. 85132905
SAID LANDS SUBJECT TO THE FOLLOWING TERMS
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BETWEEN COUNTY OF SAN MATEO AND CITY OF
HALFMOON BAY

CONNECT PROPOSED DOMESTIC
WATER SERVICE TO EXISTING
WATER POC. LOCATION TO BE
CONFIRMED IN THE FIELD

CONNECT PROPOSED
GAS SERVICE TO
EXISTING GAS METER

PR COMMUNITY
CENTER 1" BFP

PR COMMUNITY CENTER
1" WATER METER

CONNECT TO
EX SSMH
INV 55.55

CONNECT TO
EX SSMH
INV 55.55

PARCEL B
CASTRO PARTNERS LLC
APN 056-150-250

PARCEL A
COUNTY OF SAN MATEO
APN 056-150-260

ARCHDIOCESE OF S F
PARISH SCHOOL JURIDIC
PERSONS REAL
PROPERTY SUPPORT
CORP
APN 056-150-240

EXISTING SANITARY SEWER
LATERAL TO BE REMOVED
OR 2017-085609
APN 056-150-200
CITY OF HALF MOON BAY

EXISTING GAS
LATERAL SERVING
THE COMMUNITY
CENTER TO BE
REMOVED

EXISTING COMMUNITY CENTER
WATER METER TO BE
REMOVED AT THE CORPORATION STOP
AND RELOCATED PRIOR TO THE START
OF CONSTRUCTION

EXISTING HYDRANT
TO BE REPLACED
WITH CLOW 3000

EXISTING SANITARY
SEWER TO BE
RELOCATED

PR SSMH
INV IN 52.40
EX INV THRU 48.18

EXISTING WATER METER SERVING
555 KELLY AVE TO BE
DESTROYED AT THE CORPORATION
STOP PRIOR TO THE START OF
CONSTRUCTION

EXISTING COMMUNITY CENTER
WATER METER TO BE
REMOVED AT THE CORPORATION STOP
AND RELOCATED PRIOR TO THE START
OF CONSTRUCTION

EXISTING HYDRANT
TO BE REPLACED
WITH CLOW 3000

SDOF
INV 59.42

PR FDC

EXISTING SANITARY
SEWER TO BE
RELOCATED

PR SSMH
INV IN 52.40
EX INV THRU 48.18

CONNECT PR
ELEC LINE TO
EX ELEC
SYSTEM

KELLY AVE

WATER SERVICE NOTES:

- RESIDENTIAL DOMESTIC WATER:
- 4" SERVICE
 - 4" METER
 - 4" RP BACKFLOW PREVENTER

- COMMERCIAL DOMESTIC WATER:
- 2" SERVICE
 - 2" METER
 - 2" RP BACKFLOW PREVENTER

- FIRE WATER
- 6" SERVICE
 - 6" DC BACKFLOW PREVENTER

- IRRIGATION
- 1.5" SERVICE
 - 1.5" METER
 - 1.5" RP BACKFLOW PREVENTER

CIVIL ENGINEERING

BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT

STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



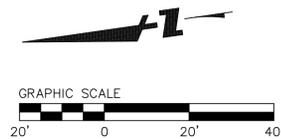
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

PRELIMINARY
UTILITY PLAN

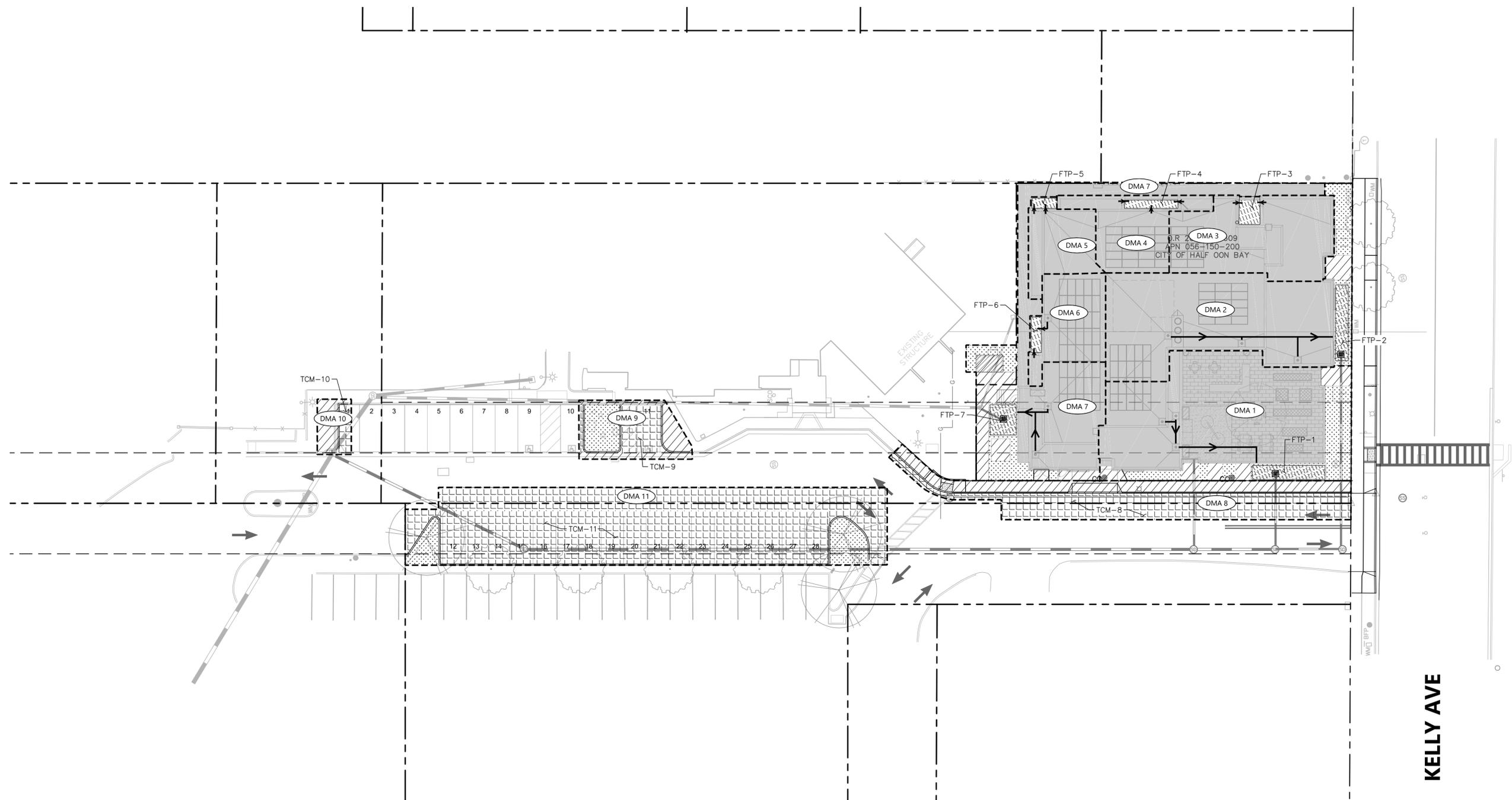
JOB #: 221803
SCALE: 1"=20'

C6.0

DATE: 1.22.2024



- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

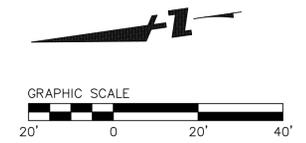
Project: _____

DMA SUMMARY TABLE													
DMA	TCM	DMA AREA (SF)	ROOF (SF)	IMPERVIOUS SURFACE (SF)	IMPERVIOUS PARKING (SF)	PERVIOUS PAVEMENT (SF)	LANDSCAPE (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	TCM TYPE	TREATMENT SIZING METHOD	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)	TREATMENT PONDING DEPTH (FT)
1	1	4550	3528	271	0	0	592	3858	Flow-Thru Planter	4% Impervious	154	159	0.5
2	2	3773	3210	101	0	0	312	3342	Flow-Thru Planter	4% Impervious	134	150	0.5
3	3	1955	1876	0	0	0	0	1876	Flow-Thru Planter	4% Impervious	75	79	0.5
4	4	1082	1013	0	0	0	0	1013	Flow-Thru Planter	4% Impervious	41	69	0.5
5	5	799	759	0	0	0	0	759	Flow-Thru Planter	4% Impervious	30	40	0.5
6	6	1027	971	0	0	0	0	971	Flow-Thru Planter	4% Impervious	39	56	0.5
7	7	3418	2261	580	0	0	451	2886	Flow-Thru Planter	4% Impervious	115	126	0.5
8	8	2505	0	927	0	1578	0	2505	Self-Retaining Pervious Pavement	2:1	464	1578	N/A
9	9	950	0	356	0	336	258	718	Self-Retaining Pervious Pavement	2:1	178	336	N/A
10	10	296	0	190	0	106	0	296	Self-Retaining Pervious Pavement	2:1	95	106	N/A
11	11	5783	0	95	0	5263	425	5401	Self-Retaining Pervious Pavement	2:1	48	5263	N/A

- LEGEND**
- PROPOSED ROOF
 - PROPOSED SIDEWALK
 - PROPOSED PAVEMENT
 - PROPOSED PERVIOUS PAVEMENT
 - PROPOSED LANDSCAPE
 - PROPOSED BIORETENTION
 - DRAINAGE AREA BOUNDARY
 - STORM DRAIN PIPE
 - SCHEMATIC PLUMBING ROUTING (ROOF DRAIN TO FLOW THROUGH PLANTER)
 - DMA 1 DRAINAGE AREA IDENTIFICATION

NOTES:

- ALL STORMWATER RUNOFF SHALL BE RETAINED ON SITE AND SHALL NOT DRAIN TOWARDS ADJACENT PROPERTY OWNERS.



555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**PRELIMINARY
STORMWATER
CONTROL PLAN**

JOB #: 221803
SCALE: 1"=20'

C7.0

CIVIL ENGINEERING

BKF ENGINEERS

150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT

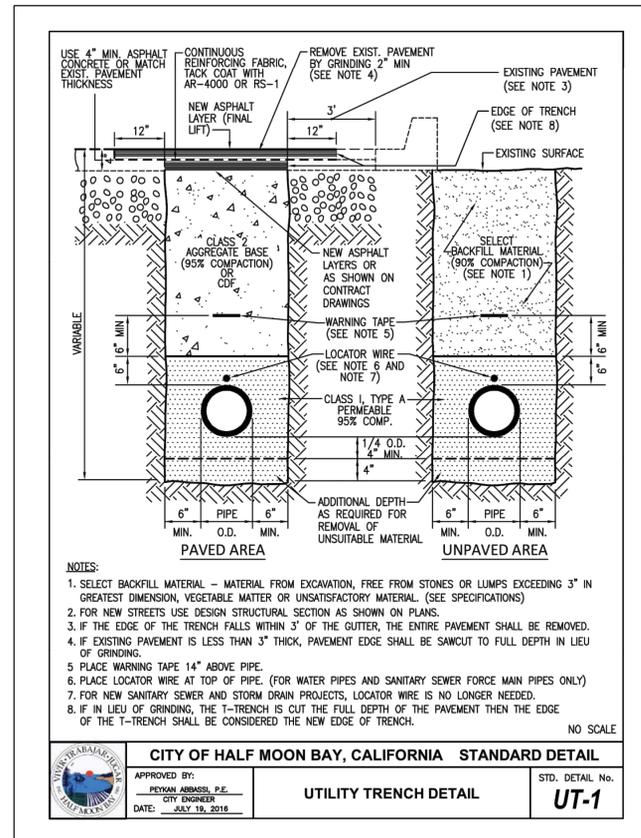
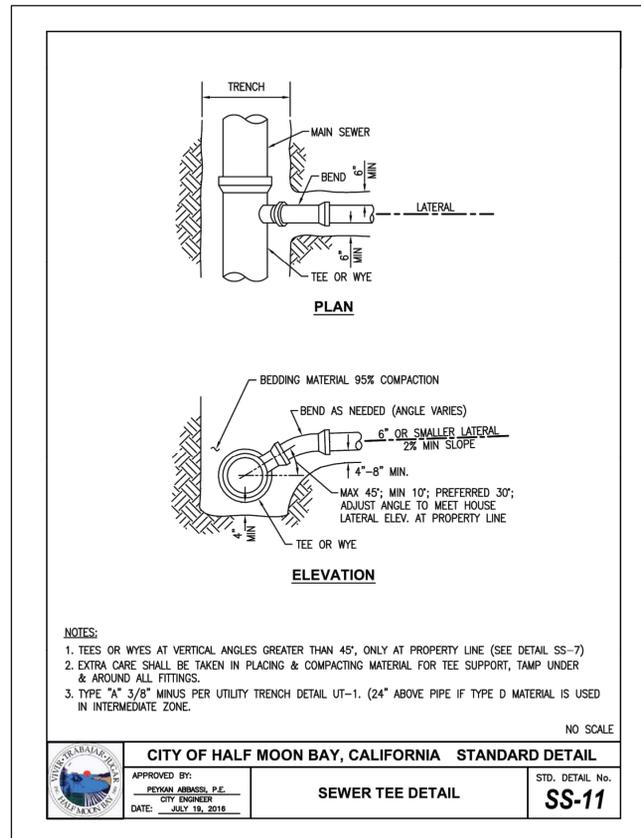
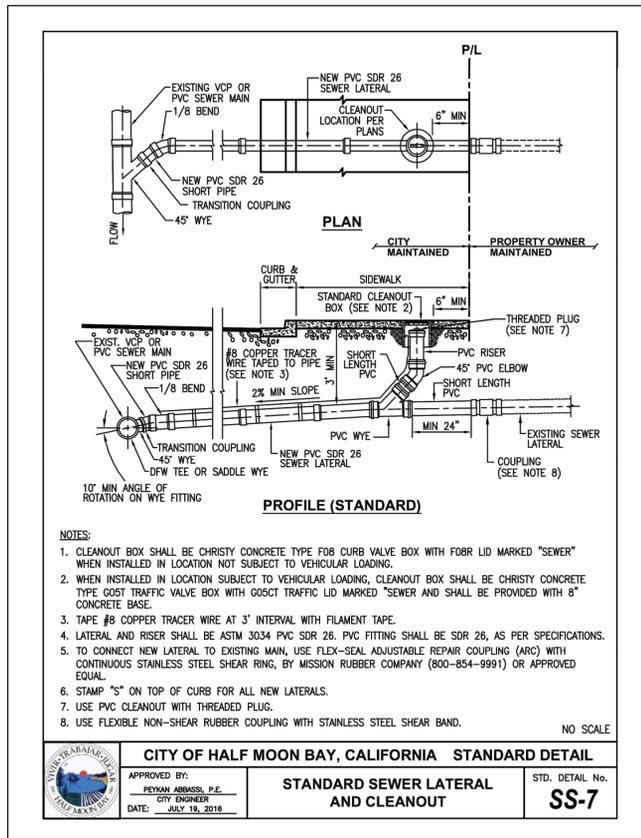
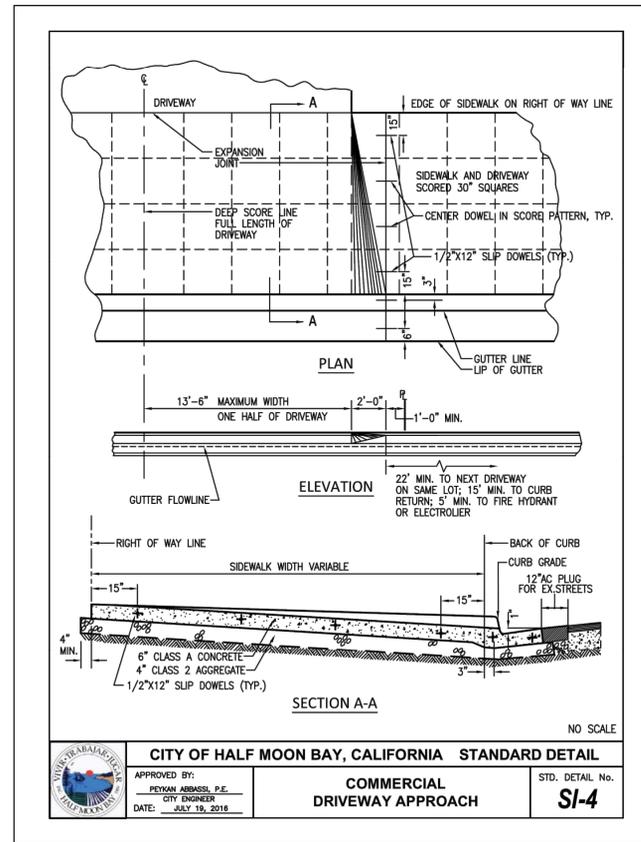
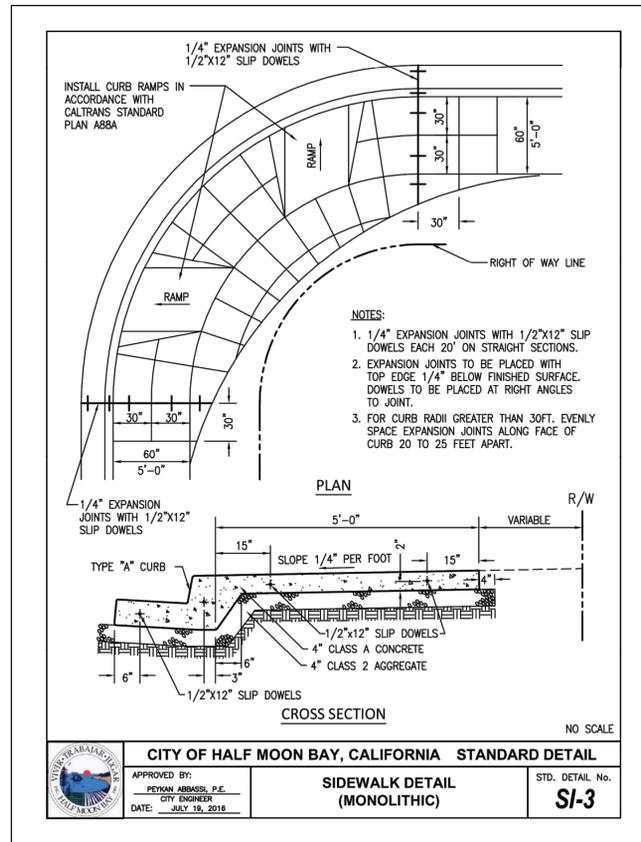
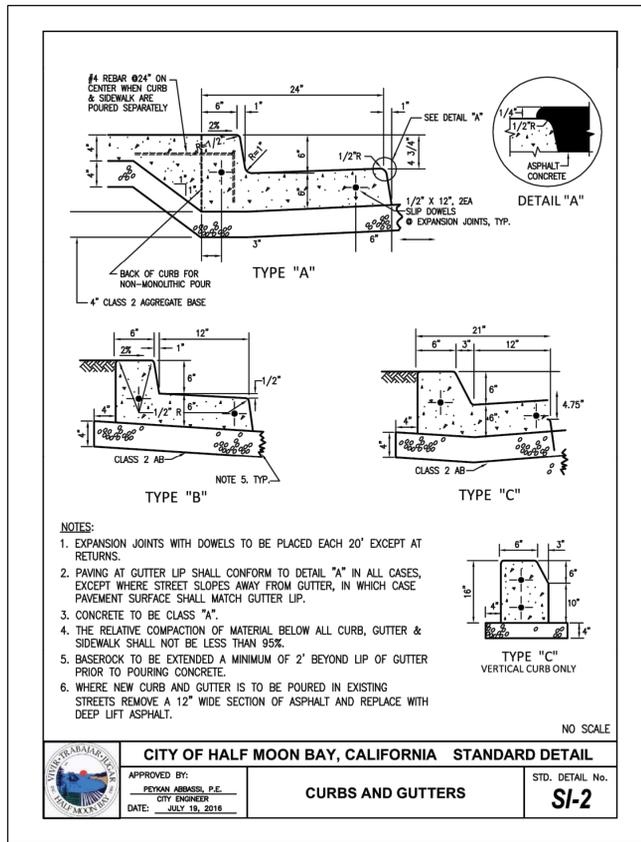
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**

2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT

STEINBERG HART

333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

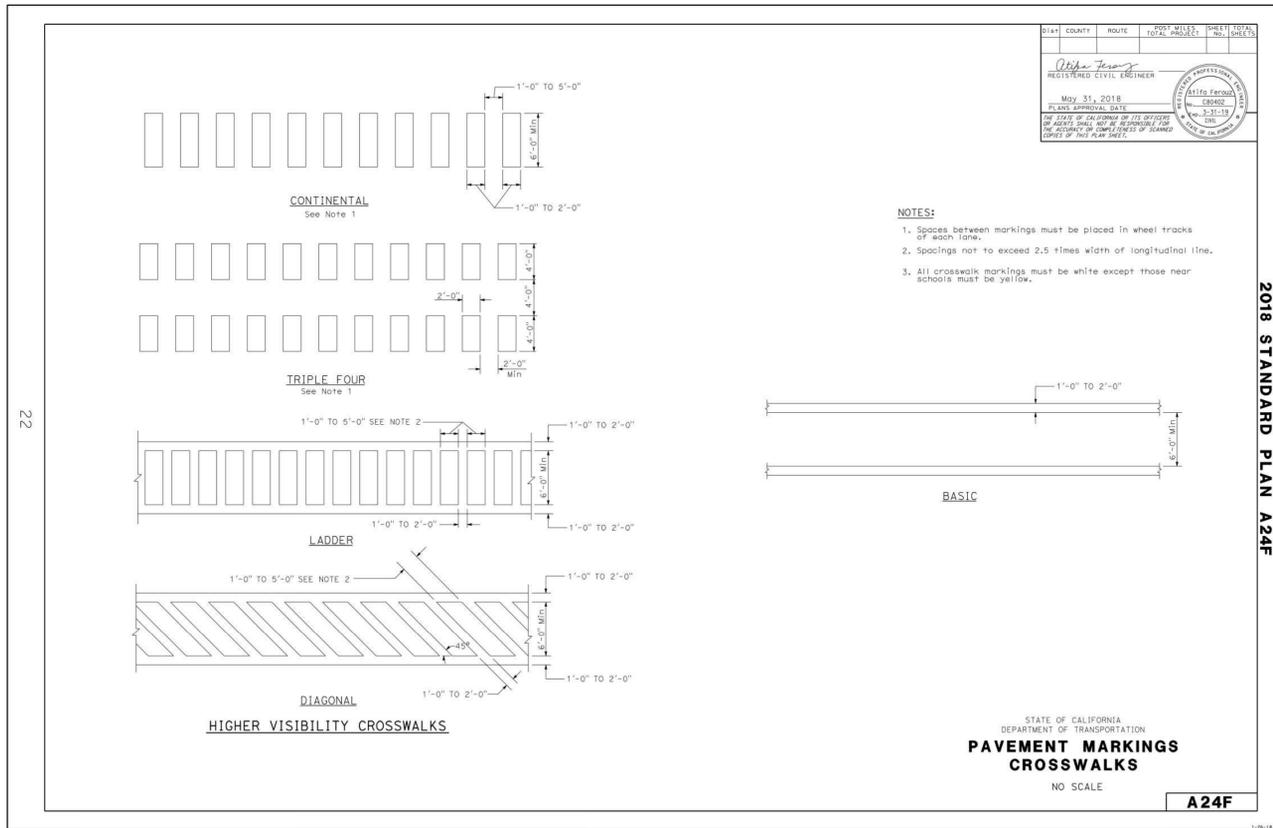
DETAILS

JOB #: 221803

SCALE: NTS

C8.0

DATE: 1.22.2024



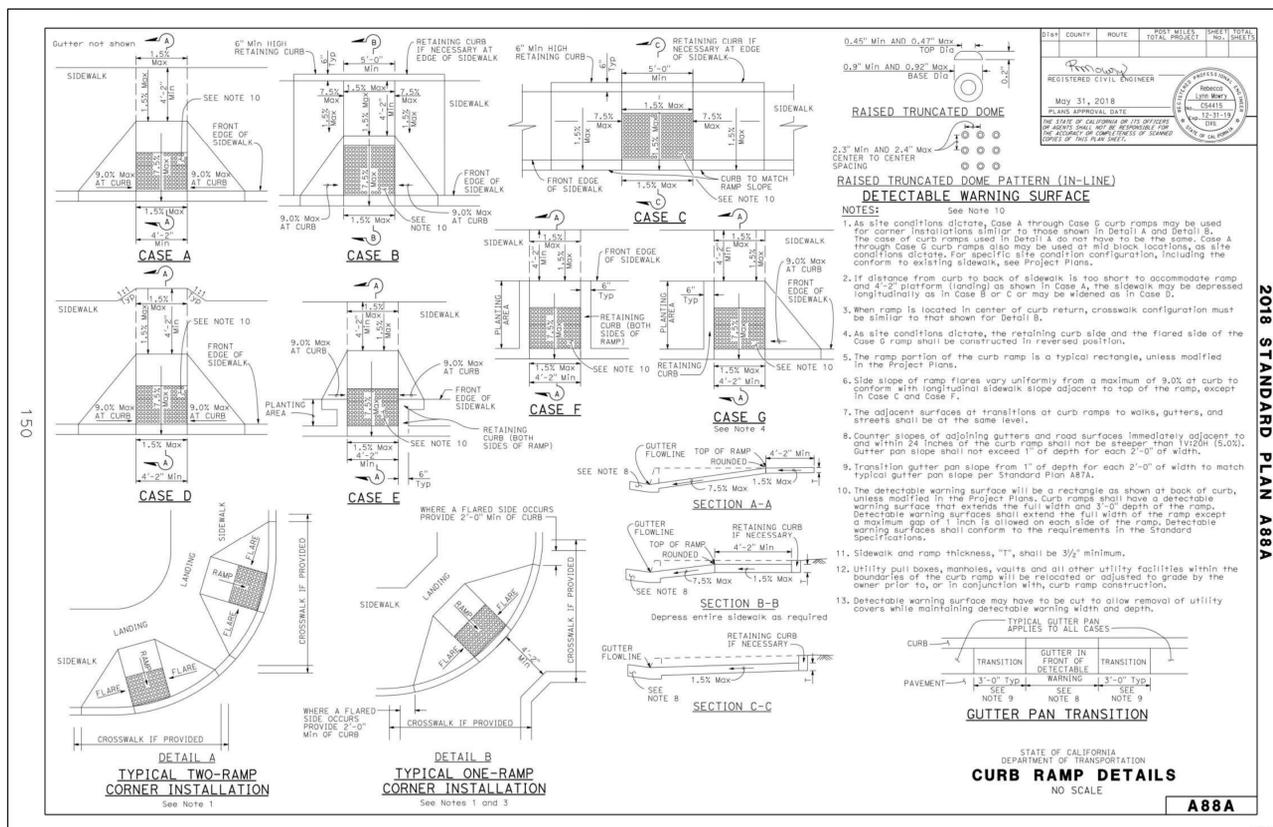
DIST	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET TOTAL SHEETS

REGISTERED CIVIL ENGINEER
 May 31, 2018
 PLANS EXEMPT FROM STATE OF CALIFORNIA OR ITS OFFICES OR AGENCIES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PLAN SHEET.

- NOTES:**
1. Spaces between markings must be placed in wheel tracks of road lanes.
 2. Spacings not to exceed 2.5 times width of longitudinal line.
 3. All crosswalk markings must be white except those near schools must be yellow.

2018 STANDARD PLAN A24F

STATE OF CALIFORNIA
 DEPARTMENT OF TRANSPORTATION
PAVEMENT MARKINGS CROSSWALKS
 NO SCALE
A24F



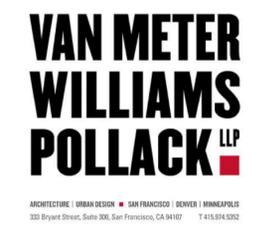
DIST	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET TOTAL SHEETS

REGISTERED CIVIL ENGINEER
 May 31, 2018
 PLANS EXEMPT FROM STATE OF CALIFORNIA OR ITS OFFICES OR AGENCIES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SCANNED COPIES OF THIS PLAN SHEET.

- RAISED TRUNCATED DOME DETECTABLE WARNING SURFACE**
- NOTES:**
1. As site conditions dictate, Case A through Case G curb ramps may be used for corner installations similar to those shown in Detail A and Detail B. The case of curb ramps used in Detail A do not have to be the same. Case A through Case G curb ramps also may be used at mid-block locations, as site conditions dictate. For specific site condition configuration, including the conform to existing sidewalk, see Project Plans.
 2. If distance from curb to back of sidewalk is too short to accommodate ramp and 4'-2" platform (landing) as shown in Case A, the sidewalk may be depressed longitudinally as in Case B or C or may be widened as in Case D.
 3. When ramp is located in center of curb return, crosswalk configuration must be similar to that shown for Detail B.
 4. As site conditions dictate, the retaining curb side and the flared side of the Case G ramp shall be constructed in reversed position.
 5. The ramp portion of the curb ramp is a typical rectangle, unless modified in the Project Plans.
 6. Side slope of ramp flares vary uniformly from a maximum of 9.0% at curb to conform with longitudinal sidewalk slope adjacent to top of the ramp, except in Case C and Case F.
 7. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.
 8. Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1/20th (5.0%). Gutter pan slope shall not exceed 1" of depth for each 2'-0" of width.
 9. Transition gutter pan slope from 1" of depth for each 2'-0" of width to match typical gutter pan slope per Standard Plan A87A.
 10. The detectable warning surface will be a rectangle as shown at back of curb, unless modified in the Project Plans. Curb ramps shall have a detectable warning surface that extends the full width and 3'-0" depth of the ramp. Detectable warning surfaces shall extend the full width of the ramp except a maximum gap of 1 inch is allowed on each side of the ramp. Detectable warning surfaces shall conform to the requirements in the Standard Specifications.
 11. Sidewalk and ramp thickness, "T", shall be 3/2" minimum.
 12. Utility pull boxes, manholes, vaults and all other utility facilities within the boundaries of the curb ramp will be relocated or adjusted to grade by the owner prior to or in conjunction with curb ramp construction.
 13. Detectable warning surface may have to be cut to allow removal of utility covers while maintaining detectable warning width and depth.

2018 STANDARD PLAN A89A

STATE OF CALIFORNIA
 DEPARTMENT OF TRANSPORTATION
CURB RAMP DETAILS
 NO SCALE
A89A



- CIVIL ENGINEERING
BKF ENGINEERS
 150 CALIFORNIA STREET, SUITE 600,
 SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
JETT LANDSCAPE ARCHITECTURE + DESIGN
 2 THEATER SQUARE, SUITE 218,
 ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
 333 W SAN CARLOS STREET, #1000
 SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
 HALF MOON BAY, CA 94019

Client:

1256 MARKET STREET,
 SAN FRANCISCO, CA 94102

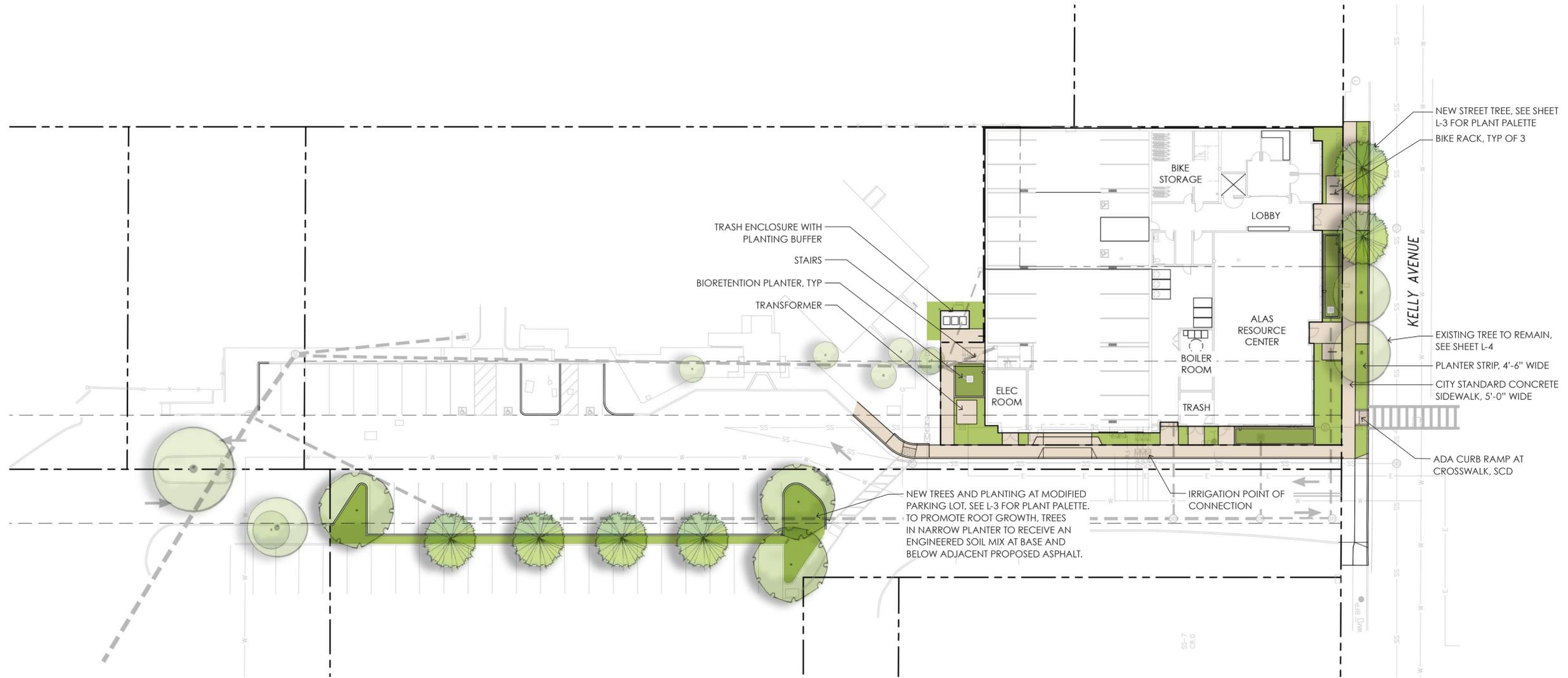
DETAILS

JOB #: 221803
 SCALE: NTS

C8.1

DATE: 1.22.2024

- CIVIL ENGINEERING
BKF ENGINEERS
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SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**PRELIMINARY
LANDSCAPE
PLAN - GROUND
FLOOR**

JOB #: 2236
SCALE: 1" = 20'-0"

L-1

DATE: 04/10/24

PRECEDENT IMAGERY



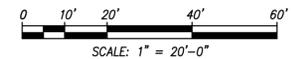
STREET TREES



BIKE RACKS

SHEET LIST

- L-1 PRELIMINARY LANDSCAPE PLAN - GROUND FLOOR
- L-2 PRELIMINARY LANDSCAPE PLAN - PODIUM
- L-3 PLANT PALETTE, IMAGERY, AND WATER USE CALCULATIONS
- L-4 TREE REPLACEMENT PLAN



- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

THERMAL & OVERALL SAFETY OF SPECIFIED SYNTHETIC TURF SURFACING INFORMATION

MANUFACTURER: FOREVERLAWN PLAYGROUND GRASS
SALES REPRESENTATIVE: ROSS RECREATION EQUIPMENT

FOREVERLAWN'S ARTIFICIAL PLAYGROUND GRASS DOES NOT USE RUBBER MATERIALS IN ANY PORTION OF THE MATERIAL CONSTRUCTION; THE FALL ATTENUATING LAYER IS A EPP FOAM PRODUCT (SAFETYFOAM) THAT IS HIGHLY DURABLE AND DESIGNED TO HOLD UP IN OUTDOOR ENVIRONMENTS. WHILE FOREVERLAWN DOES OFFER A CRUMB RUBBER INFILL, ROSS RECREATION DOES NOT OFFER THIS VERSION OF THE SYSTEM AND HAS COMMITTED TO A RUBBER-FREE TURF EXPERIENCE BY USING EITHER NON-INFILL SOLUTIONS OR ENVIROFILL INFILL ONLY ON PROJECTS THAT WE SELL.

IN ADDITION TO BEING A CLEANER AND MORE SUSTAINABLE OPTION, ENVIROFILL INFILL IS 30% COOLER THAN CRUMB RUBBER. THERE'S NO DOUBT THAT ARTIFICIAL GRASS CAN HEAT UP UNDER HIGH TEMPERATURE EXPOSURE BUT WHAT MAKES IT DIFFERENT AND SUPERIOR FROM SOMETHING LIKE POURED-IN-PLACE RUBBER SURFACING IS THAT THE FOREVERLAWN GRASS DISSIPATES HEAT QUICKLY. PRACTICALLY SPEAKING IF YOU WERE TO WALK UP TO A PLAYGROUND ON A HOT DAY WITH POURED-IN-PLACE RUBBER AND COVER THE RUBBER SURFACING, THE RUBBER WOULD HOLD THE HEAT WHEREAS IF YOU WERE TO DO THE SAME TO GRASS, THE HEAT WOULD IMMEDIATELY START TO DISSIPATE - THIS CAN BE EASILY EXPERIENCED IF YOU TAKE A BOOK OR OTHER OBJECT AND SET IT ON TOP OF SURFACING AND THEN RUN YOUR HAND OVER IT AFTER A FEW MINUTES.

FOREVERLAWN HAS PIONEERED SYNTHETIC PLAYGROUND TURF SOLELY FOR PLAYGROUND USE, A STRATEGY UNIQUE TO FOREVERLAWN AS OTHER SYNTHETIC TURF PROVIDERS USE THEIR PRODUCTS UNIVERSALLY ACROSS ALL TURF APPLICATIONS. FOREVERLAWN PLAYGROUND GRASS VOLUNTARILY EXCEEDS HEAD INJURY CRITERION (HIC) RECOMMENDATIONS, MEETS AND EXCEEDS THE ASTM FALL HEIGHT REQUIREMENTS FOR UP TO 15 FEET, AND CAN BE COMBINED WITH SAFETYFOAM TO PROVIDE THE MOST EFFECTIVE IMPACT SAFETY AVAILABLE ON THE MARKET. THOUGH IT DOESN'T MATCH THE SPECIFIC HEAT CAPACITY OF TRADITIONAL GRASS SURFACING, FOREVERLAWN SYNTHETIC TURF HAS A HIGHER SPECIFIC HEAT THAN MOST OTHER PLAYGROUND SURFACING MEANING IT WILL HEAT UP SLOWER AND STAY COOLER IN THE SUN.

INFILL THAT STANDS THE TEST OF TIME
Redefining Your Landscape



"My kids are constantly in and out of the yard, so the anti-microbial infill is helpful in keeping germs at a minimum for all of us."
- Sarah B., Homeowner

Envirofill® makes artificial turf look and feel great. It's tough enough for any application, and it's completely safe. Envirofill is American-made using non-toxic components. No wonder it's the favorite of landscape experts for everything from playgrounds and putting greens to residential lawns and pet areas.

Benefits

- A different kind of infill.** Envirofill is composed of naturally occurring sand found only in the Hickory Formation of central Texas. Its highly-rounded quartz core resists compression so it doesn't compact over the life of the turf.
- It's cleaner.** Microban® antimicrobial protection is infused into Envirofill during the manufacturing process to help prevent the growth of bacteria, mold, and mildew that can cause stains, odors, and product deterioration.
- Sustainable.** Because of its superior durability, Envirofill's cooling and color are warranted for 15 years. When your turf wears out and needs replacement, Envirofill has the potential to be reused in your new turf.
- Easy installation.** With its textured patch layers, landscape turf can be very dense and difficult to infill. Because of Envirofill's rounded shape, uniform size, and smooth surface, it quickly settles down into the turf saving you time, effort, and aggravation.

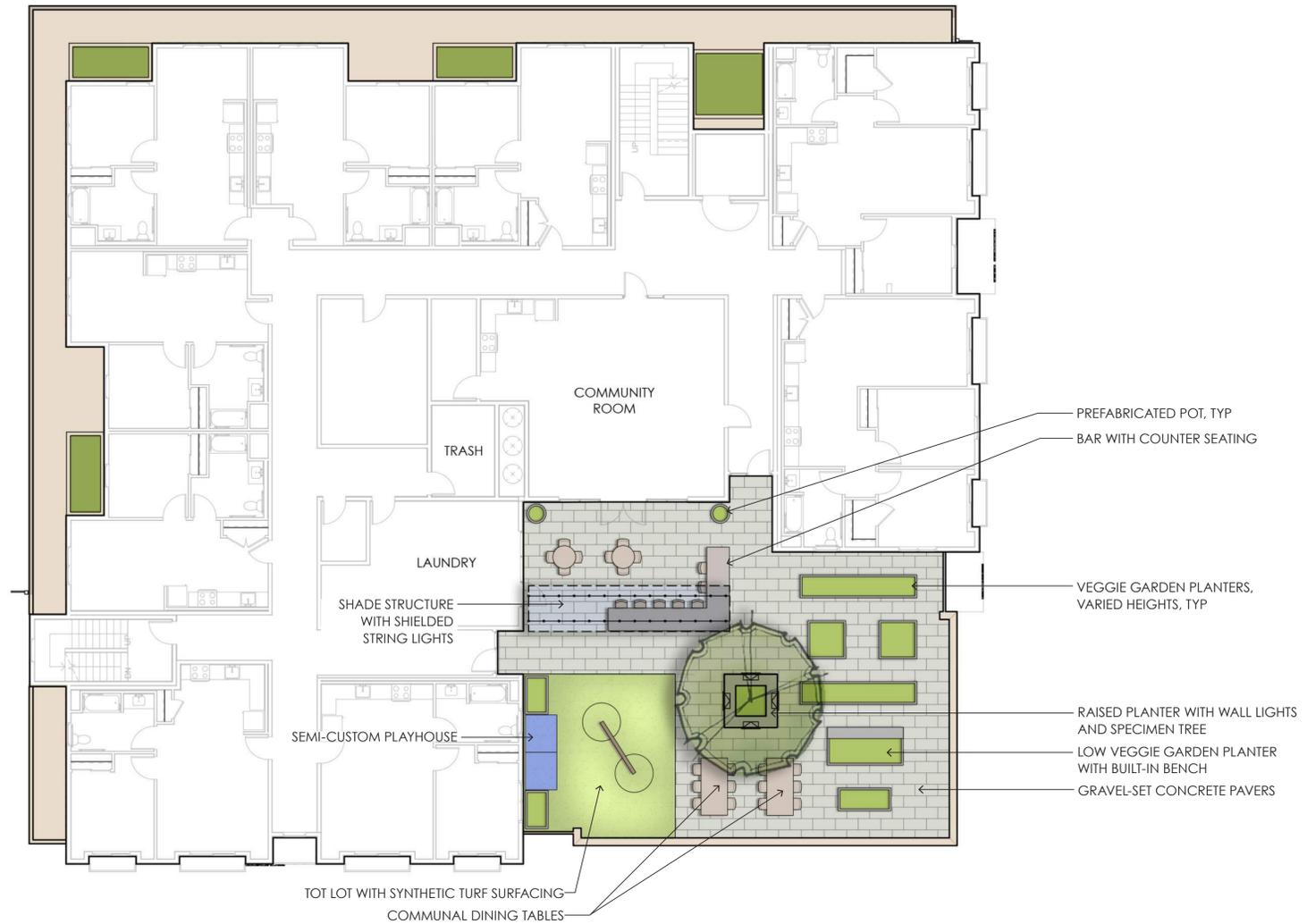
Envirofill's exclusive partnership with Microban provides an added level of antimicrobial protection for the lifetime of your infill.



Contact us today at: 800.548.0402 www.envirofilllandscape.com



Specific Heat Capacity by Surface Type	
Surface Type	Specific Heat
Loose-Fill Materials:	
Sand	.19
Pea Gravel	.24
Engineered Wood Fiber	.5
Rubber Mulch	.3
Unitary Surfaces	
Cement	.21
Asphalt	.22
Rubber Tiles and Poured-in-Place (PIP): Rubber	.3
Synthetic Turf — Polyethylene	.45-.52



PRECEDENT IMAGERY



GRAVEL-SET CONCRETE PAVERS

VEGGIE GARDEN PLANTERS

COUNTER SEATING

SEMI-CUSTOM PLAYHOUSE/
READING NOOK

Introducing the new SafetyFoam Pro underlayment for use under Playground Grass when fall height safety compliance is required. ForeverLawn is again leading the industry by creating a new safety panel that has been tested and certified to a higher standard than any other product on the market.

- Provides the most effective impact safety available on the market with a 700 Head Injury Criterion (HIC) rating, far exceeding the industry standard of 1,000.
- Consistent, predictable fall safety is available over the entire surface.
- New expanded polypropylene (EPP) surface limits expansion for a more consistent, safe surface.
- Weather resistant panels engineered to provide both lateral and vertical drainage.
- Resists mold, mildew, and decay.
- Patent-pending interlocking design helps eliminate gaps in safety.

Ask your local dealer for the IPEMA 700 HIC test certificates!



TOT LOT WITH SYNTHETIC TURF SURFACING



RAISED PLANTER WITH SPECIMEN TREE

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



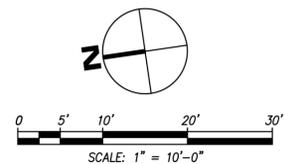
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**PRELIMINARY
LANDSCAPE
PLAN - PODIUM**

JOB #: 2236
SCALE: 1" = 10'-0"

L-2

DATE: 04/10/24



PRELIMINARY PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WTR USE	CA NATIVE (CA) / CA COASTAL NATIVE (CCN)
STREET TREES						
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	24" BOX	PER PLAN	L	-
PARKING LOT TREES						
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	PER PLAN	M	-
TREES						
	ARBUTUS UNEDO 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	L	-
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	PER PLAN	L	-
SHRUBS						
	ACHILLEA SP	YARROW	1 GAL	2'-0" OC	L	CCN
	ANIGOZANTHOS 'AMBER VELVET'	KANGAROO PAW	1 GAL	3'-0" OC	L	-
	ARCTOSTAPHYLOS 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	15 GAL	6'-0" OC	L	CCN
	CEANOITHUS 'WHEELER CANYON'	WHEELER CANYON CALIFORNIA LILAC	2 GAL	6'-0" OC	L	CCN
	CHONDROPETALUM TECTORUM	CAPE RUSH	5 GAL	3'-6" OC	L	-
	COTONEASTER D. 'CORAL BEAUTY'	COTONEASTER	1 GAL	5'-0" OC	L	-
	DENDROMECON HARFORDII	ISLAND BUSH POPPY	5 GAL	6'-0" OC	L	CCN
	DIETES VEGETA 'VARIEGATA'	STRIPED FORTNIGHT LILY	5 GAL	3'-0" OC	L	-
	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOP-BUSH	5 GAL	8'-0" OC	L	-
	GALVEZIA SPECIOSA 'FIRECRACKER'	FIRECRACKER ISLAND SNAPDRAGON	5 GAL	5'-0" OC	L	CCN
	HEMEROCALLIS HYBRID	EVERGREEN DAYLILY	1 GAL	2'-0" OC	M	-
	LANTANA HYBRID	LANTANA	1 GAL	3'-0" OC	L	-
	LEUCODENDRON 'JESTER'	SUNSHINE CONEBUSH	5 GAL	4'-0" OC	L	-
	LIMONIUM PEREZII	STATICE	5 GAL	3'-0" OC	L	-
	MONARDELLA VILLOSA SPP. FRANCISCANA 'RUSSIAN RIVER'	COYOTE MINT	1 GAL	3'-0" OC	L	CCN
	MUHLENBERGIA DUBIA	PINE MUHLY	1 GAL	3'-0" OC	L	-
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	3'-6" OC	L	CA
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GAL	10'-0" OC	L	CCN
	PHORMIUM HYBRID	NEW ZEALAND FLAX	5 GAL	3'-0" OC	L	-
	PITTOSPORUM 'WHEELERS DWARF'	DWARF MOCK ORANGE	5 GAL	4'-0" OC	L	-
	RHAMNUS 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL	8'-0" OC	L	CCN
	ROSA CALIFORNICA 'ELSIE'	CALIFORNIA ROSE	5 GAL	10'-0" OC	L	CCN
	ROSA 'SEA FOAM'	GROUND COVER ROSE	5 GAL	3'-0" OC	M	-
	SALVIA CLEVELANDII	CLEVELAND SAGE	5 GAL	3'-0" OC	L	CA
GROUNDCOVERS						
	ARCTOSTAPHYLOS EDMUNSI 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	5'-0" OC	L	CA
	CISTUS PULVERULENTUS 'SUNSET'	MAGENTA ROCKROSE	1 GAL	5'-0" OC	L	-
	ERIGERON GLAUCUS 'CAPE SEBASTIAN'	CAPE SEBASTIAN SEASIDE DAISY	1 GAL	3'-0" OC	M	CCN
	GREVILLEA 'COASTAL GEM'	COASTAL GEM GREVILLEA	1 GAL	4'-0" OC	L	-
	GRINDELIA STRICTA VAR. PLATYPHYLLA 'RAY'S CARPET'	COASTAL GUM PLANT	1 GAL	3'-0" OC	L	CCN
STORMWATER						
	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	L	CCN
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L	-
	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1 GAL	3'-0" OC	L	CCN

PRELIMINARY WATER USE CALCULATIONS

REFERENCE ANNUAL ET ₀ FOR:	HALF MOON BAY						33.8		
ET ADJUSTMENT FACTOR	0.55	ET ADJ FACTOR PER MWEO & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL				SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)		0.45	
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR METHOD DRIP & BUBB.: 0.81 SPRAY & ROTOR: 0.75		IRRIGATION EFFICIENCY (IE)	ETAF₂ (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF₂ x AREA	ESTIMATED TOTAL WATER USE (ETWU)	
GROUND FLOOR TREES	0.6	B		0.81	0.74	72	53.33	19.84	
GROUND FLOOR PLANTING	0.3	D		0.81	0.37	1615	598.15	111.26	
GROUND FLOOR STORMWATER	0.3	D		0.81	0.37	335	124.07	23.08	
PARKING LOT TREES	0.6	B		0.81	0.74	216	160.00	3352.96	
PARKING LOT PLANTING	0.3	D		0.81	0.37	1250	462.96	86.11	
PODIUM TREES	0.6	B		0.81	0.74	36	26.67	7.44	
PODIUM PLANTING	0.3	D		0.81	0.37	45	16.67	3.10	
PODIUM STORMWATER	0.3	D		0.81	0.37	185	68.52	12.74	
-	0	D		0.81	0.00	0	0.00	0.00	
					TOTAL	3754.00	1510.37	3,616.53	
SPECIAL LANDSCAPE AREAS									
PODIUM	VEGETABLE GARDEN				0	175	0.00	0.00	
--					0	0	0.00	0.00	
					TOTAL	175	0.00	0.00	
TOTAL LANDSCAPE AREA (LA + SLA)						3,929.00			
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)						TOTAL ETWU	3,616.53	
MAWA	[(ANNUAL ETO)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA]]						MAWA	46,935.15	
AVERAGE ETAF	SUM(ETAF ₂ X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA ₂)							0.40	
SITEWIDE ETAF	TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA ₂)							0.38	

PLANTING DESIGN INTENT

- ALL TREES WITHIN 5' OF PAVEMENT SHALL USE TREE ROOT BARRIERS.
- THE PLANTING DESIGN SHALL UTILIZE A VARIETY OF MEDITERRANEAN-STYLE, NATIVE, AND DROUGHT-TOLERANT PLANT SPECIES TO CREATE LAYERS OF COLOR AND TEXTURE TO COMPLEMENT THE ARCHITECTURE AND SETTING.
- PLANT SPECIES SHALL BE SELECTED BASED ON LOCAL CLIMATE SUITABILITY, DISEASE AND PEST RESISTANCE, AND WATER-USE AS LISTED IN THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO) PLANT LIST, WUCOLS IV.
- 80% OF PLANT MATERIAL TO BE NATIVE OR LOW WATER USE AND FOLLOW MWEO GUIDELINES.
- TURF/LAWN SHALL NOT EXCEED 10% OF THE LANDSCAPE AREA. TURF SPECIES, IF INCLUDED, SHALL BE A FESCUE-BLEND TURF GRASS TO MINIMIZE WATER CONSUMPTION.
- NO PLANT CONSIDERED INVASIVE IN THE REGION AS LISTED BY THE CAL-IPC WILL BE USED.
- THE PLANTING DESIGN SHALL ALLOW FOR THE PLANTS TO REACH THEIR NATURAL, FULL-GROWN SIZE TO ELIMINATE THE NEED FOR EXCESSIVE PRUNING OR HEDGING.
- PLANTS SHALL BE GROUPED IN HYDROZONES BASED ON WATER USE AND

IRRIGATION DESIGN INTENT

- THESE PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO), AND THE CITY OF HALF MOON BAY DESIGN GUIDELINES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
- THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP AND BUBBLER DISTRIBUTION, AND SPRINKLERS WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
- IRRIGATION CONTROLLER DO NOT LOSE PROGRAMMING DATA WHEN POWER SOURCE IS INTERRUPTED.
- ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE, AND MINIMUM MAINTENANCE REQUIREMENT.
- THE SYSTEM SHALL INCLUDE A MANUAL SHUT-OFF VALVE, PRESSURE REGULATOR, MASTER CONTROL VALVE, AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.

PLANT IMAGERY

VAN METER WILLIAMS POLLACK LLP
ARCHITECTURE | URBAN DESIGN | SAN FRANCISCO | DENVER | HONOLULU
 333 Bryant Street, Suite 306, San Francisco, CA 94107 | T 415.514.5032

- CIVIL ENGINEERING**
BKF ENGINEERS
 150 CALIFORNIA STREET, SUITE 600, SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT**
JETT LANDSCAPE ARCHITECTURE + DESIGN
 2 THEATER SQUARE, SUITE 218, ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT**
STEINBERG HART
 333 W SAN CARLOS STREET, #1000 SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client: 

1256 MARKET STREET,
SAN FRANCISCO, CA 94102

PLANT PALETTE, IMAGERY, AND WATER USE CALCULATIONS

JOB #: 2236
 SCALE: NA
L-3
 DATE: 04/10/24

CIVIL ENGINEERING

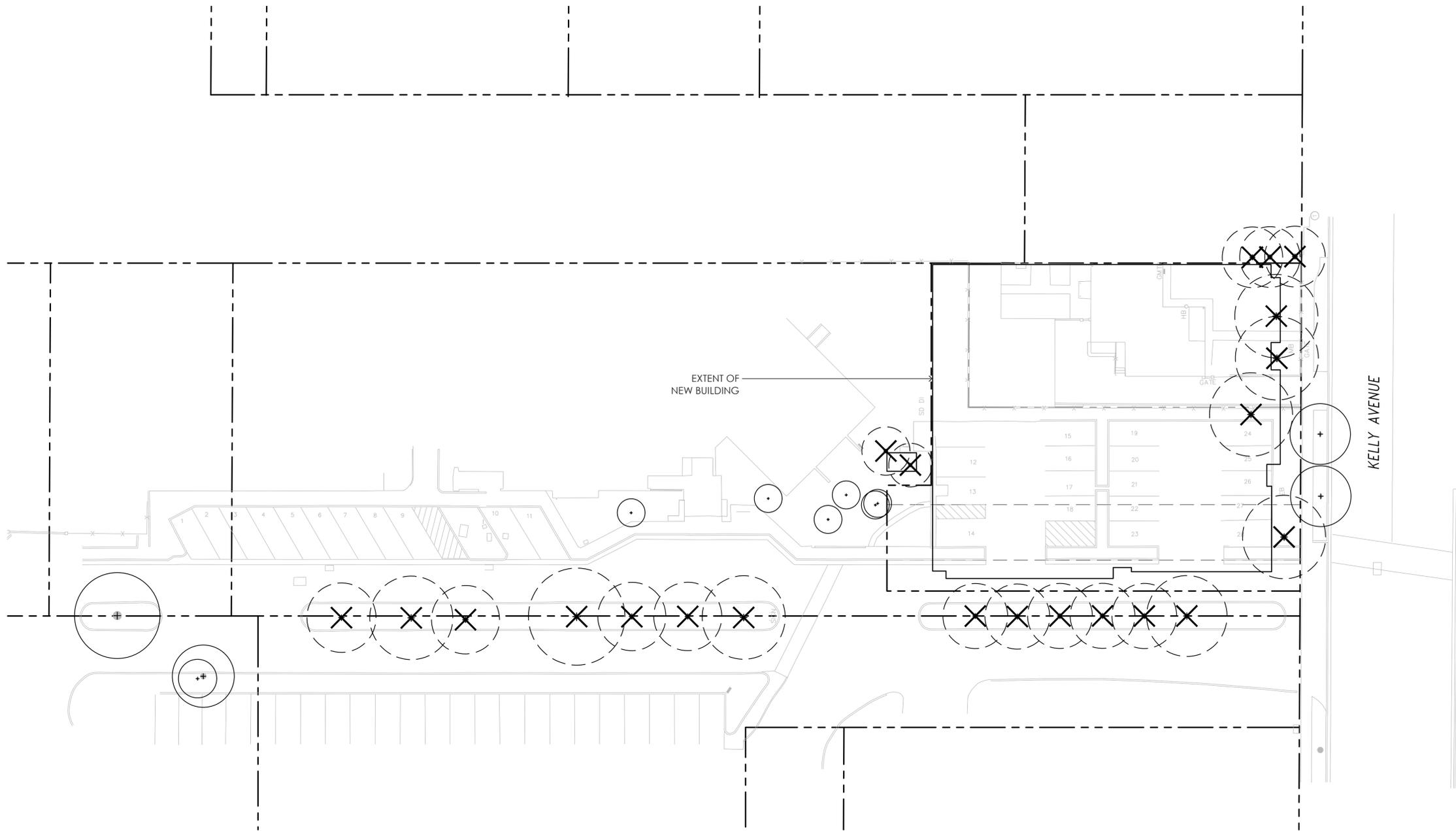
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LANDSCAPE ARCHITECT

**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT

STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



EXISTING TREE LEGEND

SYMBOL	TYPE
	TREES TO BE REMOVED

TREE REPLACEMENT CHART

EXISTING HERITAGE TREES TO BE REMOVED	18
CITY HERITAGE TREE REPLACEMENT RATIO	1:1
REQUIRED NEW TREES	36
PROPOSE NEW TREES	10

NOTES:

1. PLEASE REFER TO ARBORIST REPORT FOR TREE IDENTIFICATION.
2. HERITAGE TREES AS DEFINED IN MUNICIPAL CODE 7.40.020.
 - A. A TREE LOCATED ON PUBLIC OR PRIVATE PROPERTY, EXCLUSIVE OF EUCALYPTUS, WITH A TRUNK DIAMETER OF TWELVE INCHES OR MORE, OR A CIRCUMFERENCE OF AT LEAST THIRTY-EIGHT INCHES MEASURED AT FORTY-EIGHT INCHES ABOVE GROUND LEVEL.
 - B. A TREE OR STAND OF TREES SO DESIGNATED BY RESOLUTION OF THE CITY COUNCIL BASED ON ITS FINDING OF SPECIAL HISTORICAL, ENVIRONMENTAL OR AESTHETIC VALUE, INCLUDING A RESOLUTION ADOPTED UNDER FORMER CHAPTER 12.16.
 - C. A TREE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY ALONG THE ENTIRE LENGTH OF MAIN STREET OR ALONG KELLY AVENUE BETWEEN SAN BENITO STREET AND HIGHWAY 1.
3. PROPOSED REPLACEMENT TREES TO BE A MINIMUM 24" BOX CONTAINER SIZE (SECTION 7.40.060)
3. PLEASE REFER TO SHEETS L-1 AND L-2 FOR LOCATIONS OF PROPOSED TREES.

ID	DATE	NAME

Project:

555 KELLY

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Client:



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SAN FRANCISCO, CA 94102

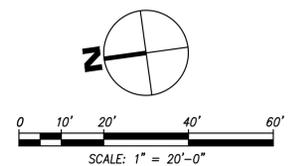
**TREE
REPLACEMENT
PLAN**

JOB #: 2236

SCALE: 1" = 20'-0"

L-4

DATE: 04/10/24



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- LANDSCAPE ARCHITECT
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STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

FLOOR PLAN KEYNOTES

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 PAD MOUNTED TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO REAR PODIUM AREA, SEE SHEET A1.2 FOR RETRACTABLE LADDER INFORMATION
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 FIRE DEPARTMENT ACCESS LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF ACCESS HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN DASHED
- 13 PERMANENTLY INSTALLED ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE
- 18 METAL SUNSHADE



1
A2.1 **1ST FLOOR PLAN**
SCALE: 1/8" = 1'-0"

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:
555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

1ST FLOOR PLAN

JOB #: 2236
SCALE: As indicated

A2.1

DATE: 07/03/23

- 1 BR
- 2 BR
- CIRCULATION
- COMMON
- SERVICES



FLOOR PLAN KEYNOTES

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 PAD MOUNTED TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO REAR PODIUM AREA, SEE SHEET A1.2 FOR RETRACTABLE LADDER INFORMATION
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- 13 PERMANENTLY INSTALLED ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE
- 18 METAL SUNSHADE

1 2ND FLOOR PLAN
A2.2 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING
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333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

2ND FLOOR PLAN

JOB #: 2236
SCALE: As indicated

A2.2

DATE: 07/03/23

- 1 BR
- 2 BR
- CIRCULATION
- COMMON
- SERVICES



FLOOR PLAN KEYNOTES

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 PAD MOUNTED TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO REAR PODIUM AREA, SEE SHEET A1.2 FOR RETRACTABLE LADDER INFORMATION
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 FIRE DEPARTMENT ACCESS LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF ACCESS HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN DASHED
- 13 PERMANENTLY INSTALLED ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE
- 18 METAL SUNSHADE

1 3RD FLOOR PLAN
A2.3 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
JETT LANDSCAPE ARCHITECTURE + DESIGN
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:
555 KELLY
555 KELLY AVE,
HALF MOON BAY, CA 94019
Client:
mercy HOUSING
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

- 1 BR
- 2 BR
- CIRCULATION
- COMMON
- SERVICES



FLOOR PLAN KEYNOTES

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 PAD MOUNTED TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO REAR PODIUM AREA, SEE SHEET A1.2 FOR RETRACTABLE LADDER INFORMATION
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 FIRE DEPARTMENT ACCESS LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF ACCESS HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN DASHED
- 13 PERMANENTLY INSTALLED ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE
- 18 METAL SUNSHADE

1 4TH FLOOR PLAN
A2.4 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

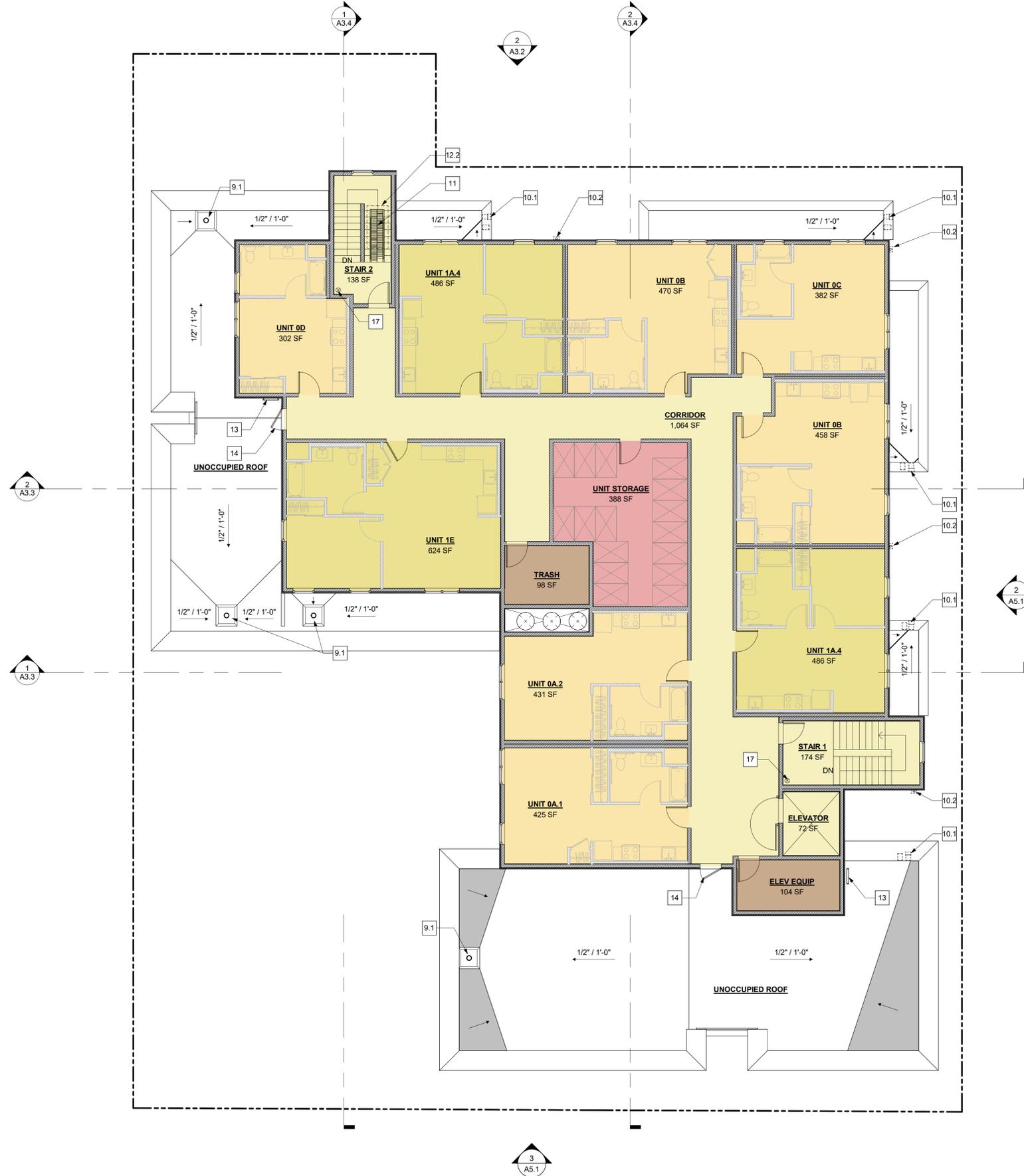
4TH FLOOR PLAN

JOB #: 2236
SCALE: As indicated

A2.4

DATE: 07/03/23

- STUDIO
- 1 BR
- CIRCULATION
- COMMON
- SERVICES



FLOOR PLAN KEYNOTES

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 PAD MOUNTED TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO REAR PODIUM AREA, SEE SHEET A1.2 FOR RETRACTABLE LADDER INFORMATION
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 FIRE DEPARTMENT ACCESS LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF ACCESS HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN DASHED
- 13 PERMANENTLY INSTALLED ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE
- 18 METAL SUNSHADE

1 5TH FLOOR PLAN
A2.5 SCALE: 1/8" = 1'-0"

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

5TH FLOOR PLAN

JOB #: 2236
SCALE: As indicated

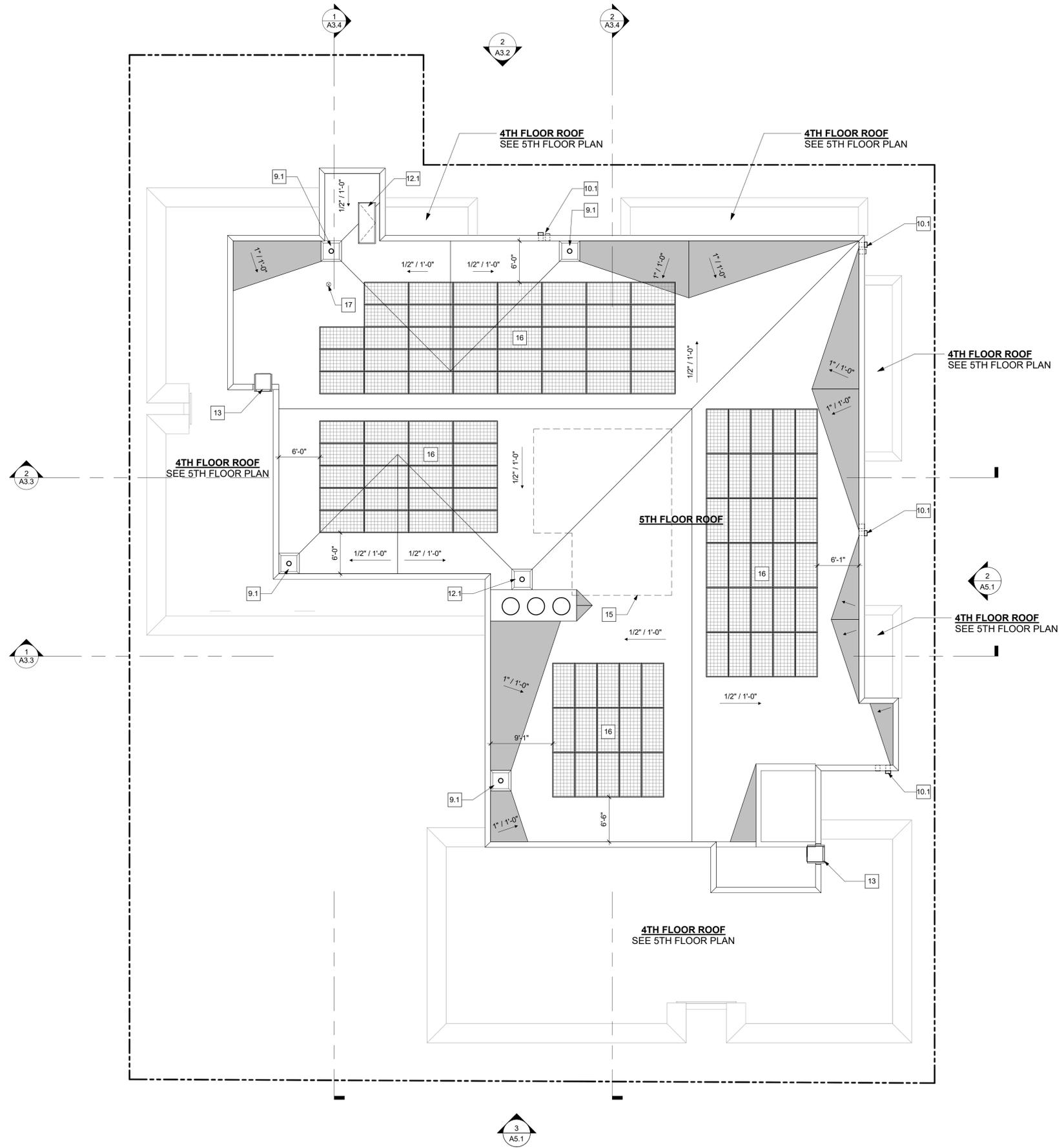
A2.5

DATE: 07/03/23

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

FLOOR PLAN KEYNOTES

- 1.1 RESIDENTIAL MAIN ENTRY
- 1.2 ALAS RESOURCE CENTER MAIN ENTRY
- 1.3 GARAGE VEHICULAR ENTRY
- 2 PAD MOUNTED TRANSFORMER
- 3 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO REAR PODIUM AREA, SEE SHEET A1.2 FOR RETRACTABLE LADDER INFORMATION
- 4 TRASH ENCLOSURE FOR COMMUNITY CENTER
- 5.1 IN-GROUND BIO-RETENTION PLANTER, SCD
- 5.2 RAISED BIO-RETENTION PLANTER, SCD
- 6 JULIETTE BALCONY, TYP
- 7.1 MAIN ENTRY AWNING BELOW
- 7.2 ALAS ENTRY AWNING BELOW
- 8 FIRE DEPARTMENT ACCESS LADDER PAD, TYP
- 9.1 INTERNAL ROOF DRAIN AND SUMP, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 9.2 INTERNAL ROOF DRAIN OUTLET, DRAIN TO BIO-RETENTION PLANTER, SCD
- 10.1 DOWNSPOUT & OVERFLOW SCUPPER, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 10.2 DOWNSPOUT FROM ROOF ABOVE, DRAIN TO BIO-RETENTION PLANTER BELOW, SCD
- 11 ALTERNATING TREAD STAIRS
- 12.1 ROOF ACCESS HATCH
- 12.2 ROOF HATCH ABOVE, SHOWN DASHED
- 13 PERMANENTLY INSTALLED ROOF ACCESS LADDER
- 14 ROOF MAINTENANCE ACCESS DOOR
- 15 UNIT STORAGE BELOW, SHOWN IN DASH, NO PHOTOVOLTAIC PANEL IN THIS AREA
- 16 PHOTOVOLTAIC PANEL
- 17 STANDPIPE
- 18 METAL SUNSHADE



1 ROOF PLAN
A2.6 SCALE: 1/8" = 1'-0"

ID	DATE	NAME
	01/19/24	ENTITLEMENT SET - RESUBMITTAL #1

Project:
555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:
**mercy
HOUSING**
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

ROOF PLAN

JOB #: 2236
SCALE: As indicated

A2.6

DATE: 07/03/23



ELEVATION SHEET NOTES

- 1 FIBER CEMENT BOARD AND BATTEN
- 2 FIBER CEMENT SHINGLE SIDING
- 3 FIBER CEMENT LAP SIDING
- 4 CEMENT PLASTER
- 5 EXPOSED CONCRETE BASE W/ CLEAR ELASTOMERIC COATING, SMOOTH
- 6 FIBER CEMENT PANEL
- 7 LASER CUT METAL PANEL
- 8 METAL GUARDRAIL
- 9 METAL AWNING
- 10 PARAPET CAP
- 11 VINYL WINDOW, DARK BRONZE
- 12 WINDOW TRIM
- 13 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE ANODIZED
- 14 EXTERIOR HOLLOW METAL DOOR
- 15 ROLL UP GARAGE DOOR
- 16 TRANSFORMER
- 17 TRASH ENCLOSURE FOR TED ADCOCK COMMUNITY CENTER, SEE A3.5
- 18 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 2ND FLOOR, SEE A1.2 FOR LADDER CUT SHEETS
- 19 PERMANENT LADDER BETWEEN 4TH AND 5TH FLOOR ROOF
- 20 METAL SUNSHADE W/ LASER CUT PANEL
- 21 METAL ROOF OVERHANG BRACKET
- 22 7FT TALL GLASS WINDSCREEN

COLOR PALETTE INTENT (KELLY MOORE PAINT, UNO)

- A 36 - NAVAJO WHITE
- B KM5372 - COPPER BEACH
- C KM4491 - AGED TEAK
- D KM5823 - CITY TOWER
- E KM4910 - PLATINUM GRANITE
- F 407 - CARBON

2 ELEVATION - SOUTH (KELLY AVE)

A3.1 SCALE: 1/8" = 1'-0"



1 ELEVATION - WEST (DRIVE AISLE)

A3.1 SCALE: 1/8" = 1'-0"

CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111

LANDSCAPE ARCHITECT
JETT LANDSCAPE ARCHITECTURE + DESIGN
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563

TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:
555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:
mercy HOUSING
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

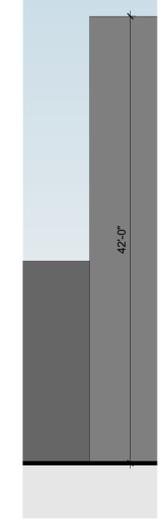
BUILDING ELEVATIONS

JOB #: 2236
SCALE: 1/8" = 1'-0"

A3.1

DATE: 07/03/23

BOYS & GIRLS CLUB





ELEVATION SHEET NOTES

- 1 FIBER CEMENT BOARD AND BATTEN
- 2 FIBER CEMENT SHINGLE SIDING
- 3 FIBER CEMENT LAP SIDING
- 4 CEMENT PLASTER
- 5 EXPOSED CONCRETE BASE W/ CLEAR ELASTOMERIC COATING, SMOOTH
- 6 FIBER CEMENT PANEL
- 7 LASER CUT METAL PANEL
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- 12 WINDOW TRIM
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COLOR PALETTE INTENT
(KELLY MOORE PAINT, UNO)

- A 36 - NAVAJO WHITE
- B KM5372 - COPPER BEACH
- C KM4491 - AGED TEAK
- D KM5823 - CITY TOWER
- E KM4910 - PLATINUM GRANITE
- F 407 - CARBON

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

2 ELEVATION - NORTH
A3.2 SCALE: 1/8" = 1'-0"



1 ELEVATION - EAST
A3.2 SCALE: 1/8" = 1'-0"

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



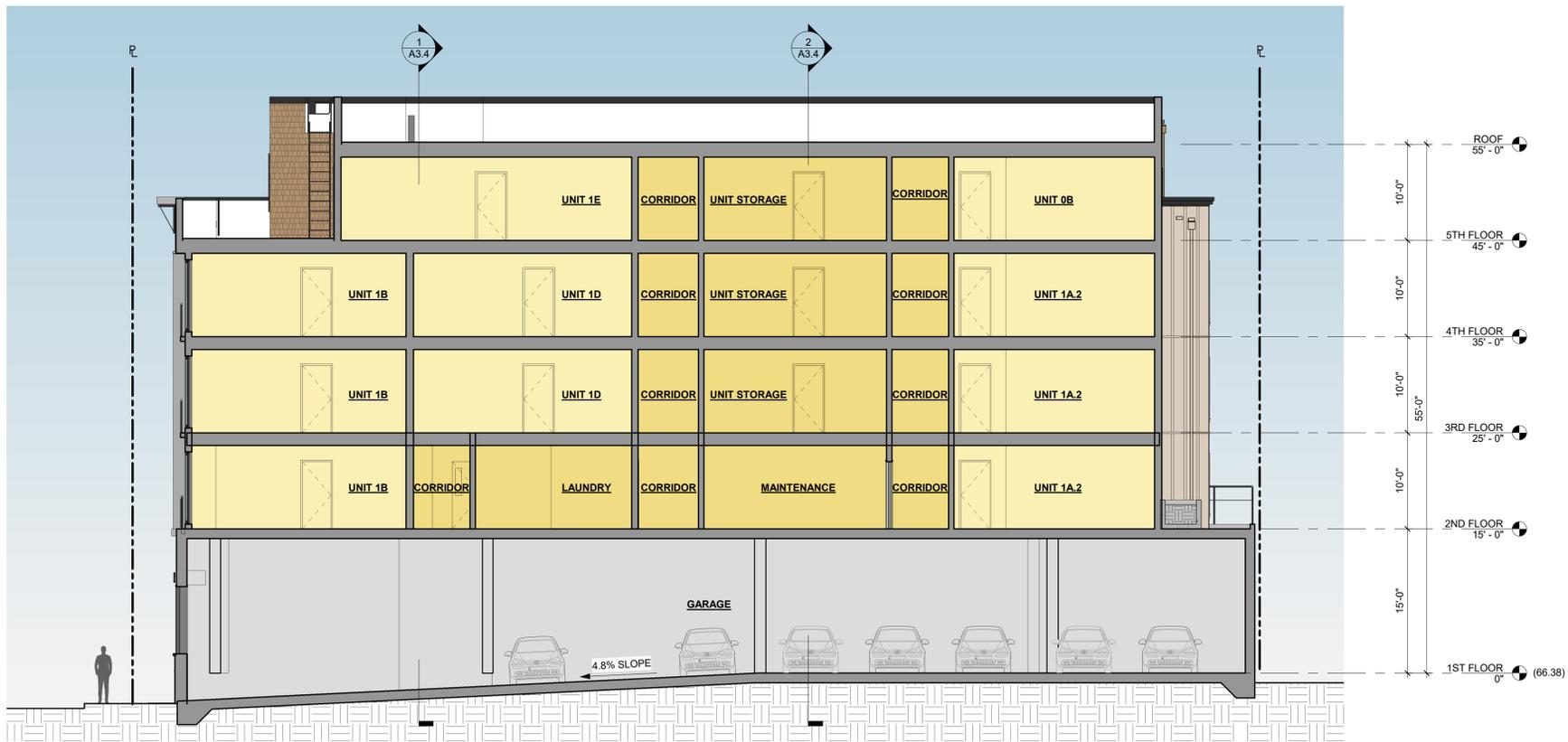
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**BUILDING
ELEVATIONS**

JOB #: 2236
SCALE: 1/8" = 1'-0"

A3.2

DATE: 07/03/23



LEGEND
 R-2
 R-2 CIRCULATION & UTILITY
 S-2

2 BUILDING SECTION - EW 02
 A3.3 SCALE: 1/8" = 1'-0"



LEGEND
 A-3
 R-2
 R-2 CIRCULATION & UTILITY

1 BUILDING SECTION - EW 01
 A3.3 SCALE: 1/8" = 1'-0"

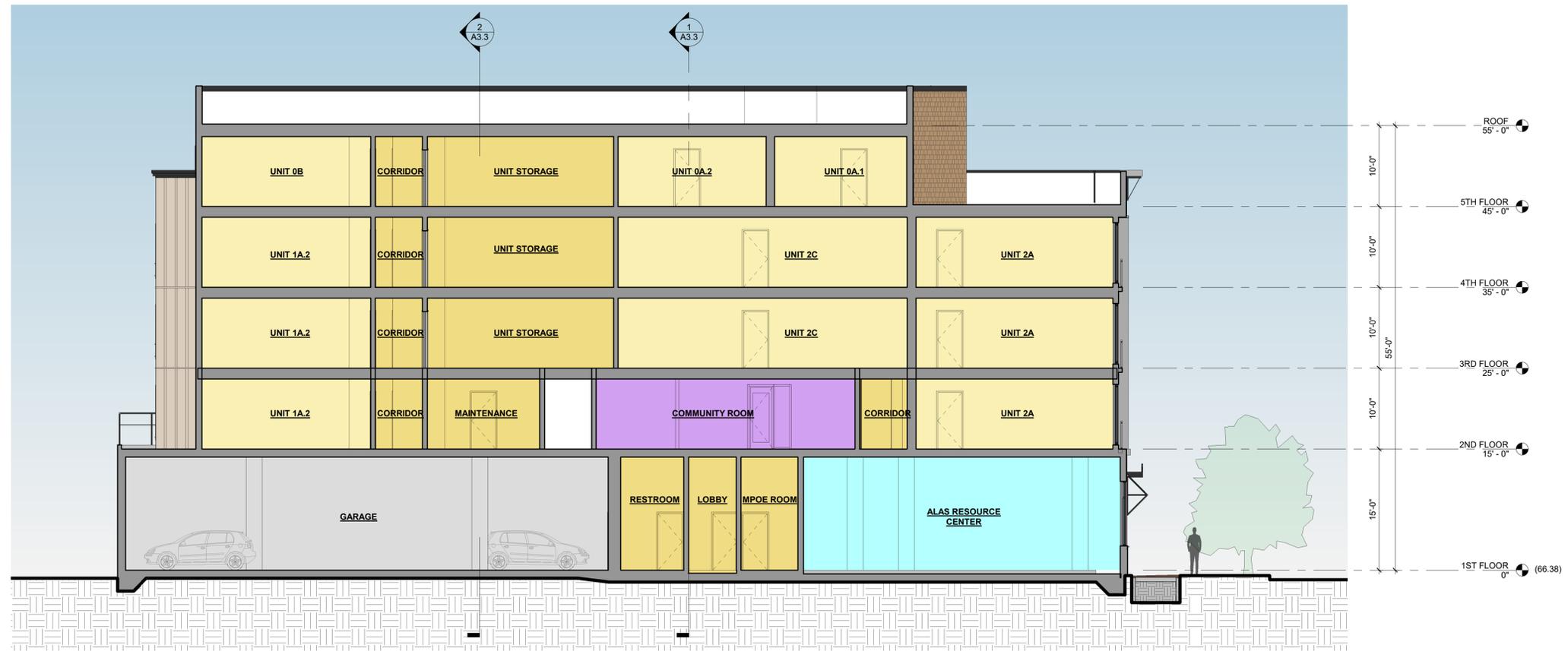
- CIVIL ENGINEERING
BKF ENGINEERS
 150 CALIFORNIA STREET, SUITE 600,
 SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
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- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
 333 W SAN CARLOS STREET, #1000
 SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:
555 KELLY
 555 KELLY AVE,
 HALF MOON BAY, CA 94019
 Client:

 1256 MARKET STREET,
 SAN FRANCISCO, CA 94102

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017



2 BUILDING SECTION - NS 02
A3.4 SCALE: 1/8" = 1'-0"



1 BUILDING SECTION - NS 01
A3.4 SCALE: 1/8" = 1'-0"

- LEGEND**
- R-2
 - R-2 CIRCULATION & UTILITY
 - S-2
 - TI

ID	DATE	NAME

Project:
555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:
**mercy
HOUSING**
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

BUILDING SECTIONS

JOB #: 2236
SCALE: 1/8" = 1'-0"

A3.4

DATE: 07/03/23

MATERIAL



SPLITFACE CMU WALL



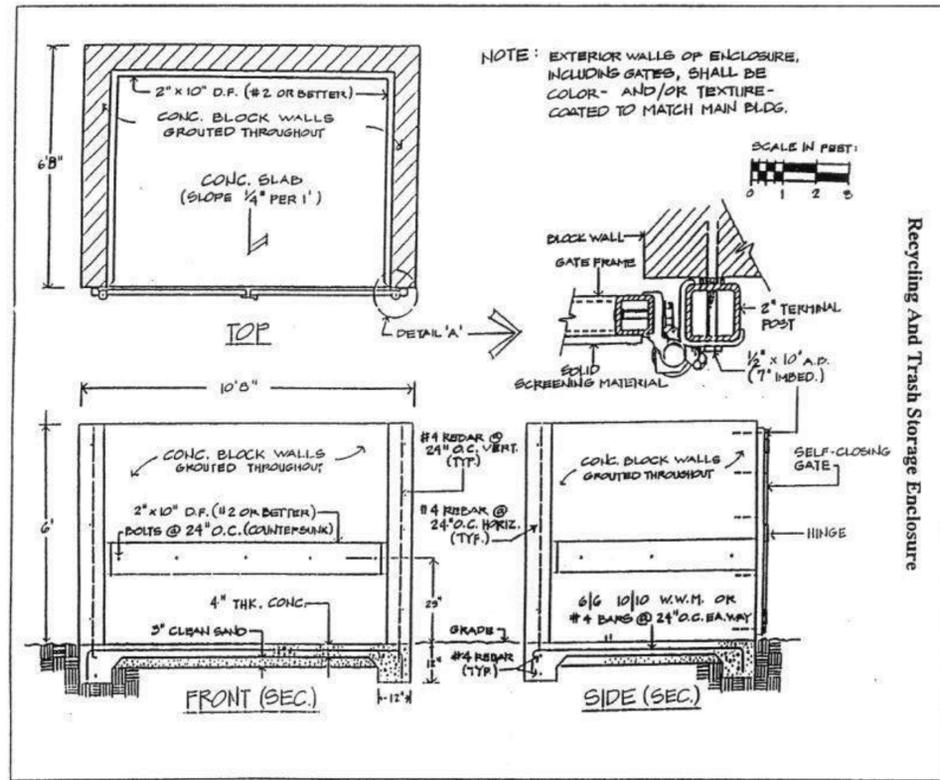
STANDING SEAM METAL ROOF



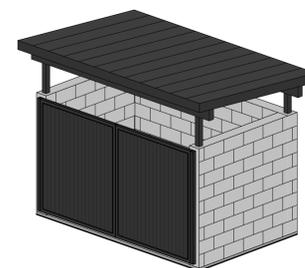
METAL GATE

CITY OF HALF MOON BAY STANDARD DETAIL

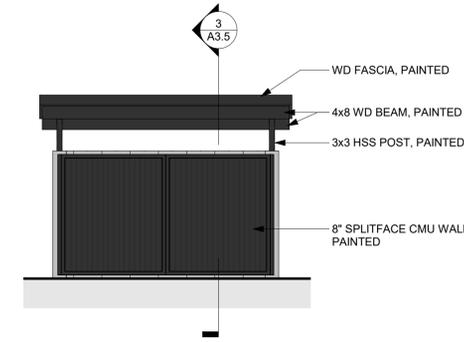
TRASH ENCLOSURES SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH HALF MOON BAY MUNICIPAL CODE 18.31.080 AND THE STANDARD DETAIL BELOW.



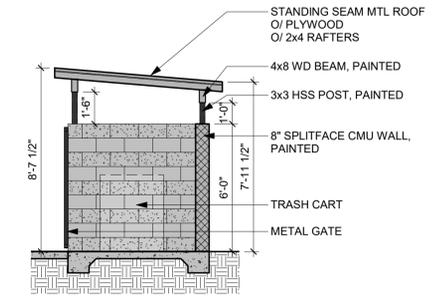
Recycling and Trash Storage Enclosure



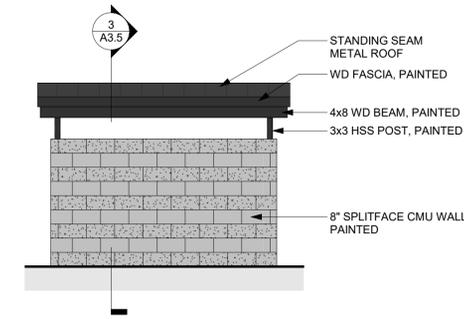
8 TRASH ENCLOSURE 3D VIEW
A3.5 SCALE:



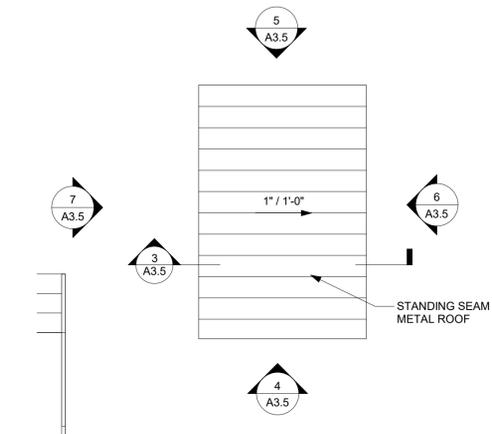
7 TRASH ENCLOSURE WEST ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



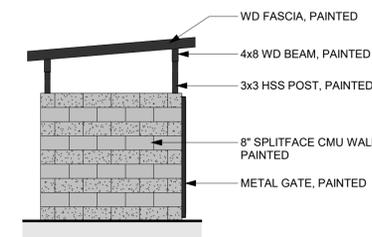
3 TRASH ENCLOSURE SECTION
A3.5 SCALE: 1/4" = 1'-0"



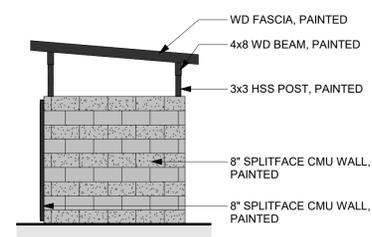
6 TRASH ENCLOSURE EAST ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



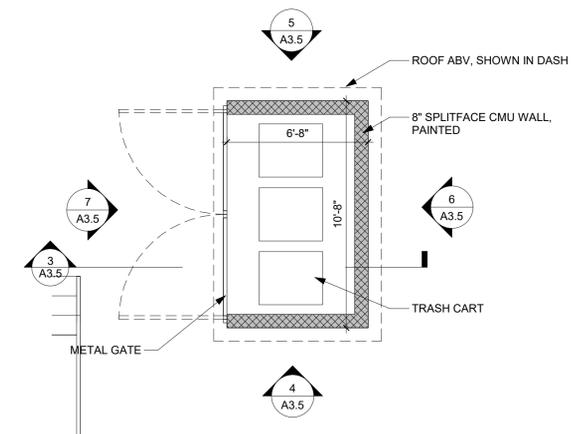
2 TRASH ENCLOSURE ROOF PLAN
A3.5 SCALE: 1/4" = 1'-0"



5 TRASH ENCLOSURE NORTH ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



4 TRASH ENCLOSURE SOUTH ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



1 TRASH ENCLOSURE FLOOR PLAN
A3.5 SCALE: 1/4" = 1'-0"

- CIVIL ENGINEERING
BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600,
SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
JETT LANDSCAPE ARCHITECTURE + DESIGN
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STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:
555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

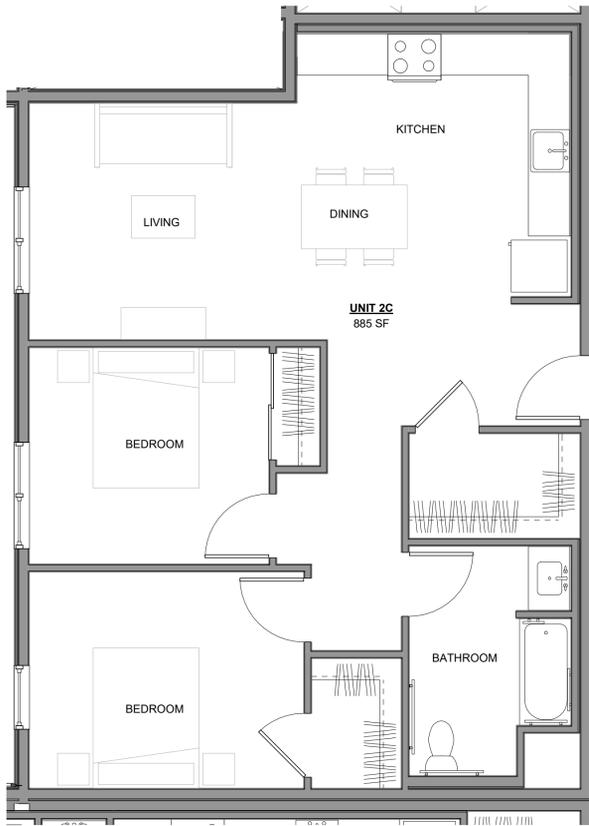
COMMUNITY CENTER TRASH ENCLOSURE

JOB #: 2236
SCALE: 1/4" = 1'-0"

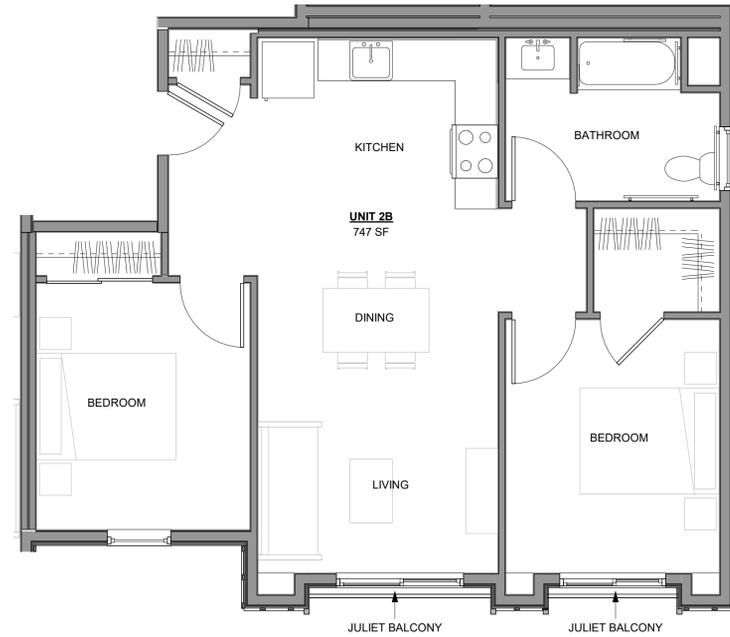
A3.5

DATE: 10/09/23

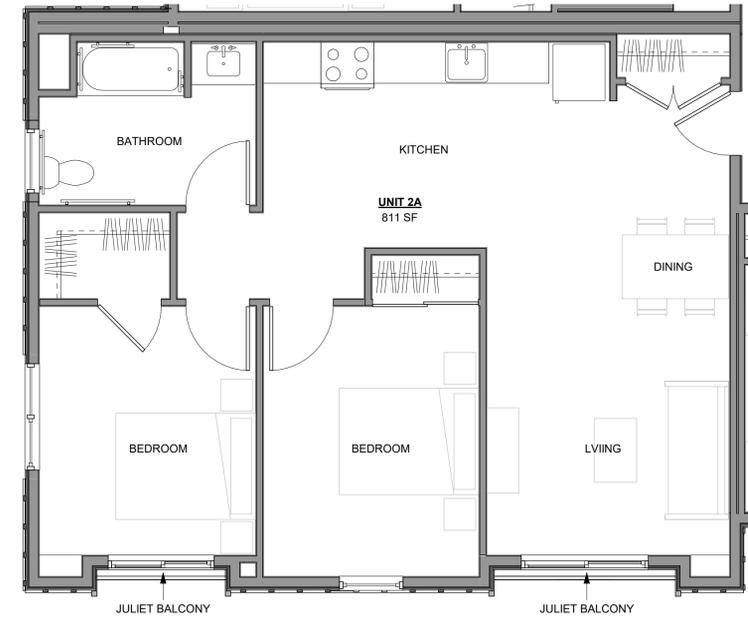
NOTE: UNIT SIZES ARE SHOWN IN NET SF, DIMENSIONED TO THE INTERIOR FACES OF THE WALLS.



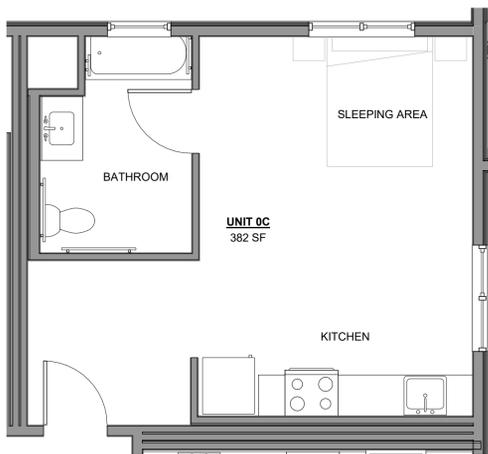
7 UNIT 2C
A4.1 SCALE: 1/4" = 1'-0"



6 UNIT 2B
A4.1 SCALE: 1/4" = 1'-0"



5 UNIT 2A
A4.1 SCALE: 1/4" = 1'-0"



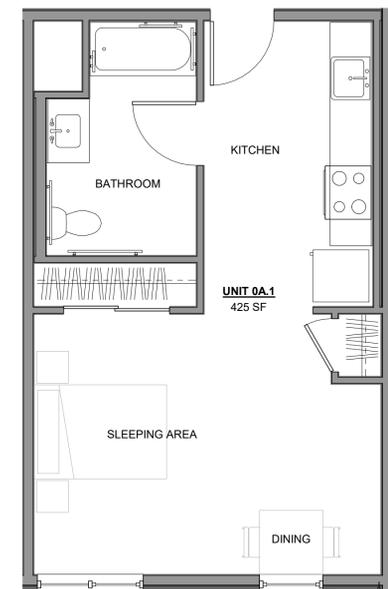
4 UNIT 0C
A4.1 SCALE: 1/4" = 1'-0"



3 UNIT 0B
A4.1 SCALE: 1/4" = 1'-0"



2 UNIT 0A.2
A4.1 SCALE: 1/4" = 1'-0"



1 UNIT 0A.1
A4.1 SCALE: 1/4" = 1'-0"

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BKF ENGINEERS
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SAN FRANCISCO, CA 94111
- LANDSCAPE ARCHITECT
**JETT LANDSCAPE
ARCHITECTURE + DESIGN**
2 THEATER SQUARE, SUITE 218,
ORINDA, CA 94563
- TENANT IMPROVEMENT ARCHITECT
STEINBERG HART
333 W SAN CARLOS STREET, #1000
SAN JOSE, CA 95110-017

ID	DATE	NAME

Project:

555 KELLY

555 KELLY AVE,
HALF MOON BAY, CA 94019

Client:



1256 MARKET STREET,
SAN FRANCISCO, CA 94102

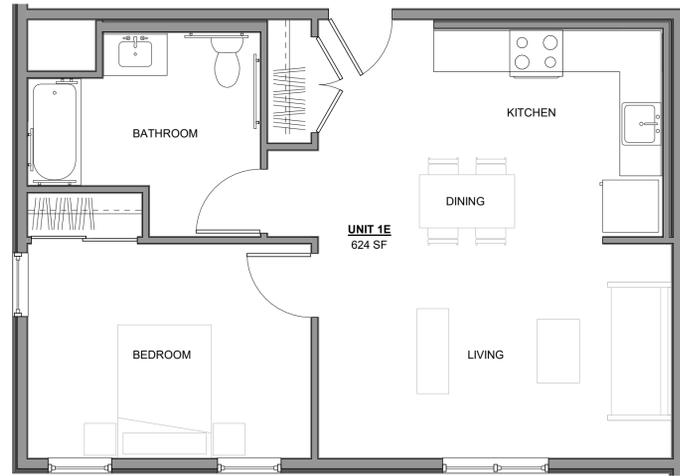
**UNIT PLANS - STUDIO
& 2 BED**

JOB #: 2236
SCALE: 1/4" = 1'-0"

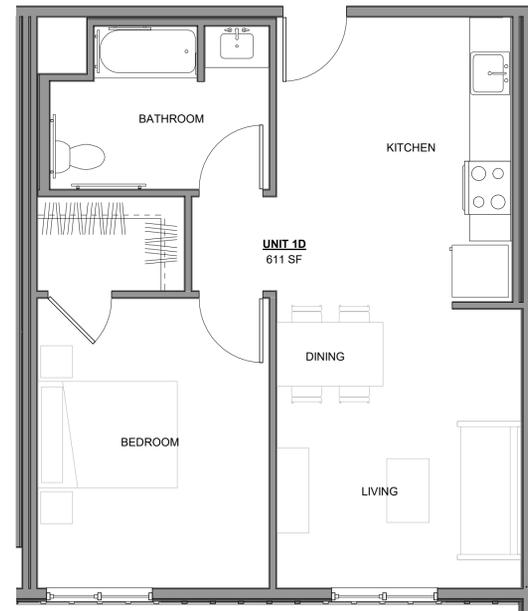
A4.1

DATE: 07/03/23

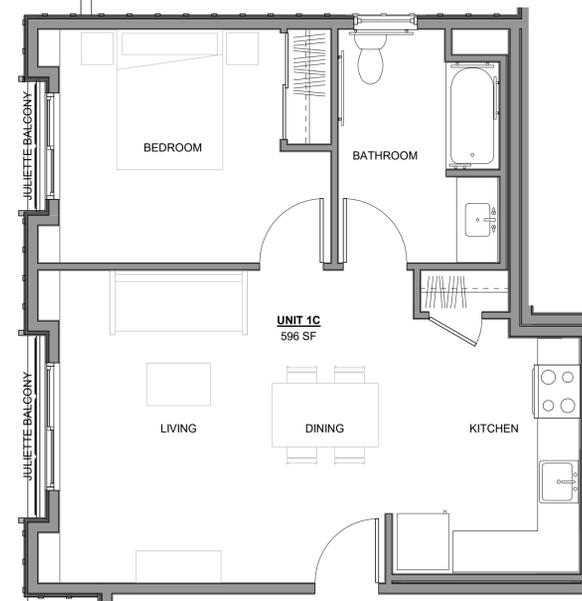
NOTE: UNIT SIZES ARE SHOWN IN NET SF, DIMENSIONED TO THE INTERIOR FACES OF THE WALLS.



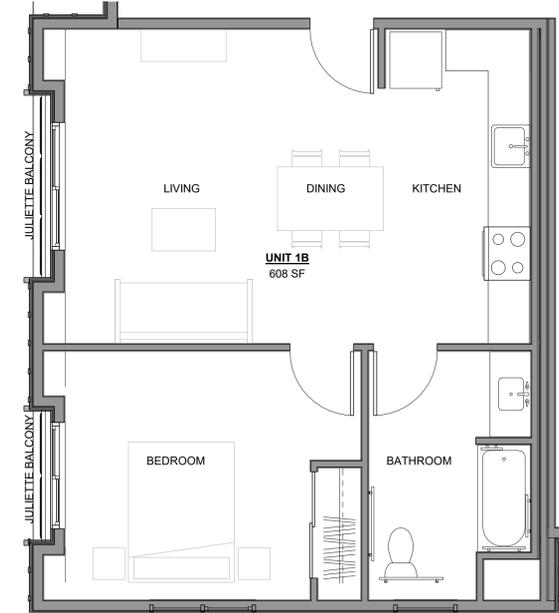
8 UNIT 1E
A4.2 SCALE: 1/4" = 1'-0"



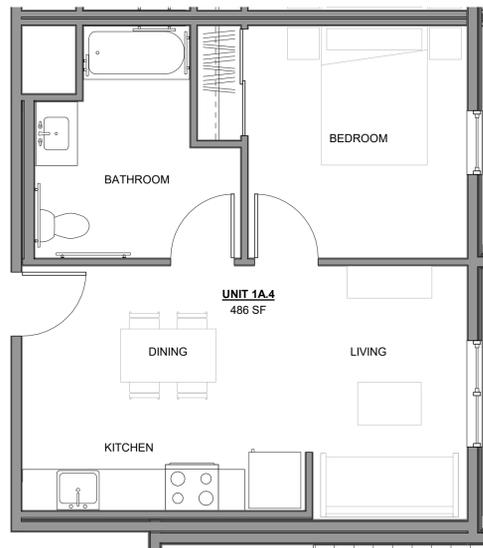
7 UNIT 1D
A4.2 SCALE: 1/4" = 1'-0"



6 UNIT 1C
A4.2 SCALE: 1/4" = 1'-0"



5 UNIT 1B
A4.2 SCALE: 1/4" = 1'-0"



4 UNIT 1A.4
A4.2 SCALE: 1/4" = 1'-0"



3 UNIT 1A.3
A4.2 SCALE: 1/4" = 1'-0"



2 UNIT 1A.2
A4.2 SCALE: 1/4" = 1'-0"



1 UNIT 1A.1
A4.2 SCALE: 1/4" = 1'-0"

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SAN FRANCISCO, CA 94102

UNIT PLANS - 1 BED

JOB #: 2236
SCALE: 1/4" = 1'-0"

A4.2

DATE: 07/03/23

ELEVATION SHEET NOTES

- 1 FIBER CEMENT BOARD AND BATTEN
- 2 FIBER CEMENT SHINGLE SIDING
- 3 FIBER CEMENT LAP SIDING
- 4 CEMENT PLASTER
- 5 EXPOSED CONCRETE BASE W/ CLEAR ELASTOMERIC COATING, SMOOTH
- 6 FIBER CEMENT PANEL
- 7 LASER CUT METAL PANEL
- 8 METAL GUARDRAIL
- 9 METAL AWNING
- 10 PARAPET CAP
- 11 VINYL WINDOW, DARK BRONZE
- 12 WINDOW TRIM
- 13 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE ANODIZED
- 14 EXTERIOR HOLLOW METAL DOOR
- 15 ROLL UP GARAGE DOOR
- 16 TRANSFORMER
- 17 TRASH ENCLOSURE FOR TED ADCOCK COMMUNITY CENTER, SEE A3.5
- 18 RETRACTABLE LADDER FOR FIRE FIGHTER ACCESS TO 2ND FLOOR, SEE A1.2 FOR LADDER CUT SHEETS
- 19 PERMANENT LADDER BETWEEN 4TH AND 5TH FLOOR ROOF
- 20 METAL SUNSHADE W/ LASER CUT PANEL
- 21 METAL ROOF OVERHANG BRACKET
- 22 7FT TALL GLASS WINDSCREEN

**COLOR PALETTE INTENT
(KELLY MOORE PAINT, UNO)**

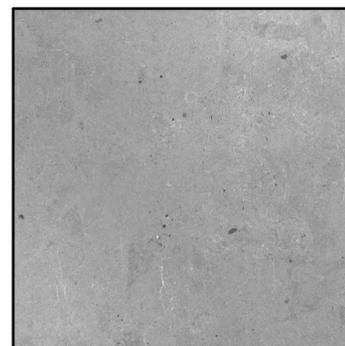
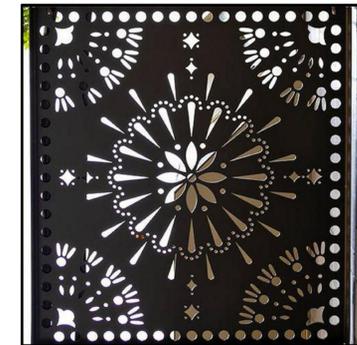
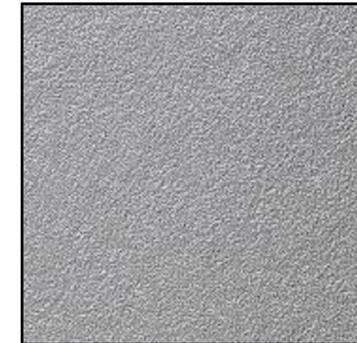
- A 36 - NAVAJO WHITE
- B KM5372 - COPPER BEACH
- C KM4491 - AGED TEAK
- D KM5823 - CITY TOWER
- E KM4910 - PLATINUM GRANITE
- F 407 - CARBON



2 ELEVATION - WEST
SCALE: 1/16" = 1'-0"



1 ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"



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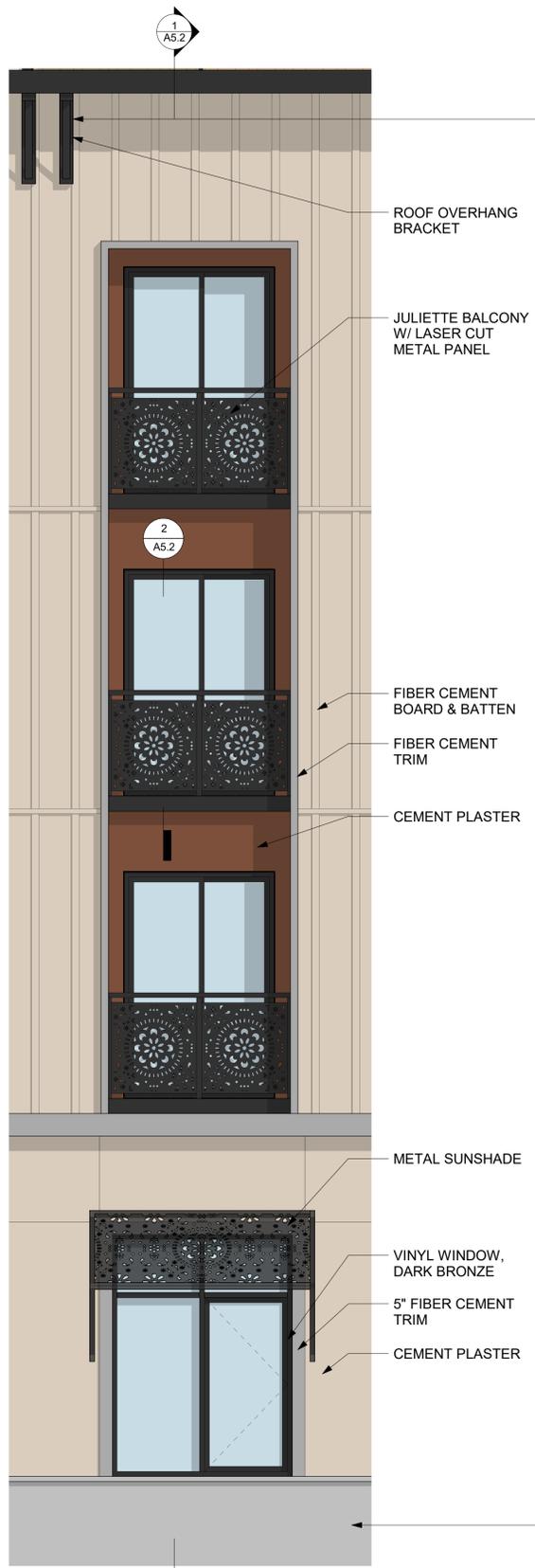
MATERIAL BOARD

JOB #: 2236
SCALE: As indicated

A5.0

DATE: 08/02/23

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5 JULIETTE BALCONY ELEVATION
SCALE: 3/8" = 1'-0"



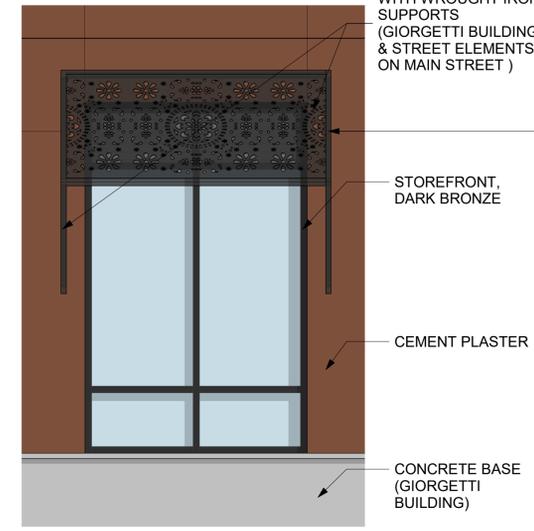
ROOF PARAPET WITH SUPPORT BRACKETS
VMWP EXAMPLE



ROOF PARAPET WITH SUPPORT BRACKETS
HALF MOON BAY EXAMPLE FROM AAC MEMBER



CONCRETE BASE & LANDSCAPING VMWP
EXAMPLE



4 STOREFRONT @ CEMENT PLASTER
SCALE: 3/8" = 1'-0"



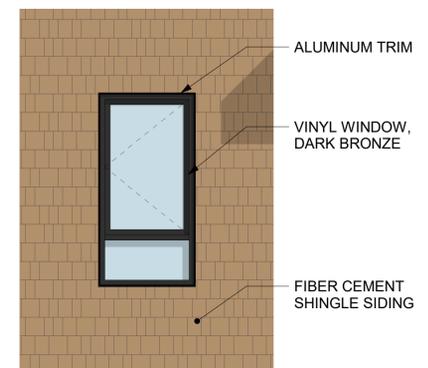
EXAMPLE OF LASERCUT AWNING PANELS



WROUGHT IRON TREATMENTS ON MAIN STREET



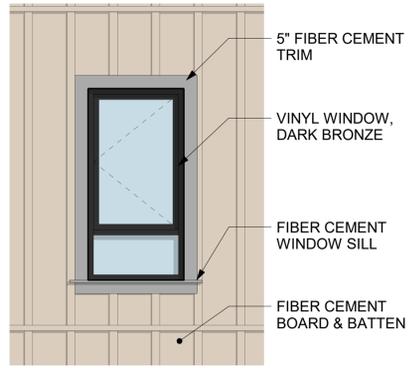
AWNINGS & BASE TREATMENT AT GIORGETTI
BUILDING ON MAIN STREET



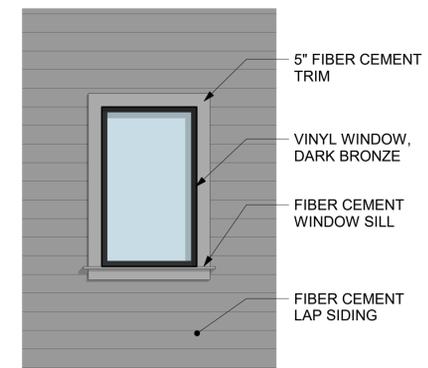
3 WINDOW @ FIBER CEM SHINGLE
SCALE: 3/8" = 1'-0"



TRIMLESS WINDOW AT SHINGLE SIDING VMWP
EXAMPLE



1 WINDOW @ FC BOARD & BATTEN
SCALE: 3/8" = 1'-0"



2 WINDOW @ FIBER CEM LAP SIDING
SCALE: 3/8" = 1'-0"



WINDOW TRIM AT SIDING VMWP EXAMPLE

ID	DATE	NAME

Project:

555 KELLY

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HALF MOON BAY, CA 94019



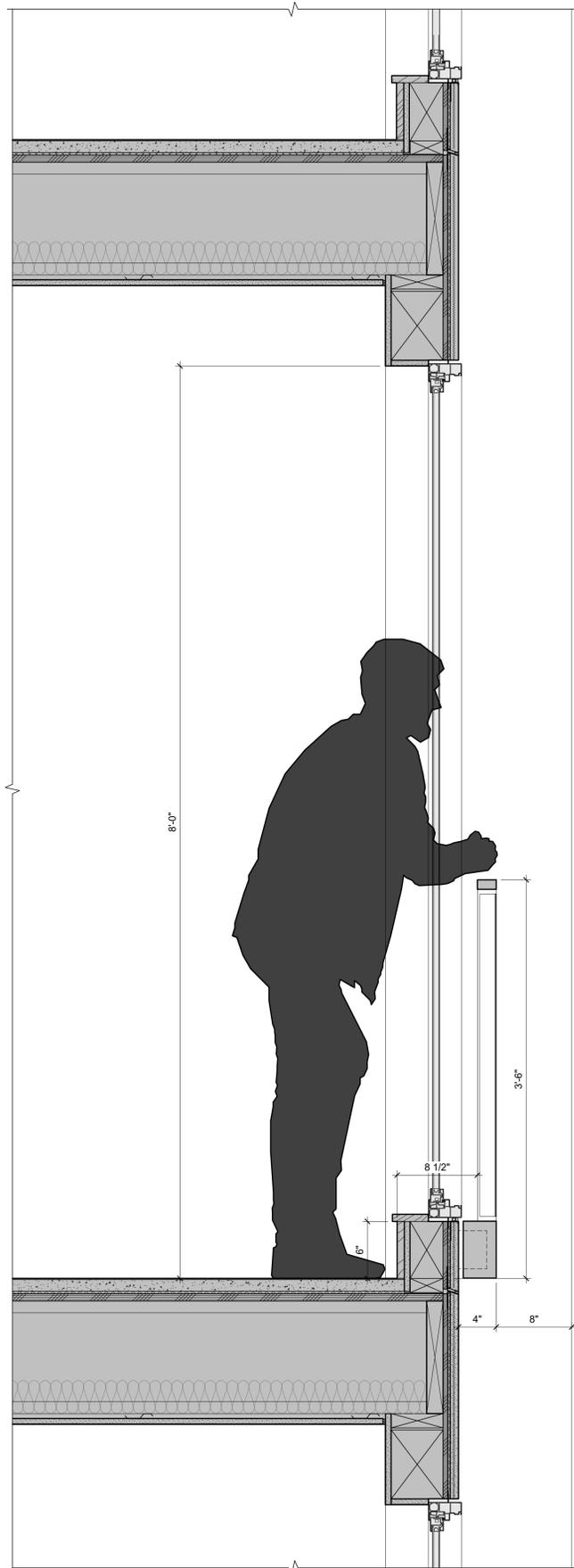
1256 MARKET STREET,
SAN FRANCISCO, CA 94102

**ENLARGED WINDOW
ELEVATIONS**

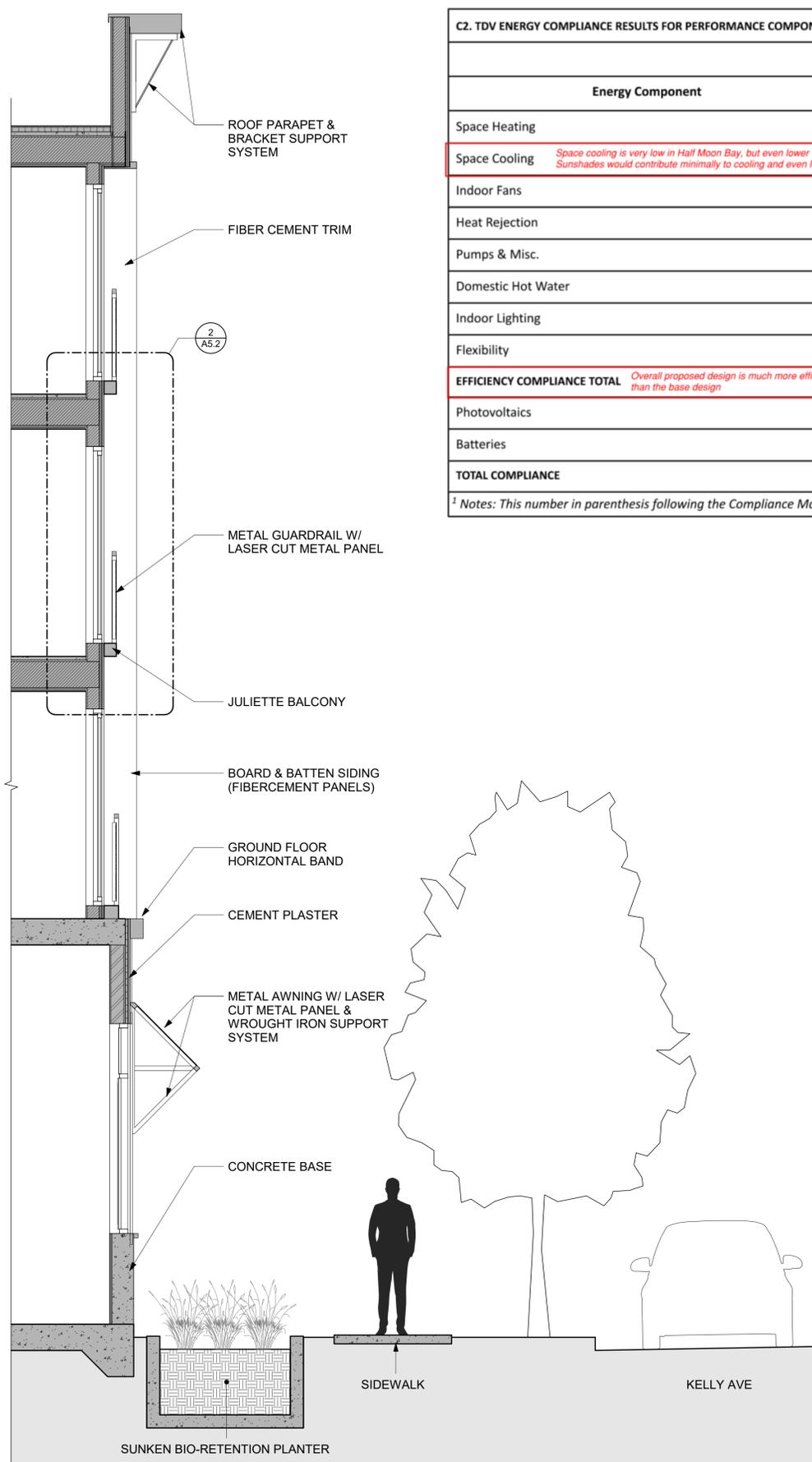
JOB #: 2236
SCALE: 3/8" = 1'-0"

A5.1

DATE: 04/02/24



2 JULIETTE BALCONY SECTION
 A5.2 SCALE: 1 1/2" = 1'-0"



1 WALL SECTION ALONG KELLY AVENUE
 A5.2 SCALE: 3/8" = 1'-0"

C2. TDV ENERGY COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft² - yr)

Energy Component	Annual Energy Use		Compliance Margin (TDV) ¹
	Base Design	555 Kelly	
Space Heating	10.1	2.99	7.11
Space Cooling	1.72	1.35	0.37
Indoor Fans	11.49	10.27	1.22
Heat Rejection	0	0	0
Pumps & Misc.	0.25	0.26	-0.01
Domestic Hot Water	47.38	28.01	19.37
Indoor Lighting	0	0	0
Flexibility	---	---	---
EFFICIENCY COMPLIANCE TOTAL	70.94	42.88	28.06 (39.6%)
Photovoltaics	-53.71	-99.63	45.92
Batteries	-10.06	---	-10.06
TOTAL COMPLIANCE	7.17	-56.75	63.92 (891.5%)

¹ Notes: This number in parenthesis following the Compliance Margin in column 4, represents the Percent Better than Standard.

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555 KELLY

555 KELLY AVE,
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Client:

 1256 MARKET STREET,
 SAN FRANCISCO, CA 94102

WALL SECTIONS

JOB #: 2236
 SCALE: As indicated