

MULTI-FAMILY AND MIXED-USE  
RESIDENTIAL

# INTERIM OBJECTIVE DESIGN STANDARDS

DECEMBER 2024



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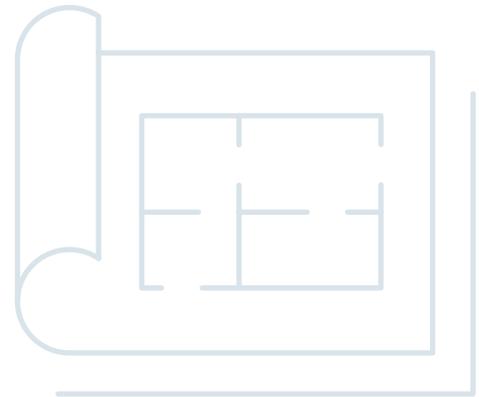
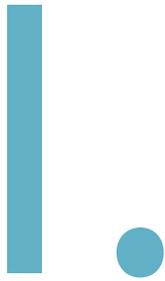
Senior Planner

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Senior Planner

# ORGANIZATION OF THE OBJECTIVE DESIGN STANDARDS





# ORGANIZATION OF THE OBJECTIVE DESIGN STANDARDS

## ORGANIZATION

This document provides interim objective design standards (ODS) for multifamily residential and mixed-use residential development in the City of Half Moon Bay. These ODS are organized into eight categories with respect to building and site design for multifamily and mixed-use development:

- Site Layout and Building Orientation
- Massing and Articulation
- Building Materials and Colors
- Entrances, Windows, and Doors
- Roof Treatment
- Off-Street Parking, Garages, and Carports
- Landscape Design
- Other Site and Building Features

Within each category, objective design standards are provided generally for all multifamily residential and mixed-use residential development. Where specific standards are identified for small lot development and large lot development types, these additional,

development-specific standards are enumerated after the general standards in each section.

## Small Lot Development Type

For purposes of these ODS, small lot developments are multifamily residential developments with no more than four units, no more than 28 feet tall, and without a commercial component. Units in this development type may be within a single structure or may be built as separate structures on the same lot. This development type includes duplexes, triplexes and fourplexes, as well as new construction of a single-family or two-unit (duplex) residence with an accessory dwelling or junior accessory dwelling unit attached to the single-family residence or either or both of the duplex residences (see Half Moon Bay Municipal Code [HMBMC] section 18.33.020 and Government Code section 66310 *et seq.*) Typical small lot developments in these ODS are built on lots with fewer than 10,000 square feet and are located on infill or redeveloped sites in existing, developed, residential neighborhoods.

## Large Lot Development Type

Large lot development for purposes of these ODS include multifamily residential development consisting of more than four units, or any number of residential units in

one or more buildings with more than 28 feet in height. Large lot development includes mixed-use development wherein two or more residential units are developed horizontally or vertically with a commercial component. Typical large lot developments are presumed to occur on commercially-zoned or properties or on infill lots with 10,000 or more square feet.



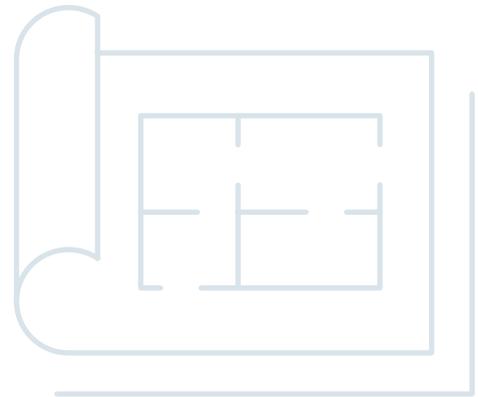
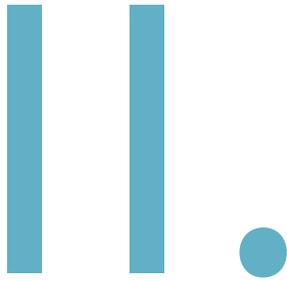
*Small Lot Development prototype*



*Large Lot Development prototype*

# SITE LAYOUT AND BUILDING ORIENTATION





# SITE LAYOUT AND BUILDING ORIENTATION

## a. General Standards

- i. Site layout for multifamily residential development shall comply with the development regulations in the HMBMC, including but not limited to minimum setbacks, maximum lot coverage, and maximum floor area ratio for the zoning district in which the property is located.
- ii. A multifamily residential building constructed on a lot with frontage on a public right-of-way shall be oriented such that at least one unit's entry faces onto the right-of-way. If all units within the building are accessed using one or more shared entry doors into lobbies or other common area, the shared entry door shall face onto the public right-of-way. For corner lots, building and unit entries may front on either or both of the site's adjoining street frontages.
- iii. A multifamily residential building constructed on a lot without frontage on a public right-of-way, such as a flag lot, shall be oriented so that all of the units in the building face onto interior common areas such as paseos, courtyards, and useable open space.



*Individual unit entries facing onto common open space*

- iv. Direct pedestrian access shall be provided to connect the primary building entry to the nearest point of the sidewalk on the nearest public right-of-way. In the case of multiple individual ground floor residential entries, direct pedestrian access from the sidewalk shall be provided for each building entry.
- v. Access paths to building entries shall meet or exceed minimum standards of California Code of Regulations, Title 24 (Accessibility) for pathway width and surface, to facilitate accessibility for persons using wheeled means of mobility.



*Pedestrian access provided to the primary building entry of one of the units in a multi-unit building*

## **b. Small Lot Development Standards**

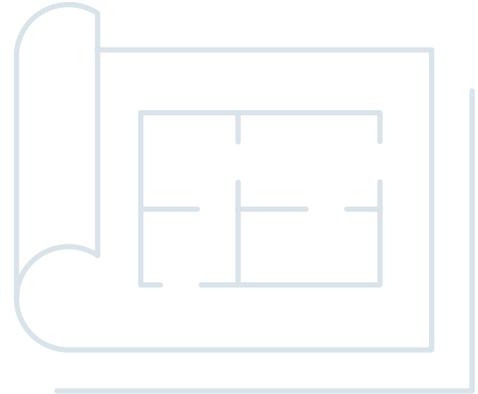
There are no site layout and building orientation standards that apply to small lot developments.

## **c. Large Lot Development Standards**

For multifamily residential or mixed-use developments on properties located in a nonresidential district, surface parking stalls shall be located outside of any required front or street side setback.

# MASSING AND ARTICULATION





# MASSING AND ARTICULATION

## a. General Standards

- i. All architectural features shall comply with these standards and the development regulations in the HMBMC for the zoning district in which the property is located.
- ii. All balconies shall be a minimum of 48 inches deep. Balconies shall not project into the public right-of-way.
- iii. Exposed vents, flashing, electrical conduits, and gutters, downspouts, pipes and similar features used to collect precipitation runoff from the roof shall be painted to match the surface to which they are adjacent. Copper gutters or downspouts may be treated as a design element and are not required to be painted to match the adjacent surface.

## b. Small Lot Development Standards

- i. To enhance building articulation, all building elevations facing onto a public right-of-way shall incorporate **at least one** of the features enumerated in subsections 1 through 3 below. All building elevations greater than 25 feet in length and facing onto a public right-of-way shall

provide at least one wall plane change that is a minimum of six inches in depth, a minimum 12 inches in length, and a minimum of one story in height; plus **at least two** of the features listed below. In either case, the features described herein shall be incorporated into at least 75 percent of the length of each elevation that faces onto a public right-of-way:

1. One or more balconies that are minimum of 48 inches deep, which may project or be recessed from the building wall
  2. One or more bay windows, one or more recessed windows, or one or more projecting windows that project or recess no fewer than six inches from the building wall on which they are installed
  3. Use of at least two distinct materials such as stucco, wood, glass, brick, stone, or steel, and at least two distinct colors, applied to both upper and lower stories
- ii. All side and rear building facades facing interior property lines shall incorporate architectural detailing consisting of **at least one** of the approaches applied to the street-facing building elevation pursuant to standard III.b.i.

- iii. The vertical emphasis of any structure greater than one story shall be reduced by use of **at least two** of the following approaches:
  1. Minimum one-inch deep reveals, or minimum six-inch tall by one-inch deep horizontal bands placed on the exterior walls between stories
  2. A projecting roof element between the first and second stories, such as a covered porch or enclosed building projection
  3. Differentiation of materials or colors between the first story and upper story or stories of the building



*The use of elements like balconies and different building materials achieves articulation.*

### c. Large Lot Development Standards

- i. To enhance building articulation, all building elevations facing onto a public right-of-way shall incorporate **at least one** of the features enumerated below. All building masses greater than 25 feet in length and facing onto a public right-of-way shall provide **at least three** of the features enumerated below. In either case, the features described herein shall be incorporated into at least 75 percent of the length of each elevation that faces onto a public right-of-way:
  1. Balconies that are minimum of 48 inches deep, which may project or be recessed from the building wall
  2. Bay windows that project no less than 24 inches from the building wall

3. Recessed windows, and/or projecting windows that project or recess no less than six inches from the building wall where they are installed
4. Canopies, awnings or trellises above doors and windows, with a projection of no less than 24 inches from the building wall to which they are affixed
5. Minimum one-inch deep reveals, or minimum six-inch tall by one-inch deep horizontal bands placed on the exterior walls between any two stories
6. Use of at least two distinct materials and two distinct colors along the wall surface
7. Window detail such as shutters that alone or as a pair are equal to the width of the window to which they are adjacent, window boxes that are at least six inches deep, or lintels or trims at least four inches wide and at least two inches deep
8. At least one wall plane change per 25 feet or less of length of the building facade, that is a minimum of 12 inches in depth, a minimum two feet in length and at least one story in height for a two-story building or at least two stories in height for a building taller than two stories
9. Painted mural or stone, tile or glass mosaic in compliance with HMBMC section 15.50.060



*The use of balconies, projecting windows, plane breaks and building materials achieves building articulation.*



*Materials changes (stucco and stone/glass) and color changes between the upper floor and ground floor storefront, and recessed glass entries at storefront (Standard III.c.xi). Transparent glass on the ground floor storefront covers over half of the ground floor façade (Standard III.c.xii).*

- ii. All side and rear building facades facing interior **property lines shall incorporate architectural detailing** consisting of at least two of the approaches applied to street-facing building elevations pursuant to standard III.c.i
- iii. After 200 feet of continuous building length, a minimum 20-foot wide mid-block open space, paseo, or courtyard space shall be provided to relieve the building mass and add variation. Such space shall have a minimum area of 300 feet.
- iv. The vertical emphasis of structures two stories or taller shall be reduced by use of **at least one** of the following approaches:
  1. Minimum one-inch deep reveals, or minimum six-inch tall by one-inch deep horizontal bands placed on the exterior walls between stories
  2. Canopies or awnings over ground floor entries or a projecting roof element between the first and second stories, such as a covered arcade
  3. Differentiation of materials or colors between the first story and upper story or stories of the building
- v. Pilasters, if used on a building elevation, shall be a maximum of 12 feet or one story in height, whichever is shorter.
- vi. A tower element, if used, shall only be placed on a building corner and shall not exceed the height limitations applicable to the zoning district in which the property is located.
- vii. Ground-floor commercial spaces shall appear taller than a typical residential floor and shall appear to be at least 12 feet in height measured from the grade of the adjacent sidewalk or walkway.
- viii. Ground-floor entrances for commercial uses shall be designed to be not more than two feet above or below the grade of the adjacent public sidewalk and shall comply with California Code of Regulations Title 24 (Accessibility) requirements.
- ix. All retail tenants on the ground floor facing the street shall have a direct pedestrian entry connection to the sidewalk along the street so that multiple entries at the ground floor face onto the primary street.
- x. Where a commercial tenant occupies a space over 20,000 gross square feet, additional articulation at the ground floor of the commercial space shall occur at a minimum of every 40 feet using **at least two** of the following approaches:
  1. Changes in wall plane of a minimum of 24 inches (either inset or protruding)
  2. Window openings that are recessed or protruding a minimum of six inches
  3. Wall trims, projections, and reveals along different levels of wall surfaces a minimum of four (4) inches
  4. Use of at least two distinct materials and colors along wall surfaces
- xi. Ground-floor commercial uses shall be visually distinct but complementary from the rest of the exterior building wall using **at least two** of the following approaches:
  1. Differentiation in materials, such as stone, brick, or stucco
  2. Contrast in color with a minimum of 40 percent differentiation, based on RGB percentage

3. Canopies and awnings
4. Arcade with a covered roof or trellis
5. Detailing at storefront (tile accents, wrought iron, etc.)
6. Plane breaks at the ground floor, such as inset doorways at the storefront

xii. Windows and openings of nonresidential uses on the ground floor facing Main Street in the CD (Main Street) District shall constitute a minimum of 60 percent of the ground floor street-facing building façade facing Main Street. Windows and openings of nonresidential uses on the ground floor facing a street other than Main Street shall constitute a minimum of 20 percent of the ground floor street-facing building façade.

xiii. Windows and openings of nonresidential uses on upper floors that face a public right-of-way shall constitute a minimum of 30 percent of upper floor street-facing building elevations. Upper floor street-facing building elevations shall be measured from the finished floor of the second story to the finished ceiling of the uppermost story.

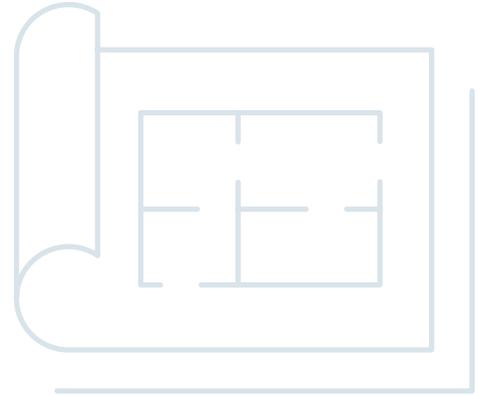
xiv. Windows and openings of residential uses shall constitute a minimum of 25 percent of each building elevation that faces a public right-of-way or common area.



# BUILDING MATERIALS AND COLORS



# IV.



## BUILDING MATERIALS AND COLORS

### a. General Standards

- i. Table 1 identifies which materials are allowed or not allowed for exterior building walls, roofs, and fencing. The Director shall be authorized to make changes to this list based on changes in materials technologies and available types.
- ii. New constructions shall include at least one sustainable material. Materials that are considered sustainable will have **at least one** of the following properties:
  1. Certified as Zero or low Volatile Organic Compounds (VOC) by CalGreen or in the Whole Building Design Guide ([www.wbdg.org/](http://www.wbdg.org/)) or BuildingGreen Product Database ([www.buildinggreen.com/productguidance](http://www.buildinggreen.com/productguidance))
  2. Qualify as rapidly renewable in that they can be harvested within 10 years
  3. Show to be salvaged from the existing site, unless unsafe for human contact
  4. Produced within the greater nine-county San Francisco Bay Area
  5. Include a recycled content of 80 percent or more
- iii. Along any exterior building walls, material transitions shall only occur on the inside corner of plane change or, when material changes need to happen in the same plane, trims, cornices, or other architectural elements shall be used to create a corner for material transition.



*Color and material changes at right-angle joints of building*

**Table 1: Building, Roofing, and Fencing Materials**

<b>Building Material</b>	<b>Notes</b>	<b>Type</b>
Wood, layer	Siding, engineered	Permitted
Wood, finish	Finished layer	Permitted
Wood, laminated <sup>a</sup>	Mass Timber	Permitted
Fiber-reinforced cement	Siding and panels	Permitted
Brick	Masonry	Permitted
EIFS	Exterior Insulation Finishing System	Permitted
Clay tiles	Finished layer	Permitted
Stucco	Finished layer	Permitted <sup>b</sup>
Stone	Masonry	Permitted <sup>c</sup>
Cast Stone	Masonry	Permitted <sup>c</sup>
Metal	Residential with a commercial first floor only	Accent Only
Canvas	Awnings only	Accent Only
Glass	Windows only; transparent, spandrel ground-floor only	Permitted
Vinyl siding	N/A	Not Allowed
Plywood, T1-11	Limited use on exteriors	Accent Only
<b>Roofing Material</b>	<b>Notes</b>	<b>Type</b>
Composition	Asphalt or Metal	Permitted
Tile	Clay, Concrete, Slate	Permitted
Standing Seam Metal		Permitted
Membrane	Flat roof applications	Permitted
<b>Fencing Material</b>	<b>Notes</b>	<b>Type</b>
Concrete, finished <sup>a</sup>	CO <sub>2e</sub> capture	Accent Only
Wood fencing	Cedar, Redwood, Teak	Accent Only
Metal fencing	Wrought iron, Tubular steel	Accent Only
Masonry fencing	Brick, Stone, Stucco	Accent Only
Vinyl fencing	Fence panels and vinyl picket fence	Not Allowed
Barbed wire, razor, concertina, electrified fences	Prohibited	Not Allowed
Chain link	N/A	Not Allowed

**Notes:**

- a. Green building material
- b. For large lot developments, the use of stucco shall not exceed beyond 60 percent of any exterior building wall that faces a street or common open space.
- c. Stone or cast stone shall not exceed 25 percent of any exterior building wall that faces a street or common open space.

- iv. A color palette shall be required for all structures and shall be submitted to the City. The palette shall include the paint manufacturer/brand and name and number for each paint color used within the project. The hexadecimal color code or RGB color number(s) shall be provided for each.
- v. On all exterior building walls, buildings shall utilize a minimum of two colors, inclusive of trim.



*Color variation on 100-foot long span of multifamily building*

- vi. Changes in color due to a change in building material are not considered an additional color unless the material covers 25 percent or more of the building, with the exception of trim color.
- vii. Neon or fluorescent colors are prohibited.
- viii. Mirrored glass or similarly highly reflective surfaces are prohibited.
- ix. Photovoltaic panels, if used, shall be integrated into the design using a minimum of one of the following approaches, but in no event shall any of the approaches conflict with the intent of the implementation of statewide standards (Government Code Section 65850.5a) to achieve timely and cost-effective installation of solar energy systems:
  1. Same slope as the primary roof form
  2. Same size and shape as solar tiles for roof or walls
  3. Screening so that angle for production can be optimized

- 4. A low level of contrast in color between the solar panel and roofing material, up to 10 percent difference between the two, if the panels would be visible from the public right-of-way

## **b. Small Lot Development Standards**

There are no additional standards applicable to small lot developments.

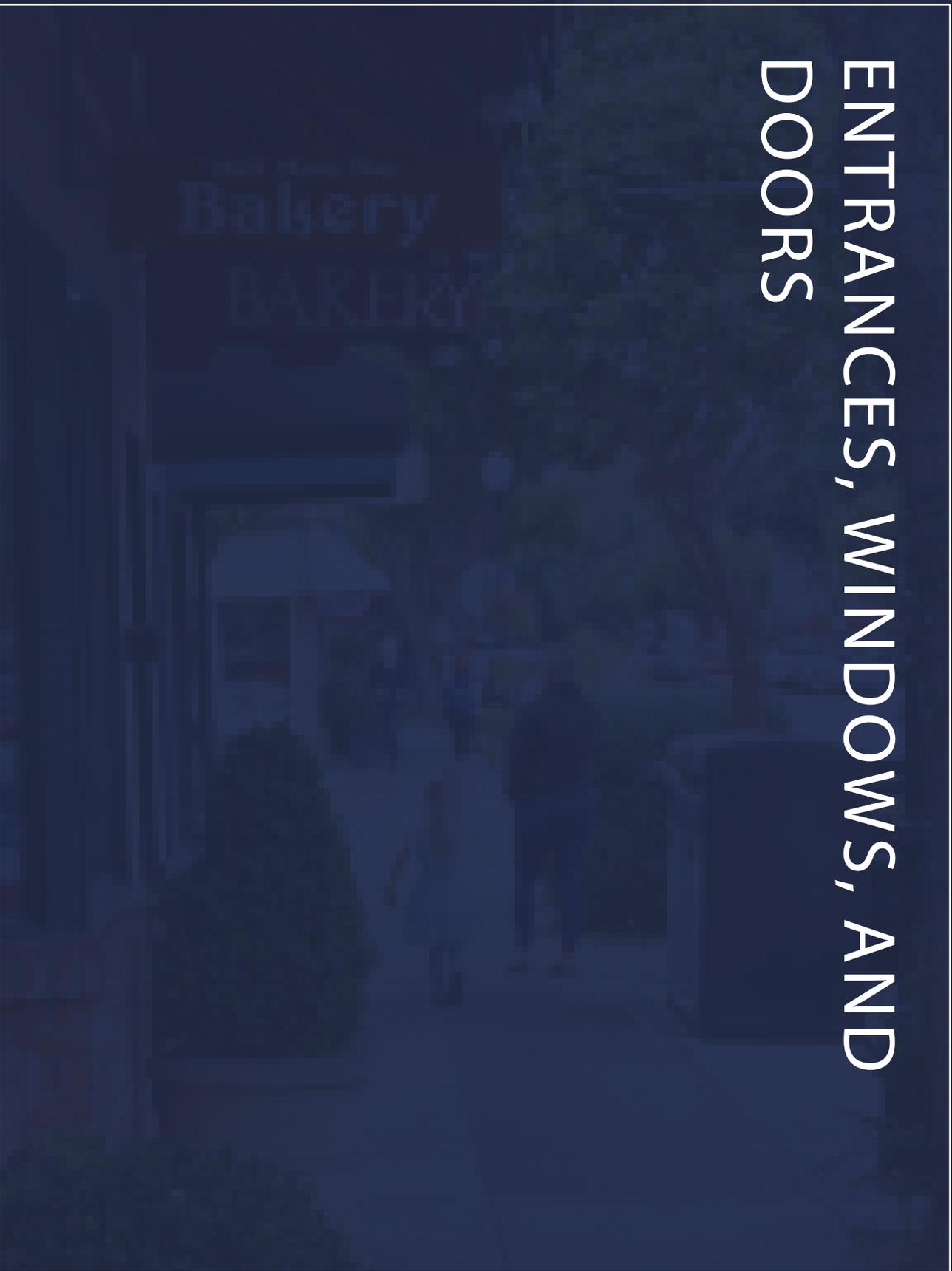
## **c. Large Lot Development Standards**

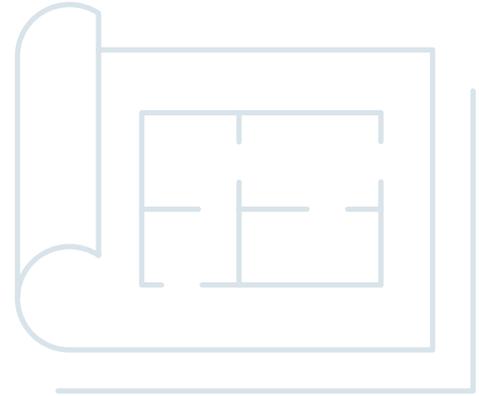
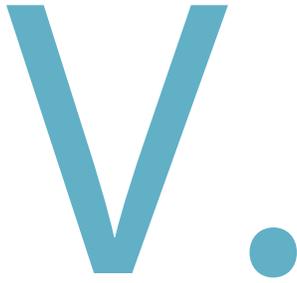
There are no additional standards applicable to large lot developments.



*Stucco and stone veneer exterior, with use of stone limited to building entry*

# ENTRANCES, WINDOWS, AND DOORS





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# ENTRANCES, WINDOWS, AND DOORS

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## a. General Standards

- i. Front door entry detail and weather protection shall be provided at each individual unit or shared entry door, using a minimum of **two** of the following approaches:
  1. A surrounding door frame and/or a lintel that is at least four inches wide and minimum one inch deep
  2. Recessed area minimum three feet in depth from the adjacent exterior wall
  3. Projected area, minimum three feet in depth from the adjacent exterior wall
  4. Covered porch with minimum dimensions of four feet deep by four feet wide, a ceiling height of no less than eight feet above the porch floor, and support posts or pillars that are consistent with the architectural style of the building
  5. Trellis or structural, non-fabric awning with minimum depth of 24 inches from the adjacent exterior wall, and position to provide a vertical clearance of no less than eight feet above the entry threshold
- ii. Window detail on street-facing elevations shall be provided using a minimum of **two** of the following approaches:
  1. A surrounding window frame and/or trim that is at least three inches wide and minimum one inch deep, applied to all windows on an elevation and painted in a contrasting color to the adjacent building surface
  2. Window sills that are a minimum of six inches deep and/or lintels that are a minimum four inches wide and minimum one inch deep, applied to all windows on an elevation and painted in a contrasting color to the adjacent building surface
  3. Awnings or trellises placed in a uniform pattern along the top of at least 25 percent of the windows on an elevation, and that project no fewer than 24 inches from the wall to which they are affixed
  4. Shutters that, alone or as a pair, are equal in width to the window to which they are adjacent, are applied to at least 25 percent of the windows on an elevation, and that are

painted in a contrasting color to the adjacent building surface

5. Windows recessed a minimum of three inches from the adjoining wall
- iii. The selected window styling (e.g., gridless, or Colonial, Craftsman, or Prairie grid pattern) shall be consistent with the architectural style of the residential building and consistently applied to all elevations of the building that face a public right-of-way.
- iv. Balconies on buildings visible from and within 30 feet of an adjacent residentially-zoned property shall not be oriented toward the adjacent residentially-zoned property line.
- v. Obscure or textured glass shall be used on full-sized bathroom windows on building elevations that face an interior side yard.

## **b. Small Lot Development Standards**

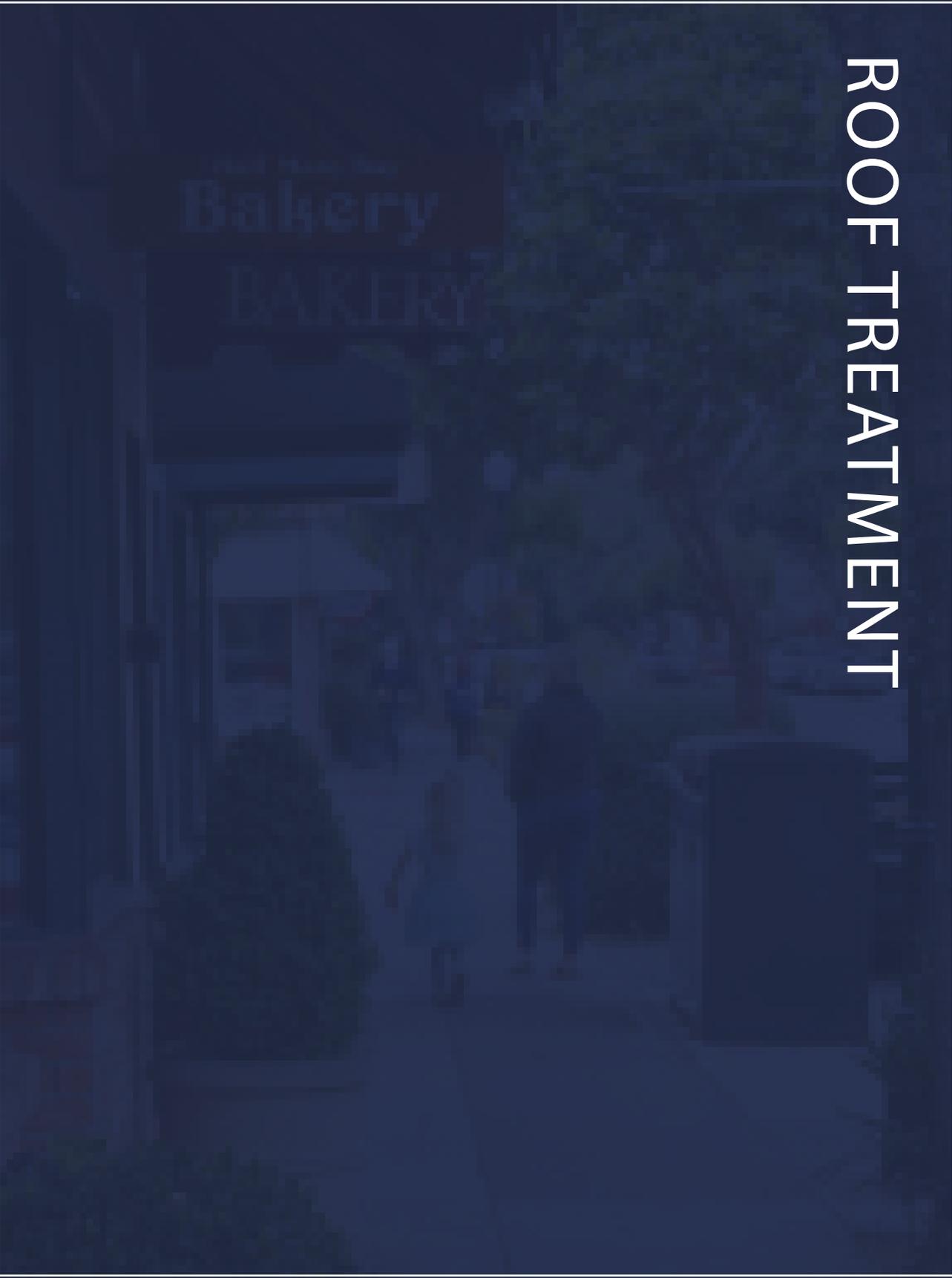
There are no additional entrance, window, or door standards that are unique to small lot developments.

## **c. Large Lot Development Standards**

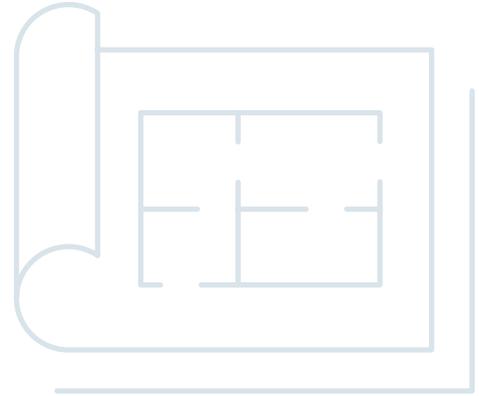
There are no additional entrance, window, or door standards that are unique to large lot developments.



# ROOF TREATMENT



# VI.



## ROOF TREATMENT

### a. General Standards

- i. Buildings shall incorporate no more than three roof forms (e.g., gable, hip, shed, flat) on any single structure.



*Variations in roof form include gables and shed roof forms.*

- ii. Where the nonvertical side of a gable roof faces the street or a common area, additional roof gables or dormers equal to at least 20 percent of the facade length are required along the street-facing or common area facing side. If no additional gables are provided, the vertical side of a gable shall be oriented toward the street.



*Gabled roof ends face onto common area and public street*



*Secondary roof gable along nonvertical side of gabled roof facing public street*

- iii. Shed roof types, applied as either a primary or secondary roof type, shall have a pitch of at least 5:12
- iv. Roofing materials shall be within the grey, brown, or terra cotta family of colors. These areas not visible from the public right-of-way, including flat roofs, may be white or light color to reduce heat island effect.
- v. Decorative brackets may be applied along the roofline, and if used, shall be consistent with the architectural style of the building, placed in a symmetrical pattern along the roofline, and shall have a height and depth that is no less than 75 percent nor more than 100 percent of the depth of the roof overhang below which it is placed.
- vi. Mansard roofs are prohibited.



*Utilization of two but not more than three distinct roof forms (flat and shed)*

## b. Small Lot Development Standards

- vii. Flat roofs on primary residential buildings are allowed, provided, that they incorporate **at least two** of the following:
  1. Roof eaves with a depth of no less than 18 inches
  2. A horizontal break of at least five feet, with a corresponding plane break on the building wall below
  3. Clerestory windows below the roofline

- 4. Inclusion of at least one other roof type (e.g., shed) on the same building
- 5. At least two but not more than three distinct roof heights with a differential of at least four feet, provided, that neither the lowest nor the highest section of roof covers less than 20 percent of the building footprint, and no part of the roof exceeds the overall maximum building height for the zoning district pursuant to HMBMC Title 18

## c. Large Lot Development Standards

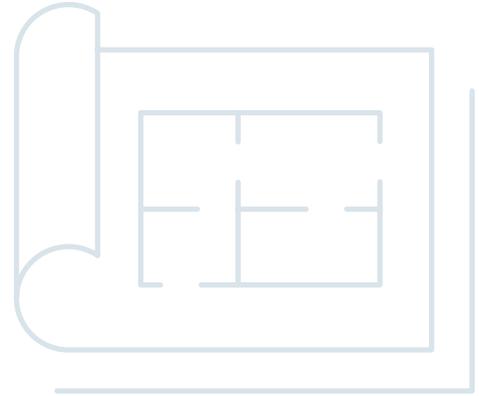
- i. Flat roofs on primary residential or mixed-use buildings are allowed, provided, that they incorporate **at least two** of the following:
  1. Roof eaves with a depth of no less than 24 inches
  2. Clerestory windows below the roofline
  3. A horizontal break of at least five feet, with a corresponding plane break on the building wall below
  4. A parapet wall that is appropriately-scaled to the building but in no case less than 12 inches above the roof and that has a cornice that is no less than six inches tall
  5. Inclusion of at least one other roof type (e.g., shed) on the same building
  6. At least three but not more than five distinct roof heights with a differential of at least eight feet, provided, that neither the lowest or the highest section of roof covers less than 20 percent of the building footprint, and no part of the roof exceeds the overall maximum building height for the zoning district pursuant to HMBMC Title 18



# OFF-STREET PARKING, GARAGES, AND CARPORTS



# VII.



## OFF-STREET PARKING, GARAGES, AND CARPORTS

### a. General Standards

- i. Off-street parking per unit shall be provided in accordance with the requirements in HMBMC chapter 18.36 or, for accessory dwelling units, HMBMC section 18.33.050.H, except where fewer stalls are required pursuant to Government Code section 65913.4(e) and Government Code section 65852.21(c).
- ii. Except for the number of required off-street parking stalls as governed by State law, off-street parking facilities serving multifamily residential or mixed-use developments shall comply with the applicable provisions of HMBMC chapter 18.36.
- iii. Off-street parking stalls provided in excess of the statutory or codified requirements may be covered by a carport or enclosed within a garage.
- iv. On-site guest parking, if provided, shall be included within the parking area provided on-site for residents of the property and shall be labeled or striped as guest parking.
- v. Garage doors that are less than 50 feet from a public right-of-way shall include aesthetic details inclusive of at least one of the following:
  1. Windows including faux, patterned, or real
  2. Panel design, with or without accents such as decorative hinges or artistic treatments, that are consistent with the architectural style of the residential building
  3. Color and material finishes that mimic the color and material finishes of the building surface to which the garage door is adjacent
  4. A minimum 24-inch deep trellis above and spanning the length of the garage door
- vi. Garage doors shall occupy no more than 30 percent of the length of an exterior building wall facing a public right-of-way.
- vii. Electric vehicle (EV) charging stations may be provided for one or more off-street parking stalls on the property and shall be placed inside an at-grade garage, within the parking structure, or immediately adjacent to the surface parking stall that the charging station serves.
- viii. EV chargers shall not provide signage or advertisement visible from the public right-of-way beyond what is necessary to provide the user with instructions for use of the charging station.

- ix. Short-term and long-term bicycle parking shall be provided in accordance with HMBMC section 18.36.070.

## b. Small Lot Development Standards

- i. For small lot developments in a residential district, surface parking stalls may be located in a required front or corner side yard setback, provided, that the paved surface of the parking area is not more than 400 square feet in area or 40 percent of the area provided within the required front or corner side yard, whichever is less.
- ii. Guest parking stalls, if provided on-site, may be provided in the front yard of the property; provided, that the maximum paved surface area in standard b.i of this section is not exceeded.
- iii. A garage door facing onto a public right-of-way shall be no closer to that public right-of-way than a wall enclosing ground floor interior living space of the residential building to which the garage is accessory.
- iv. Enclosed garages may be located between a residential building and a public right-of-way, provided, that the garage is side-loaded such that the garage door faces an interior property line, and the garage wall facing onto the public right-of-way is articulated in accordance with Massing and Articulation standard III.b.i.



*Side loaded garage with building articulation on the street-facing elevation*

## c. Large Lot Development Standards

- i. Surface parking stalls, garages and carports shall be placed outside of a required front or corner side yard setback, or if there is no required front or corner side yard setback, shall not be located between a residential building and a public right-of-way.
- ii. For multifamily residential or mixed-use developments on properties located in a nonresidential district, surface parking stalls shall be located outside of any required front or street side setback.
- iii. For multifamily residential or mixed-use developments in a residential district, surface parking stalls may be located in a required front or corner side yard setback, provided, that the paved surface of the parking area is not more than 400 square feet in area or 40 percent of the area provided within the required front or corner side yard, whichever is less.
- iv. Parking areas shall be designed to comply with Title 24 (Accessibility) standards. This can be accomplished by using design features such as ramps, walkways with distinct paving, plazas, arcades, courtyards, and/or special landscape treatment areas and street sidewalks as an extension of the pedestrian circulation system within the project.
- v. To provide clear distinction between pedestrian and vehicular routes within a parking lot, the color and texture of paving materials for pedestrian paths shall be different from the color and texture of paved vehicular travel aisles.
- vi. When EV charging stations are within structured parking facilities, charging stations shall be installed on at least two floors and on all floors to the extent practicable based on garage wiring.
- vii. EV charging spaces shall be consolidated to one location within the parking lot or on each floor where EV charging spaces are provided in a parking structure. For surface parking lots with more than 100 parking spaces, EV charging spaces shall be consolidated in no more than two locations within the parking lot.

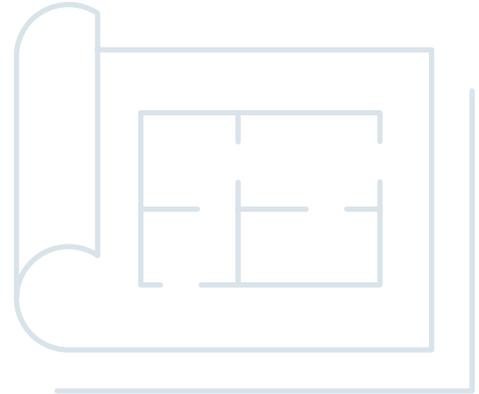
- viii. Parking facilities for more than 10 vehicles shall be screened in accordance with HMBMC section 18.36.055.



# LANDSCAPE DESIGN



# VIII.



## LANDSCAPE DESIGN

### a. General Standards

- i. Shrubs, groundcover, and trees planted next to pavement shall be irrigated using a drip or other low-pressure irrigation system to avoid overspray onto the paved surface.
- ii. A minimum of 50 percent of the plants planted on-site shall be native to the northern California coastal region. No plant shall be included in the landscape plan for the development or planted on the property if the plant is identified as invasive on any list maintained or referenced by the Invasive Species Council of California ([www.iscc.ca.gov/](http://www.iscc.ca.gov/)) or U.S. Department of Agriculture.
- iii. Where windows to interior conditioned spaces are provided on a south-facing building elevation, a minimum of 50 percent of the trees planted within 10 feet of that elevation shall be deciduous to allow passive lighting and space conditioning.



*Deciduous trees provide shade that passively cools interior spaces in summer months and solar access to warm interior spaces in winter months.*

- iv. To reduce headlight glare beyond parking stalls, evergreen shrub plantings used as screening for parking areas shall be provided at a minimum height of 30 inches at plant maturity and spaced no less than three feet apart. A larger spacing shall be allowed as appropriate for the plant species, but in no case shall shrubs be spaced at a distance that is greater than their species' typical width at maturity. Such plantings shall be planted at the head of parking stalls that face residential units.
- v. Street trees are required for every development and shall be planted at a maximum distance of 30 feet on-center along the street frontage. The minimum tree size at planting shall be 15 gallons, and selected tree species shall be capable of achieving a minimum 20-foot height at maturity. Street trees shall be planted along the property frontage as follows:
  1. Where a planting strip exists, adjacent to the curb, street trees shall be planted at a minimum distance of two feet from the face of curb
  2. Where a planting strip exists and is wider than four feet, the street trees shall be planted along the center line of that landscape strip
  3. Where the street frontage includes no landscape strip, street trees shall be planted a minimum of four feet from the curb face unless the public right-of-way allows greater distance, in which case street trees shall be planted five feet from the curb face
  4. In all situations, sufficient soil base, as outlined below, organic mulch, root barriers, and tree grates flush with the sidewalk surface shall be incorporated for street trees
  5. Where a planting strip of less than two feet wide exists, trees shall not be planted
  6. Tree wells shall have decomposed granite surface and root barriers
- vi. For each street tree planted at the property frontage, a minimum 300 cubic feet of soil shall be provided for each 15-gallon tree; a minimum 600 cubic feet shall be provided for each 24-inch box tree; and a minimum 1,000 cubic feet shall be provided for each 36-inch box tree. The minimum soil volume can be achieved by using visible planting soil or hidden elements (structural soil, silva cells).
- vii. All planting beds shall be mulched with an organic material to help retard the growth of weeds and maintain the moisture content of soil. Layers of mulch shall be two to four inches thick on the soil surface.
- viii. Street trees that drop pods or the other fruit shall be prohibited along the public right-of-way.
- ix. Landscaping shall be provided in all outdoor areas that are not specifically used for parking, driveways, walkways, patios, or required amenities. Existing native planting can be used to satisfy this standard.
- x. Landscape and irrigation plans subject to the California State Model Water Efficient Landscape Ordinance shall conform to the requirements of the California State Model Water Efficient Landscape Ordinance to achieve water efficient landscaping.

## b. Small Lot Development Standards

There are no specific additional landscape standards applicable to small lot developments.

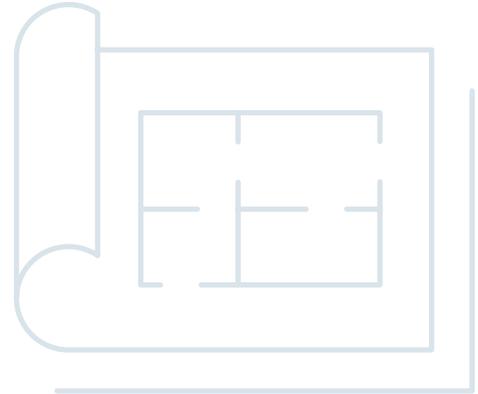
## c. Large Lot Development Standards

There are no specific additional landscape standards applicable to large lot developments.

# OTHER SITE AND BUILDING FEATURES



# IX.



## OTHER SITE AND BUILDING FEATURES

### a. General Standards

#### Utilities and Mechanical Equipment

- i. Mechanical equipment shall not be visible from a perspective that is six feet above the surface of the sidewalk on the opposite side of any public right(s)-of-way that adjoins the site.
- ii. Utility and mechanical equipment shall not be located within any required active open space area.
- iii. Ground-mounted mechanical, electrical, and utility equipment shall be concealed within buildings, placed in subsurface vaults, or screened by a framed welded wire (no chain link fence), or louvered trellis system, depending on location within setbacks.
- iv. Ground-mounted residential solar energy systems shall be encouraged and shall be located to be out of view of the public right-of-way, but in no event shall any of the approaches conflict with the intent of the implementation of statewide standards (Government Code Section 65850.5a) to achieve timely and cost-effective installation of solar energy systems. Such systems shall be either:
  1. Placed behind a primary structure, or
  2. Placed in a side yard and screened by nonplant materials
- v. Electrical transformers shall be designed using either of the following approaches:
  1. Placed underground
  2. Painted with an artistic mural
  3. Located at least five feet from the public right-of-way and screened with non-plant materials such as welded wire trellis system or similar view-obscuring screen and plantings
- vi. Utility and mechanical equipment, including meters, shall be screened from view using a material in the architectural design materials palette of the project. The screening method used shall include gated outdoor rooms or screening behind wing walls treated as an integral part of the elevations.



*Grass-weave textured equipment screen adjacent to landscaping screens utility equipment.*

- vii. Mechanical equipment shall be located a minimum of 15 feet from occupiable rooftop areas and screened from view.
- viii. Heating, ventilation, and air conditioning units located on exterior walls or patios of multi-family projects shall be screened from view by screen walls, decorative railings, or screens, consistent with those colors and materials utilized within the architectural design palette. Heating, ventilation, and air conditioning units shall not be located on balconies.
- ix. Exterior roof ladders shall be prohibited. Access to the roof shall only be provided from the interior of a building.
- x. Building elevation drawings and site development improvement plans submitted for engineering and/or building permit approval shall specify the size and location of all utility and mechanical equipment to be installed with the development, on-site or immediately off-site. Drawings and plans shall specify the means of compliance (e.g., screening, mural, landscaping) with these standards.
- xi. Utility service lines shall be placed underground. Exposed conduit on building exteriors shall be prohibited.

## Trash/Recycling/Composting Enclosures

- xii. Vehicular access to loading and service areas shall be incorporated into the circulation plan for the site and shall be separated from pedestrian circulation.
- xiii. In all areas other than the Downtown, trash/recycling/composting enclosures shall be located a minimum of 20 feet away from an abutting single-family residential district or any public right-of-way or access easement.
- xiv. Trash/recycling/composting enclosures are prohibited in any front yard, street side yard, parking space, required landscaped area, or open space areas.
- xv. Trash/recycling/composting enclosures that are a separate structure from the residential building shall have a roof to prohibit precipitation from falling into the enclosure; shall have a finished floor that is graded to prohibit stormwater run-on into the enclosure; shall have lockable metal gates; and shall have a secondary pedestrian-scale entrance. Such trash enclosures shall be designed to utilize the same materials and colors as the buildings they serve.
- xvi. Standalone trash enclosures separate from the residential building shall be buffered from adjacent surface parking areas by a minimum five-foot wide landscape strip.

## Walls, Fences and Hedges

- xvii. Use of chain link fence and barbed wire is prohibited. Vinyl and plastic fencing materials are prohibited.

## Lighting

- xviii. Roof-mounted lights are prohibited, unless they are on a green roof or occupied roof where downlighting shall be used.
- xix. Sconce exterior fixtures shall be the same architectural style as the building's exterior design and located at front and rear doorways.

- xx. The maximum height of pole-mounted fixtures shall not exceed 16 feet.
- xxi. Exposed direct light sources visible from any public right-of-way shall be prohibited.
- xxii. Exterior lighting shall be shielded and directed downward.
- xxiii. Lighting within parking garages shall avoid external views of exposed direct light sources.

shielded or enclosed to ensure compliance with the standards set forth in HMBMC chapter 9.23 (Noise).

## Mailboxes

- xxiv. Mailboxes shall be placed either at an on-site location adjacent to the front yard open space for ground-floor units that have direct pedestrian access from the street or incorporated into a common area for all remaining upper floor unit residents.
- xxv. In mixed-use developments, separate secure mailbox and package delivery/pick-up areas shall be provided for the residential and commercial components of a project.

## Signage

- xxvi. External raceways on wall mounted signs shall be prohibited.
- xxvii. Cabinet signs, including those that are wall mounted on buildings or ground signs are prohibited.
- xxviii. Ground signs shall incorporate at least two materials from the architectural design materials palette of the project.

## b. Small Lot Development

There are no specific additional standards applicable to small lot development.

## c. Large Lot Development

### Service and Loading Areas

Loading areas for the commercial components of mixed-use developments shall be located out of view of any public right-of-way and shall be

